

ABBREVIATIONS

& @	And At	I.D. IN. INSUL. INT.	Inside Diameter Inch Insulate / Insulation Interior
A/C ABV. ACOUS. ADJ.	Air Conditioning Above Acoustic Adjustable / Adjacent	KIT. LAM. LAV LT. LUM LVT	Kitchen Laminate Lavatory Light Luminous Luxury Vinyl Tile
A.F.F. ALUM ALT AP APROX ARCH	Above Finish Floor Aluminum Alternate Access Panel Approximate Architectural	MAT. MAX MECH MEMB MFR. MGR. MIN. MISC. MT MULL.	Material Maximum Mechanical Membrane Manufacturer Manager Minimum Miscellaneous Metal Mullion / Mullied
BD. BOT B.O. BLDG. BLK. BK.LNG.	Board Bottom Bottom Of Building Block Blocking	N (N) N.I.C. N.I.S. N.T.S.	North New Not In Contract Not In Scope Not To Scale
C.B. CAB CEM. CG CIR. C.J.	Catch Basin Cabinet Cement Corner Guard Circle Ceiling Joist / Control Joint	O/ O.C. OFF OPP. O.S.C.I.	Over On Center Office Opposite Owner Supplied, Contractor Installed
C.L. CLO. CLNG CLKG CLR C.M.U. CNTR COL CONC CONN CONSTR CONT CONTR CORR. C.T. CTR.	Center Line Closet Ceiling Caulking Clear Concrete Masonry Unit Counter Column Concrete Connection Construction Continuous Contractor Corridor Ceramic Tile Center	OVHD. PBO PL. P/L P.LAM PLAS. PLAST. PLYWD. P.O.S. PR PREFAB. PSI PT. PTD.	Overhead Provided By Owner Plate Property Line Plastic Laminate Plaster / Stucco Plastic Plywood Point Of Sale Pair Prefabricated Pounds Per Square Inch Point Painted.
DBL. DET. DEPT. D.F. DF. DIA. DIAG. DIM DISP. DN	Double Detail Department Douglas Fir Drinking Fountain Diameter Diagonal Dimension Dispenser Disposal Down	QRY. QTY. R RAD. R.D. REQ. REV. RM. R.O. RWD. RWL	Quarry Quantity Riser Radius Roof Drain Require Revised / Revision Room Rough Opening Redwood Rain Water Leader
E (E) EA. EX EL ELEC ELEV ENCL. EP EQ. EQUIP. E.W. EWC EXIST. EXP. EXT.	East Existing Each Exit Elevator Electric Elevation Enclosure Electrical Panel Equal Equipment Each Way Electric Watercooler Existing Expansion Exterior	S S.C. S.C.D. SCHED. S.D. SEAL. SECT. SHT. SL. SPEC. SQ. S.S. STD. STL. STOR. STRUCT. SUSP. SYM.	South Solid Core Seat Cover Dispenser Schedule Smoke Detector Sealant Section Sheet Sliding Specification Square Stainless Steel Standard Steel Storage Structural Suspended Symmetrical
FA. FD. FDN. F.E. F.F. F/G FIN. FIXT FLR FLUOR F.O. F.O.S. FRF. F.R.P. F.S. FT. FTG. FURR	Fire Alarm Fire Damper / Floor Drain Foundation Fire Extinguisher Finish Face / Finish Floor Fixed Glass Finish Fixture Floor Fluorescent Face Of Face Of Studs Fire Proof Fiber Reinforced Panel Finish Surface Fire Treated Foot / Feet Footing Furred	U.N.O. U.O.N. VENT. VERT. VEST. V.I.F. V.T. W W/ W.C. WD. WH W.I. W/O WP WPM WR WSCT. WT.	Unless Noted Otherwise Unless Otherwise Noted Ventilate / Ventilation Vertical Vestibule Verify In Field Vinyl Tile West With Water Closet Wood Water Heater Wrought Iron Without Waterproof Waterproof Membrane Water Resistant Weight
GA. GALV. G.B. GC G.I. GL. GRND G.T. GYP.	Gauge Galvanized Grab Bar General Contractor Grease Interceptor Glass/Glazing Ground Grease Trap Gypsum		
H/C HDWR. HDWD. HGT. HORIZ. HR.	Handicap Hardware Hardwood Height Horizontal Hour		

REFERENCE CODES

Planning:	2025 City of Palm Desert Municipal Code
Building:	2022 California Building Code (Volumes 1 & 2) w/ City Amendments
Electrical:	2022 California Electrical Code w/ City Amendments
Plumbing:	2022 California Plumbing Code w/ City Amendments
Mechanical:	2022 California Mechanical Code w/ City Amendments
Energy:	2022 California Energy Code w/ City Amendments
Fire:	2022 California Fire Code w/ City Amendments
Green Building:	2022 California Green Building Standards Code w/ City Amendments

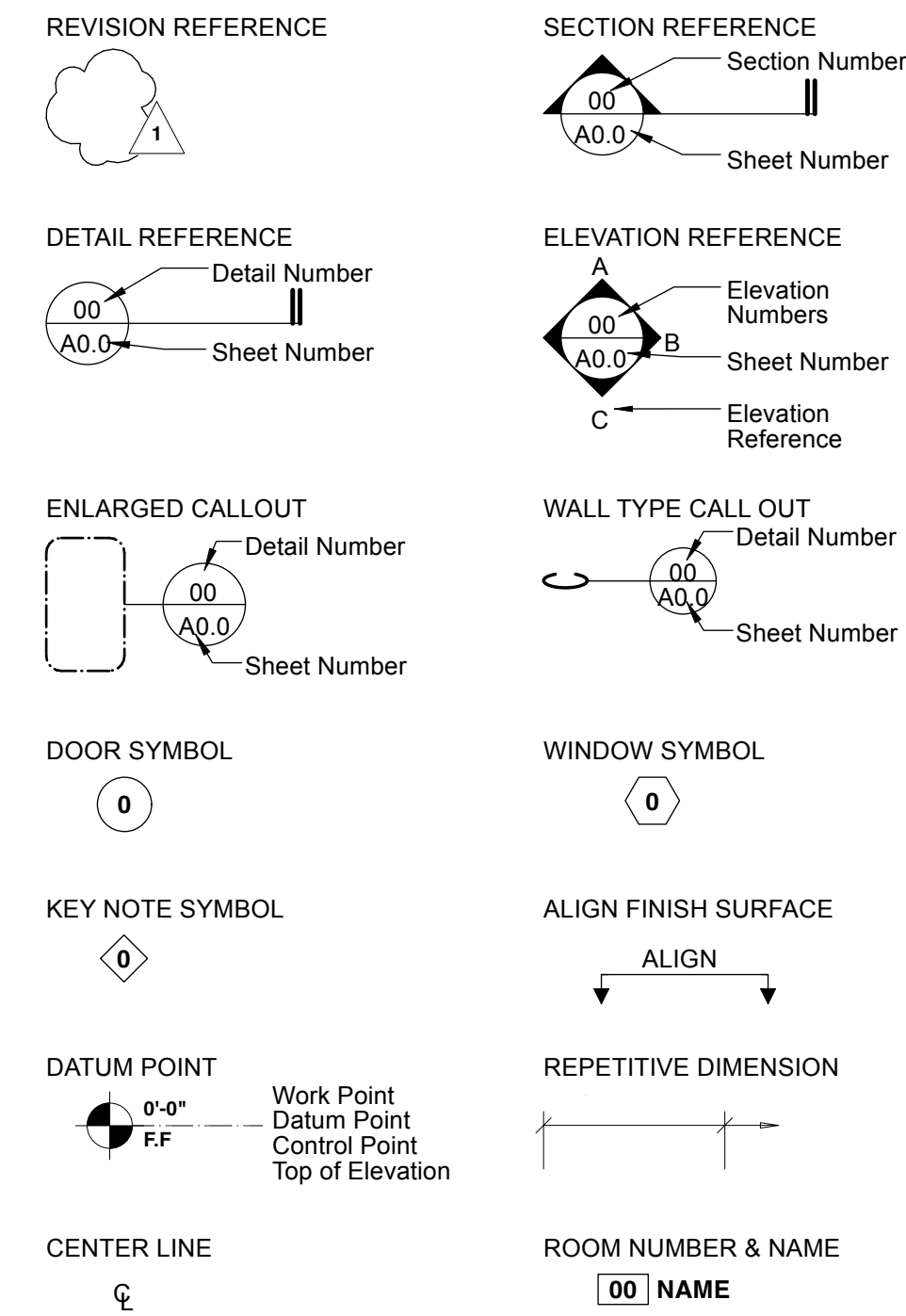
TENANT IMPROVEMENT

FOR

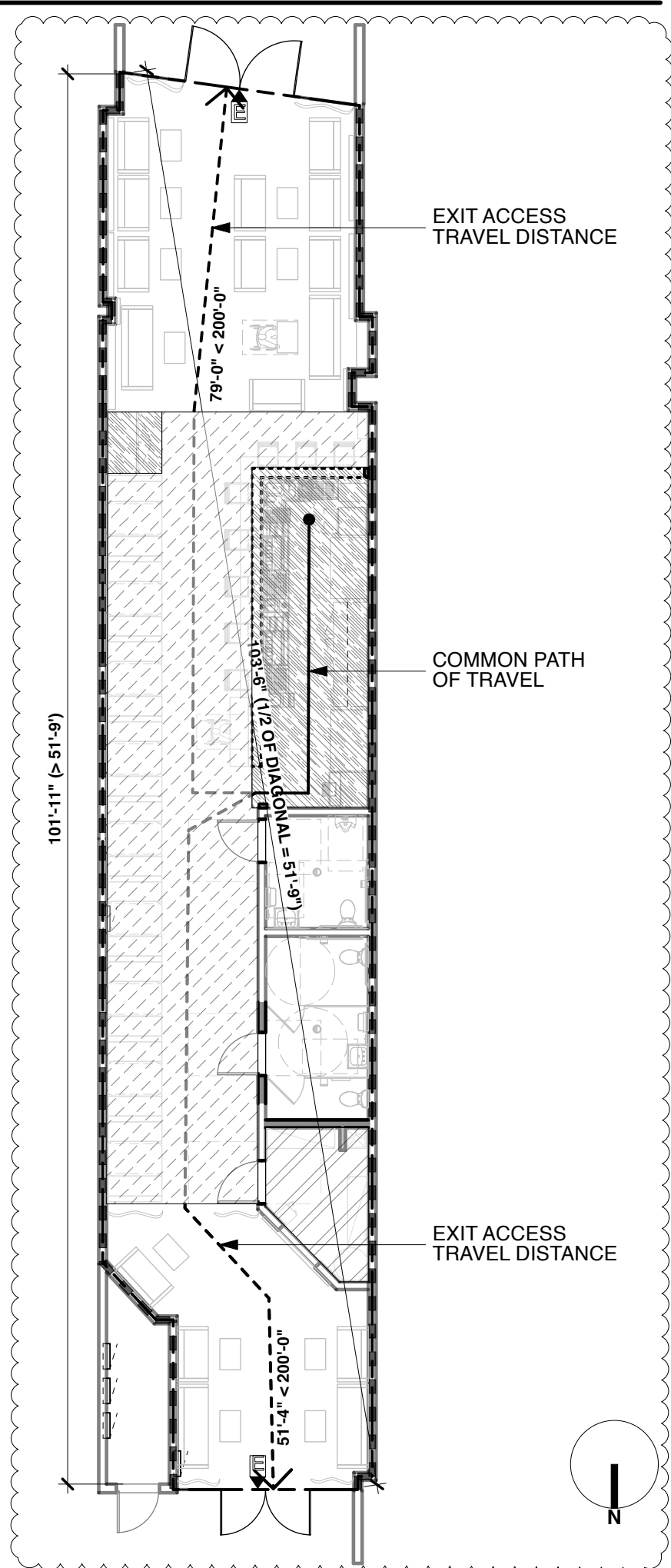
ROCK'N AVENUE

73-730 EL PASEO, SUITE C, PALM DESERT, CA 92260

SYMBOLS LEGEND



OCCUPANCY LOAD DIAGRAM



PROJECT DATA

PROJECT DESCRIPTION: Tenant Improvement of a new ±1900 sf Bar/Lounge at an existing retail store.

SCOPE OF WORK: Includes minor demolition, electrical and plumbing, new finishes, equipment and furniture.

ADDRESS: 73-730 El Paseo, Suite C Palm Desert, CA 92260

APN: 627-212-014

ZONING: Downtown (D)

CONSTRUCTION TYPE: V-B

SPRINKLERED: No

NUMBER OF STORIES: 1

PARKING: 6 required spaces

EXISTING USE: B Retail Shop

PROPOSED USE: A-2 Bar / Lounge

GROSS SQ FOOTAGE: 1900 sf No Change

NET SQ FOOTAGE: 1840 sf No Change

OCCUPANT LOAD: CBC 2022 Table 1004.5

Function of Space	Square Footage	Load Factor	Occupant Load
Assembly (Concentrated chairs only):	1,319 sf	15 net	90
Bar (Beverage Prep):	226 sf	200 gross	3
Storage:	63 sf	300 net	1
Total:			94

PROJECT DIRECTORY

TENANT: ROCK'N AVENUE
73-730 El Paseo, Suite C
Palm Desert, CA 92260
Contact: Patrick Masur
Tel: 605-809-5440
Email: patrick@rocknvenue.com

ARCHITECT: GREGORY ARCHITECTS
73200 El Paseo, Suite 2D
Palm Desert, CA 92260
Contact: Geoffrey Gregory
Tel: 760-779-2724
Email: geoff@gregoryarch.com

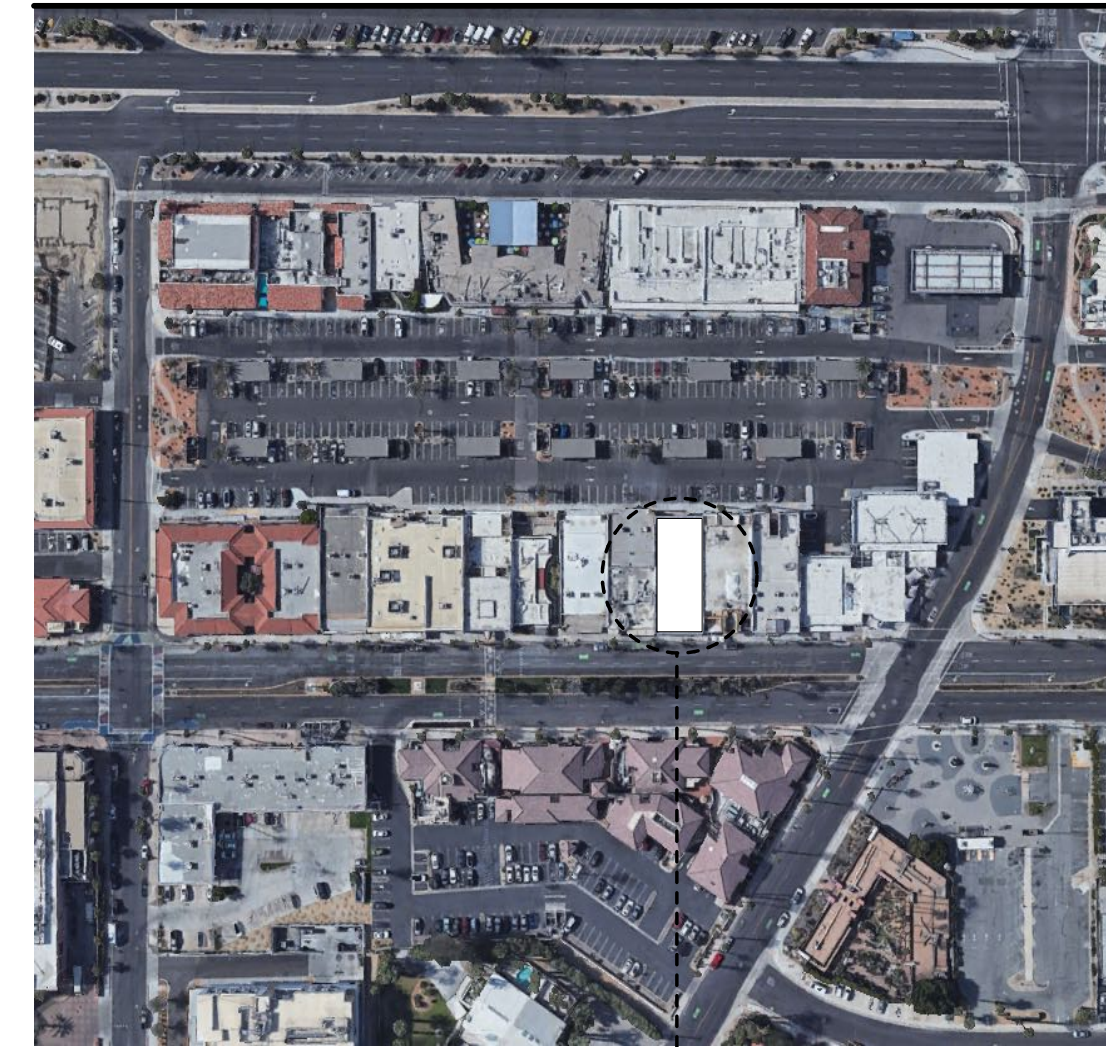
LANDLORD: VALUE ADD RETAIL
851 S Coast Hwy
Encinitas, CA 92024
Contact: Chad Vogt
Tel: 858-692-7523
Email: chad@valueaddretail.com

VENDOR LIST

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY AND INSTALLATION DATES WITH ALL VENDORS AT BEGINNING OF PROJECT. CONTRACTOR SHALL PROVIDE UPDATED WRITTEN CONSTRUCTION SCHEDULE TO ALL VENDORS.

PRODUCT	COMPANY	CONTACT	PHONE	EMAIL
BAR EQUIP	CHEFS TOYS	CRUZ IBARRA	(310) 953-1828	CRUZ.IBARRA@CHEFS-TOYS.COM
SIGNAGE	SIGNARAMA	GLENN DAVIS	(760) 776-9907	GLENN@PDSIGNARAMA.COM

VICINITY MAP



73-730 El Paseo, Suite C
Palm Desert, CA 92260

SHEET INDEX

Sheet No.	Description
A0.0	COVER SHEET
A0.1	GENERAL NOTES
A0.2	CAL GREEN
A0.3	CAL GREEN
A0.4	CAL GREEN
A0.5	CAL GREEN
A0.6	ACCESSIBILITY NOTES
A1.0	EXISTING SITE PLAN
A2.0	EXISTING / DEMO / PROPOSED FLOOR PLANS
A3.0	EXISTING / DEMO RCP & LIGHTING PLANS
A4.0	FURNITURE / EQUIPMENT & POWER PLANS
A5.0	EXTERIOR ELEVATIONS
A5.1	RENDERED PERSPECTIVES
A6.0	SECTIONS
A7.0	INTERIOR ELEVATIONS
A7.1	INTERIOR ELEVATIONS
A8.0	SCHEDULES
A8.1	SCHEDULES
A9.0	GENERAL DETAILS
ELECTRICAL	
E0.1	ELECTRICAL GENERAL NOTES
E0.2	TITLE 24
E1.1	LIGHTING FLOOR PLAN
E2.1	POWER FLOOR PLAN
E3.1	SINGLE LINE DIAGRAM & PANEL SCHEDULE
PLUMBING	
P1.0	PLUMBING COVER SHEET
P2.0	PLUMBING DEMO AND REMODEL FLOOR PLANS



All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
Date Modified: 03/09/2026
Scale: N.T.S.
Drawn By: AA

Cover Sheet

A0.0

AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)



73200 El Paseo, Suite 2D
Palm Desert, CA 92260
gregoryarch.com
760.779.2724



All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:
Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBCS)

301.5 HEALTH FACILITIES. (see GBCS)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSSA Division of Structural Safety
OSHPD Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

SECTION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

5.101.1 SCOPE
The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

ELECTRIC VEHICLE (EV). [BSC-CG, HCD] An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats and the like, are not included.

ELECTRIC VEHICLE (EV) CAPABLE SPACE. [BSC-CG, DSA-SS and HCD] A vehicle space with electrical panel space and load capacity to support a branch circuit and necessary raceways, both underground and/or surface mounted, to support EV charging.

ELECTRIC VEHICLE (EV) CHARGER. [BSC-CG, HCD] Off-board charging equipment used to charge an electric vehicle.

ELECTRIC VEHICLE CHARGING SPACE (EV SPACE). [HCD] A space intended for future installation of EV charging equipment and charging of electric vehicles.

ELECTRIC VEHICLE CHARGING STATION (EVCS). [BSC-CG, DSA-SS, HCD] One or more electric vehicle charging spaces served by EVSE or receptacle(s).

ELECTRIC VEHICLE (EV) READY SPACE. [HCD] A vehicle space which is provided with a branch circuit, any necessary raceways, both underground and/or surface mounted, to accommodate EV charging, terminating in a receptacle or a charger.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). [BSC-CG, DSA-SS and HCD] The conductors, including the ungrounded, grounded and equipment grounding conductors and the electric vehicle connectors, attachment plugs, personnel protection system, and all other fittings, devices, power outlets or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

SECTION 5.105 DECONSTRUCTION AND REUSE OF EXISTING STRUCTURES
5.105.1 Scope. [BSC-CG] Effective July 1, 2024, alteration(s) to existing building(s) where the combined altered floor area is 100,000 square feet or greater shall comply with either Section 5.105.2, 5.409.2, or 5.409.3. Addition(s) to existing building(s) where the total floor area combined with the existing building(s) is 100,000 square feet or greater shall comply with either Section 5.105.2, Section 5.409.2, or Section 5.409.3. Effective January 1, 2026, the combined floor area shall be 50,000 square feet or greater.

[DSA-SS] Alteration(s) to existing building(s) where the combined altered floor area is 50,000 square feet or greater shall comply with either Section 5.105.2, 5.409.2, or 5.409.3. Addition(s) to existing building(s) where the total floor area combined with the existing building(s) is 50,000 square feet or greater shall comply with either Section 5.105.2, Section 5.409.2, or Section 5.409.3.

Exception [BSC-CG, DSA-SS]: Combined addition(s) to existing building(s) of two times the area or more of the existing building(s) is not eligible to meet compliance with Section 5.105.2.

5.105.2 Reuse of existing building. An alteration or addition to an existing building shall maintain at a minimum 45 percent combined of the existing building's primary structural elements (foundations, columns, beams, walls, and floors, and lateral elements) and existing building enclosure (roof framing, wall framing and exterior finishes), window assemblies, insulation, portions of buildings deemed structurally unsound or hazardous, and hazardous materials that are remediated as part of the project shall not be included in the calculation.

5.105.2.1 Verification of compliance. Documentation shall be provided in the construction documents to demonstrate compliance with Section 5.105.2.

Note: Sample Worksheet WS-3 in Chapter 8 may be used to assist in documenting compliance with this section.

5.105.3 Deconstruction (Reserved).

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

- Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to the following:
 - Scheduling construction activity during dry weather, when possible.
 - Preservation of natural features, vegetation, soil, and buffers around surface waters.
 - Drainage swales or lined ditches to control stormwater flow.
 - Mulching or hydroseeding to stabilize disturbed soils.
 - Erosion control to protect slopes.
 - Protection of storm drain inlets (gravel bags or catch basins inlets).
 - Perimeter sediment control (perimeter silt fence, fiber rolls).
 - Sediment trap or sediment basin to retain sediment on site.
 - Stabilized construction exits.
 - Wind erosion control.
 - Other soil loss BMPs applicable to the enforcing agency.
- Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Demolition activities.
 - Material handling and waste management.
 - Building materials stockpile management.
 - Management of washout areas (concrete, paints, stucco, etc.).
 - Control of vehicle/equipment fueling to contractor's staging area.
 - Vehicle and equipment cleaning performed off site.
 - Spill prevention and control.
 - Other housekeeping BMPs acceptable to the enforcing agency.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all laws and regulations regarding stormwater discharge regulations for projects that (1) disturb one or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development or sale.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conservation design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency.

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/construction/stormwater. Consideration to the stormwater runoff management measures should be given during the initial design process or appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passer-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.
Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicular parking spaces being added, with a minimum of one bicycle parking facility.

5.106.4.1.4 For new shell buildings for phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Accessible bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.
5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

5.106.5.3 Electric vehicle (EV) charging. [N] [BSC-CG] Construction to provide electric vehicle infrastructure and facilitate electric vehicle charging shall comply with Section 5.106.5.3.1 EV capable spaces. Section 5.106.5.3.2 Electric vehicle charging stations and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 Electric vehicle charging stations (EVCS)—Power allocation method and associated Table 5.106.5.3.6 and shall be provided in accordance with regulations in the California Building Code and the California Electrical Code.

Exceptions:

- On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
 - Where there is no local utility power supply.
 - Where the local utility is unable to supply adequate power.
 - Where there is evidence suitable to the local enforcement agency substantiating the local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.
- Parking spaces accessible only by automated mechanical car parking systems are not required to comply.

5.106.5.3.1 EV capable spaces. [N] EV capable spaces shall be provided in accordance with Table 5.106.5.3.1 and the following requirements:

- Raceways complying with the California Electrical Code and no less than 1-inch (25 mm) diameter shall be provided and shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in a receptacle or a subpanel(s) serving the area and shall terminate in a suitable listed cabinet, box enclosure or equivalent. A common raceway may be used to serve multiple EV charging spaces.
- A service panel or subpanel (s) shall be provided with panel space and electrical load capacity for a dedicated 208/240 volt, 40-ampere minimum branch circuit for each EV capable space, with delivery of 30-ampere minimum to an installed EVSE at each EVCS.
- The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated ampereage at each EV capable space.
- The service panel or subpanel circuit directory shall identify the reserved overcurrent protective devices space(s) as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

Note: A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by an enforcement agency. See vehicle Code Section 22511.1 for further details.

TABLE 5.106.5.3.1

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE) ²
0-9	0	0
10-25	2	0
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20 percent of actual parking spaces ¹	25 percent of EV capable spaces ¹

- Calculation for spaces shall be rounded up to the nearest whole number.
- The number of required EVCS (EV capable spaces provided with EVSE) in column 3 count toward the total number of required EV capable spaces shown in column 2.
- At least one Level 2 EVSE shall be provided.

5.106.5.3.2 Electric vehicle charging stations (EVCS) EV capable spaces shall be provided with electric vehicle supply equipment (EVSE) to create EVCS in the number indicated in Table 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 shall be provided with Level 1 EVSE or DCFC as permitted in Section 5.106.5.3.2.1. At least one Level 2 EVSE shall be provided.

One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.3.1 for each EV capable space is accumulatively supplied to the EV charger.

The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.1 The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces without EVSE or EVCS with Level 2 EVSE by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.3.2.2 The installation of two low power Level 2 EV charging receptacles shall be permitted to reduce the minimum number of required EV capable spaces without EVSE in Table 5.106.5.3.1 by one.

5.106.5.3.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.3.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

5.106.5.3.4 Accessible EVCS. When EVSE is installed, accessible EVSC shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

Note: For EVCS signs, refer to California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

5.106.5.3.4 Accessible electric vehicle charging station (EVCS). When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

5.106.5.3.5 Electric vehicle charging station signage. Electric vehicle charging stations shall be identified by signage or pavement markings in compliance with California Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

Power allocation method shall include the following:
1. Use any kVA combination of EV capable spaces, low power Level 2, Level 2 or DCFC EVSEs.
2. At least one Level 2 EVSE shall be provided.

5.106.5.3.6 Electric vehicle charging stations (EVCS)—power allocation method. The power allocation method may be used as an alternative to the requirements in Section 5.106.5.3.1, Section 5.106.5.3.2 and associated Table 5.106.5.3.1. Use Table 5.106.5.3.6 to determine the total power in kVA required based on the total number of actual parking spaces.

TABLE 5.106.5.3.6

TOTAL NUMBER OF ACTUAL PARKING SPACES	MINIMUM TOTAL KVA @ 6 & 6 KVA	TOTAL KVA REQUIRED IN ANY COMBINATION OF EV CAPABLE, 3.4 LOW POWER LEVEL 2, LEVEL 2, 1, 2 OR DCFC
0-9	0	0
10-25	26.4	26.4
26-50	52.8	52.8
51-75	65.8	65.8
76-100	112.2	112.2
101-150	165	165
151-200	231	231
201 AND OVER	20 percent of actual parking spaces x 6.6	Total required kVA = P x .20 x 6.6 Where P = Parking spaces in facility

- Level 2 EVSE @ 6.6 kVA minimum.
- At least one Level 2 EVSE shall be provided.
- Maximum allowed kVA to be utilized for EV capable spaces is 75 percent.
- If EV capable spaces are utilized, they shall meet the requirements of Section 5.106.5.3.1 EV capable spaces.

5.106.5.4 Additions or alterations to existing buildings or parking facilities [A]. [BSC-CG] Existing buildings or parking facilities being modified by one of the following shall comply with Section 5.106.5.4.1 or 5.106.5.4.2. When EVSE is installed, accessible EVCS shall be provided in accordance with the California Building Code, Chapter 11B, Section 11B-228.3.

- When the scope of construction work includes an increase in power supply to an electric service panel as part of a parking facility addition or alteration.
- When a new photovoltaic system is installed covering existing parking spaces.
- When additions or alterations to existing buildings are triggered pursuant to code Section 301.3 and the scope of work includes an increase in power supply to an electric service panel.

Exceptions:

- On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
 - Where there is no local utility power supply.
 - Where the local utility is unable to supply adequate power.
 - Where there is evidence suitable to the local enforcement agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.
 - Where demonstrated as impracticable excluding local utility service or utility infrastructure issues.
- Remote parking facilities that do not have access to the building service panel.
- Parking area lighting upgrades where no trenching is part of the scope of work.
- Emergency repairs, including but not limited to water line break in parking facilities, natural disaster repairs, etc.

5.106.5.4.1 Existing buildings or parking areas without previously installed EV capable infrastructure [A]. When EV capable infrastructure or parking area does not exist at an existing parking facility or building, and the parking facility or building undergoes an addition or alteration listed in Section 5.106.5.4, construction shall include electric vehicle charging in compliance with either Section 5.106.5.3 and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 and associated Table 5.106.5.3.6 utilizing the existing EV capable allocated power and infrastructure for the total number of actual parking spaces being added or altered. If the area being added or altered exceeds the existing EV capable capacity, allocated power and infrastructure, provide additional EV charging as needed to comply with this section.

5.106.5.4.2 Existing buildings or parking areas with previously installed EV capable infrastructure [A]. When EV capable infrastructure is available at an existing parking facility or building, and the parking facility or building is undergoing an addition or alteration listed in Section 5.106.5.4, construction shall include electric vehicle charging in compliance with either Section 5.106.5.3 and associated Table 5.106.5.3.1, or Section 5.106.5.3.6 and associated Table 5.106.5.3.6 utilizing the existing EV capable allocated power and infrastructure for the total number of actual parking spaces being added or altered. If the area being added or altered exceeds the existing EV capable capacity, allocated power and infrastructure, provide additional EV charging as needed to comply with this section.

TABLE 5.106.5.5.1

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CAPABLE SPACES	NUMBER OF REQUIRED EVCS ²
0-9	0	0
10-25	4	1
26-50	8	2
51-75	13	3
76-100	17	4
101-150	25	6
151-200	35	9
201 AND OVER	20 percent of total spaces ¹	25 percent of EV capable spaces ¹

5.106.5.5 Electric vehicle (EV) charging: medium-duty and heavy-duty. [N] [BSC-CG] Construction shall comply with Section 5.106.5.5.1 to facilitate future installation of electric vehicle supply equipment (EVSE). Construction for warehouses, grocery stores and retail stores, office buildings, and manufacturing facilities with planned off-street loading spaces shall also comply with Section 5.106.5.5.1 for future installation of medium- and heavy-duty EVSE.

Exceptions:
1. On a case-by-case basis where the local enforcing agency has determined compliance with this section is not feasible based upon one of the following conditions:
a. Where there is no local utility power supply.
b. Where the local utility is unable to supply adequate power.
c. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.5.3, may adversely impact the construction cost of the project.

When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.5.1 Electric vehicle charging readiness requirements for warehouses, grocery stores, office buildings, and manufacturing facilities and retail stores with planned off-street loading spaces. [N]
In order to avoid future demolition when adding EV supply and distribution equipment, spare raceway(s) or busway(s) and adequate capacity for transformer(s), service panel(s) or subpanel(s) shall be installed at the time of construction in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The transformer, main service equipment and subpanels shall meet the minimum power requirement in Table 5.106.5.5.1 to accommodate the dedicated branch circuits for the future installation of EVSE.
- The construction documents shall indicate one or more location(s) convenient to the planned off-street loading space(s) reserved for medium- and heavy-duty ZE EV charging cabinets and charging dispensers, and a pathway reserved for routing of conduit from the termination of the raceway(s) or busway(s) to the charging cabinet(s) and dispenser(s), as shown in Table 5.106.5.5.1.
- Raceway(s) or busway(s) originating at a main service panel or a subpanel(s) serving the area where potential future medium- and heavy-duty EVSE will be located and shall terminate in close proximity to the potential future location of the charging equipment for medium- and heavy-duty vehicles.
- The raceway(s) or busway(s) shall be of sufficient size to carry the minimum additional system load to the future location of the charging for medium- and heavy-duty ZEVs as shown in Table 5.106.5.5.1.

TABLE 5.106.5.5.1 RACEWAY CONDUIT AND PANEL POWER REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE [N]

BUILDING TYPE	BUILDING SIZE (SQ. FT.)	NUMBER OF OFF-STREET RACEWAY & LOADING SPACES	ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & TRANSFORMER & PANEL
Grocery	10,000 to 90,000	1 or 2	200
	Greater than 90,000	3 or Greater	400
Manufacturing Facilities	10,000 to 50,000	1 or 2	200
	10,000 to 50,000	3 or Greater	400
	Greater than 50,000	1 or Greater	400
Office Buildings	10,000 to 135,000	1 or 2	200

AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (July 2024 Supplement)

5.106.5.6.2.1 Reduced number of EV capable spaces. The installation of each DCFC EVSE shall be permitted to reduce the minimum number of required EV capable spaces indicated in Table 5.106.5.6.1 by five and reduce proportionally the required electrical load capacity to the service panel or subpanel.

5.106.5.6.2.2 Multiple connectors. EVSE with multiple vehicle connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required by Section 5.106.5.6.1 for each EV capable space is accumulatively supplied to the EVSE.

5.106.5.6.2.3 Use of automatic load management systems (ALMS). ALMS shall be permitted for EVCS installed in accordance with Section 5.106.5.6.2. When ALMS is installed, the required electrical load capacity specified in Section 5.106.5.6.1 for each EVCS may be reduced when serviced by an EVSE controlled by an ALMS. Each EVSE controlled by an ALMS shall deliver a minimum 30 amperes to an EV when charging one vehicle and shall deliver a minimum 3.3 kW while simultaneously charging multiple EVs.

5.106.5.6.3 EVCS alternative compliance. In lieu of compliance with Section 5.106.5.6.2, EVCS shall be provided with Level 1, low power Level 2, or Level 2, or any combination of Level 1, low power Level 2 or Level 2 EVSE such that the total power supplied by the combination of EVSE meets the minimum power indicated in Table 5.106.5.6.3, based on the total number of actual parking spaces in each parking facility.

NUMBER OF PARKING SPACES IN A PARKING FACILITY	MINIMUM TOTAL POWER (KVA) REQUIRED FOR EVCS
0-9	0
10-25	7
26-50	14
51-75	20
76-100	27
101-150	40
151-200	60
201 AND OVER	Total required KVA = P x .05 x 6.6 Where P = Parking spaces in facility

5.106.5.6.4 EVCS for alterations of or additions to parking facilities. Alterations of or additions to parking facilities shall provide EVCS in compliance with Section 5.106.5.6.4. The installation of infrastructure for EV capable spaces required to be provided without EVSE shall not be required.

5.106.5.6.4.1 Alterations of and additions to parking facilities. EVCS shall be provided in accordance with the number indicated in Table 5.106.5.6.3 or minimum power indicated in Table 5.106.5.6.3 when the scope of work includes an increase in power supply to an electric panel serving light fixtures illuminating the parking area or when area containing parking spaces is added to a parking facility. The number of required EVCS shall be based on the total number of existing and new parking spaces in the parking facility.

5.106.5.6.4.2 Alterations consisting of the installation of photovoltaic systems. EVCS shall be provided in accordance with the number indicated in Table 5.106.5.6.3 or maximum power indicated in Table 5.106.5.6.3 when a new photovoltaic system is installed in an existing parking facility.

5.106.5.6.5 Requirement to install EVSE. Level 2 EVSE shall be provided in all existing EV capable spaces to create EVCS when a project is required by California Administrative Code Section 4-209 to be submitted for plan approval to the Division of the State Architect. When EVSE is installed in existing EV capable spaces, accessible EVCS shall be provided in accordance with *California Building Code* Chapter 11B.

Exception: Projects in which improvements in parking areas consist only of accessibility improvements are not required to comply with Section 5.106.5.6.5.

5.106.8 LIGHT POLLUTION REDUCTION. [N]. 1 Outdoor lighting systems shall be designed and installed to comply with the following:

- The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and
- Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);
- Light and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8); and
- Allowable BUG ratings not exceeding those shown in Table 5.106.8. [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

- Exceptions: [N]**
- Luminaires that qualify as exceptions in Sections 130.2 (b) and 140.7 of the California Energy Code.
 - Emergency lighting.
 - Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.
 - Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 Alternate materials, designs and methods of construction.
 - Luminaires with less than 6,200 initial luminaire lumens.

ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
MAXIMUM ALLOWABLE BACKLIGHT RATINGS Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1-2 MH from property line	N/A	B2	B3	B4	B4
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATINGS (U) For area lighting	N/A	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	N/A	U1	U2	U3	UR
MAXIMUM ALLOWABLE GLARE RATINGS (G)					
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G1	G2	G3	G4
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G1	G1	G2
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G0	G1	G1
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G0	G0	G1

- ¹ IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
- ² For property lines that about public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that about public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
- ³ General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet I-V-value limits for "all other outdoor lighting"

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN CODE). DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

5.106.8.1 Facing-Backlight
Luminaires within 2M of a property line shall be oriented so that the nearest property line is behind the fixture, and shall comply with the backlight rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point of that property line.

Exception: Corners. If two property lines (or two segments of the same property line) have equidistant point to the luminaire, then the luminaire may be oriented so that the intersection of the two lines (the corner) is directly behind the luminaire. The luminaire shall still use the distance to the nearest point(s) on the property lines to determine the required backlight rating.

5.106.8.2 Facing-Glare.
For luminaires covered by 5.106.8.1, if a property line also exists within or extends into the front hemisphere within 2M of the luminaire then the luminaire shall comply with the more stringent glare rating specified in Table 5.106.8 based on the lighting zone and distance to the nearest point on the nearest property line within the front hemisphere.

- Note: [N]**
- See also *California Building Code*, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.
 - Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, *California Energy Code* Tables 130.2-A and 130.2-B.
 - Refer to the *California Building Code* for requirements for additions and alterations.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales.
- Water collection and disposal systems.
- French drains.
- Water retention gardens.
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.

Exceptions: Surface parking area covered by solar photovoltaic shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.

5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3 Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

- Exceptions:**
- Walks, hardscape areas covered by solar photovoltaic shade structures or shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5 shall be permitted in whole or in part in lieu of shade tree planting.
 - Designated and marked play areas of organized sport activity are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL
5.201.1 Scope [BSC-CG], California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL
5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS
5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWEO, or adopt a local ordinance at least as effective as the MWEO.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

POTABLE WATER, [HCD] Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Having Jurisdiction.

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. [HCD 1] A secondary device beyond a meter that measures water consumption of an individual rental unit within a multifamily residential structure or mixed-use residential and commercial structure. (See Civic Code Section 1954.202 (g) and Water Code Section 517 for additional details.)

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWEO).

SECTION 5.303 INDOOR WATER USE
5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.

- 5.303.1.1 Buildings in excess of 50,000 square feet.** Separate submeters shall be installed as follows:
- For each individual leased, rented or other tenant space within the building projected to consume more than 100 gallons (380 Liters), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.
 - Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems:
 - Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).
 - Makeup water for evaporative coolers greater than 9 gpm (0.04 L/s).
 - Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).
- 5.303.1.2 Excess consumption.** A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gpd/day.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:

5.303.3.1 Water Closures. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

5.303.3.2 Urinals.
5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.

5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush.

5.303.3.3 Showerheads. [BSC-CG]
5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
Note: A hand-held shower shall be considered a showerhead.

5.303.3.3.3 Showerheads. [BSC-CG]
5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

5.303.3.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
Note: A hand-held shower shall be considered a showerhead.

5.303.3.4 Faucets and fountains.
5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.

5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 (rim space (inches) at 60 psi).

5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.

5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 (rim space (inches) at 60 psi).
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

5.303.3.4.6 Pre-rinse spray valve
When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7), and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY:The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozf)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1.28

5.303.4 COMMERCIAL KITCHEN EQUIPMENT.

5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding) (food waste/loader) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.
Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.

5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code and in Chapter 6 of this code.

SECTION 5.304 OUTDOOR WATER USE

5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Nonresidential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEO), whichever is more stringent.

- Notes:**
- The Model Water Efficient Landscape Ordinance (MWEO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division 2.
 - MWEO and supporting documents, including a water budget calculator, are available at: <https://www.water.ca.gov/>

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWEO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWEO.

5.304.6.1 Newly constructed landscapes. New construction projects with an aggregate landscape area equal to or greater than 500 square feet.

5.304.6.2 Rehabilitated landscapes. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

SECTION 5.401 GENERAL
5.401.1 SCOPE. [BSC-CG] The provisions of this chapter specify the requirements of achieving material conservation, resource efficiency, and greenhouse gas (GHG) emission reduction through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, the installation of products with lower GHG emissions and building commissioning or testing and adjusting.

SECTION 5.402 DEFINITIONS
5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

ADJUSTER. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.

BALANCE. To proportion flows within the distribution system, including sub-main, branches and terminals, according to design quantities.

BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.

BUY CLEAN CALIFORNIA ACT (BCCA). The Buy Clean California Act (BCCA) (Public Contract Code Sections 3500-3555) targets contracts for the production of structural steel (hot-rolled sections, hollow structural sections, and plate), concrete reinforcing steel, flat glass, and mineral wool board insulation. The maximum acceptable global warming potential (GWP) limits are established by the Department of General Services (DGS), in consultation with the California Air Resources Board (CARB).

CRADLE-TO-GRAVE. Activities associated with a product or building's life cycle from the extraction stage through disposal stage, and covering modules A1 through C4 in accordance with ISO Standards 14026 and 21530.

ORGANIC WASTE. Food waste, green waste, landscape and pruning waste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.

REFERENCE STUDY PERIOD. The period of use for the building, in years, that will be assumed for life cycle assessment.

TEST. A procedure to determine quantitative performance of a system or equipment

TYPE III ENVIRONMENTAL PRODUCT DECLARATION (EPD). A third-party verified report that summarizes how a product impacts the environment. Type III EPDs can be either product-specific, factory-specific, or industry-wide EPDs. See "Cradle-to-Gate."

FACTORY-SPECIFIC EPD. A product-specific Type III EPD in which the environmental impacts can be attributed to a single manufacturer and manufacturing facility.

INDUSTRY-WIDE EPD (IW-EPD). A Type III EPD in which the environmental impacts are an average of the typical manufacturing impacts for a range of products within the same product category for a group of manufacturers.

PRODUCT-SPECIFIC EPD. A Type III EPD in which the environmental impacts can be attributed to a product design and manufacturer across multiple facilities.

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1402.2 (Weather Protection), manufacturer's installation instructions or local ordinance, whichever is more stringent.

5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.

- 5.407.2.1 Sprinklers.** Design and maintain landscape irrigation systems to prevent spray on structures.
- 5.407.2.2 Entries and openings.** Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows:
- 5.407.2.2.1 Exterior door protection.** Primary exterior entries shall be covered to prevent water intrusion by using a weather-resistant floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:
- An installed awning at least 4 feet in depth.
 - The door is protected by a roof overhang at least 4 feet in depth.
 - The door is recessed at least 4 feet.
 - Other methods which provide equivalent protection.
- 5.407.2.2.2 Flashing.** Install flashings integrated with a drainage plane.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT PLAN. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:

- Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale.
- Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
- Identifies diversion facilities where construction and demolition waste material collected will be taken.
- Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste Management Company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.

Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.

Exceptions to Sections 5.408.1.1 and 5.408.1.2:

- Excavated soil and land-clearing debris.
 - Alternate waste reduction methods developed by working with local agencies if recycling or recycle facilities capable of compliance with this item do not exist.
 - Demolition waste meeting local ordinance or calculated in consideration of local diversion facilities and markets.
- 5.408.1.3 Waste stream reduction alternative.** The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.
- 5.408.1.4 Documentation.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

- Notes:**
- Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen may



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (July 2024 Supplement)

5.409.2 Whole building life cycle assessment. Projects shall conduct a cradle-to-grave whole building life cycle assessment performed in accordance with ISO 14040 and ISO 14044, excluding operating energy, and demonstrating a minimum 10 percent reduction in global warming potential (GWP) as compared to a reference baseline building of similar size, function, complexity, type of construction, material specification, and location that meets the requirements of the California Energy Code currently in effect. Software used to conduct the whole building life cycle assessment, including reference baseline building, shall have a data set compliant with ISO 14044, and ISO 21930 or EN 15804, and the software shall conform to ISO 21931 and/or EN 15978. The software tools and data sets shall be the same for evaluation of both the baseline building and the proposed building.

- Notes:**
- Software for calculating whole building life cycle assessment is available for free at Athena Sustainable Materials Institute (<https://calculatelm.com/software/impact-estimator/>) and OneClick LCA-Planetary (www.oneclicklca.com/planetary). Paid versions include, but are not limited to, Sphera Gabi Solutions (gabi.sphera.com), SimaPro (simaapro.com), One-Click LCA (www.oneclicklca.com) and Tally for Revit (apps.autodesk.com).
 - ASTM E2921-22 "Standard Practice for Minimum Criteria for Comparing Whole Building Life Cycle Assessments for Use with Building Codes, Standards, and Rating Systems" may be consulted for the assessment.
 - In addition to the required documentation specified in Section 5.409.2.3, Worksheet WS-9 may be required by the enforcing entity to demonstrate compliance with the requirements.

5.409.2.1 Building components. Building enclosure components included in the assessment shall be limited to glazing assemblies, insulation, and exterior finishes. Primary and secondary structural members included in the assessment shall be limited to footings and foundations, and structural columns, beams, walls, roofs, and floors.

5.409.2.2 Reference study period. The reference study period of the proposed building shall be equal to the reference baseline building and shall be 60 years.

5.409.2.3 Verification of compliance. A summary of the GWP analysis produced by the software and Worksheet WS-4 signed by the design professional of record shall be provided in the construction documents as documentation of compliance. A copy of the whole building life cycle assessment which includes the GWP analysis produced by the software, in addition to maintenance and training information, shall be included in the operation and maintenance manual and shall be provided to the owner at the close of construction. The enforcing agency may require inspection and inspection reports in accordance with Sections 702.2 and 703.1 during and at completion of construction to demonstrate substantial conformance. Inspection shall be performed by the design professional or other third party acceptable to the enforcing agency.

5.409.3 Product GWP compliance—prescriptive path. Each product that is permanently installed and listed in Table 5.409.3 shall have a Type III environmental product declaration (EPD), either product-specific or factory-specific.

BUY CLEAN CALIFORNIA MATERIALS PRODUCT CATEGORY*	MAXIMUM ACCEPTABLE GWP VALUE (unfabricated) (GWP _{allowed})	UNIT OF MEASUREMENT
Hot-rolled structural steel sections	1.77	MT CO ₂ e/MT
Hollow structural sections	3.00	MT CO ₂ e/MT
Steel plate	2.61	MT CO ₂ e/MT
Concrete reinforcing steel	1.56	MT CO ₂ e/MT
Flat glass	2.50	MT CO ₂ e/MT ⁴
Light-density mineral wool board insulation	5.83	kg CO ₂ e/MT
Heavy-density mineral wool board insulation	14.28	kg CO ₂ e/MT
Concrete, Ready-Mixed^{2, 3}		
CONCRETE PRODUCT CATEGORY	MAXIMUM GWP ALLOWED VALUE (GWP _{allowed})	UNIT OF MEASUREMENT
up to 2499 psi	450	kg CO ₂ e/m ³
2500–3499 psi	489	kg CO ₂ e/m ³
3500–4499 psi	566	kg CO ₂ e/m ³
4500–5499 psi	661	kg CO ₂ e/m ³
5500–6499 psi	701	kg CO ₂ e/m ³
6500 psi and greater	799	kg CO ₂ e/m ³
Concrete, Lightweight Ready-Mixed²		
CONCRETE PRODUCT CATEGORY	MAXIMUM GWP ALLOWED VALUE (GWP _{allowed})	UNIT OF MEASUREMENT
up to 2499 psi	875	kg CO ₂ e/m ³
2500–3499 psi	956	kg CO ₂ e/m ³
3500–4499 psi	1039	kg CO ₂ e/m ³

- The GWP values of the products listed in Table 5.409.3 are based on 175 percent of Buy Clean California Act (BCCA) GWP values, except for concrete products which are not included in the BCCA.
- For concrete, 175 percent of the National Ready Mixed Concrete Association (NRMCA) 2022 version 3 Pacific Southwest regional benchmark values are used for the GWP allowed, except for High Early Strength.
- Concrete High Early Strength ready-mixed shall be calculated at 130 percent of the ready-mixed concrete GWP allowed values for each product category.
- The GWP unit for flat glass has been adjusted to correct an error in the express terms. With the revised unit (MT CO₂e/MT), reported GWP values will align with industry data as published in the CLF North American Material Baselines (2023).

5.409.3.1 Products shall not exceed the maximum GWP value specified in Table 5.409.3.

Exception: Concrete may be considered one product category to meet compliance with this section. A weighted average of the maximum GWP for all concrete mixes installed in the project shall be less than the weighted average maximum GWP allowed per Table 5.409.3 using Exception Equation 5.409.3.1. Calculations shall be performed with consistent units of measurement for the material quantity and the GWP value.

For the purposes of this exception, industry-wide EPDs are acceptable.

Exception EQUATION 5.409.3.1

$$GWP_p < GWP_{allowed}$$

$$GWP_p = \sum (GWP_p)(V_p)$$

$$GWP_{allowed} = \sum (GWP_{allowed})(V_p)$$

and

$$V_p = \text{each concrete mix installed in the project}$$

$$GWP_p = \text{the GWP for concrete mix } p \text{ per concrete mix EPD, in kg CO}_2\text{e/m}^3$$

$$GWP_{allowed} = \text{the GWP potential allowed for concrete mix } p \text{ per Table 5.409.3}$$

$$V_p = \text{the volume of concrete mix } p \text{ installed in the project, in m}^3$$

5.409.3.2 Verification of compliance. Calculations to demonstrate compliance, Type III EPDs for products required to comply, if included in the project, and Worksheet WS-5 signed by the design professional of record shall be provided on the construction documents. Updated EPDs for products used in construction shall be provided to the owner at the close of construction and to the enforcing entity upon request. The enforcing agency may require inspection and inspection reports in accordance with Sections 702.2 and 703.1 during and at completion of construction to demonstrate substantial conformance. Inspection shall be performed by the design professional or other third party acceptable to the enforcing agency.

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS

5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) et seq. shall also be exempt from the organic waste portion of this section.

5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site.

Exception: Additions within a tenant space resulting in less than a 30% increase in the tenant space floor area.

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (Act).

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.

5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply.

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements

Commissioning requirements shall include:

- Owner's or Owner representative's project requirements.
- Basis of design.
- Commissioning measures shown in the construction documents.
- Commissioning plan.
- Functional performance testing.
- Documentation and training.
- Commissioning report.

- Exceptions:**
- Unconditioned warehouses of any size.
 - Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses.
 - Tenant improvements less than 10,000 square feet as described in Section 303.1.1.
 - Open parking garages of any size, or open parking garage areas, of any size, within a structure.

Note: For the purposes of this section, unconditioned shall mean a building, area or room which does not provide heating and/or air conditioning.

Informational Notes:

- Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code.

5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following:

- Environmental and sustainability goals.
- Building sustainable goals.
- Indoor environmental quality requirements.
- Project program, including facility functions and hours of operation, and need for after hours operation.
- Equipment and systems expectations.
- Building occupant and operation and maintenance (O&M) personnel expectations.

5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:

- Renewable energy systems.
- Landscaping irrigation systems.
- Water reuse system.

5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following:

- General project information.
- Commissioning goals.
- Systems to be commissioned. Plans to test systems and components shall include:
 - An explanation of the original design intent.
 - Equipment and systems to be tested, including the extent of tests.
 - Functions to be tested.
 - Conditions under which the test shall be performed.
 - Measurable criteria for acceptable performance.
- Commissioning team information.
- Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.

5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made.

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations.

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following:

- Site information, including facility description, history and current requirements.
- Site contact information.
- Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log.
- Major systems.
- Site equipment inventory and maintenance notes.
- A copy of verifications required by the enforcing agency or this code.
- Other resources and documentation, if applicable.

5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:

- System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).
- Review and demonstration of servicing/preventive maintenance.
- Review of the information in the Systems Manual.
- Review of the record drawings on the system/equipment.

5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.

5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

5.410.4.2 (Reserved)

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)(3) for additional testing requirements of specific systems.

5.410.4.3 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

- Renewable energy systems.
- Landscaping irrigation systems.
- Water reuse systems.

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards, the National Environmental Balancing Bureau Procedural Standards, Associated Air Balance Council National Standards or as approved by the enforcing agency.

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.

DIVISION 5.5 ENVIRONMENTAL QUALITY

SECTION 5.501 GENERAL

5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.

SECTION 5.502 DEFINITIONS

5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.

A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.

1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32° Fahrenheit.

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).

Note: See CCR, Title 17, Section 93120.1.

DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.).

DECIBEL (dB). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.

ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included.

ELECTRIC VEHICLE CHARGING STATION(S) (EVCS). One or more spaces intended for charging electric vehicles.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest.

EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.

FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections.

GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.

GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995), or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14; the AR4 GWP values are found in column "100 yr" of Table 2.14.

HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hydrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150; or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).

LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter.

LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150; and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).

PRODUCT-WEIGHTED MIR (PWIMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWIMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

PSIG. Pounds per square inch, gauge.

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

SCHRADER ACCESS VALVES. Access fittings with a valve core installed.

SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.

SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.

VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94500(a).

Note: Where specific regulations are cited from different agencies such as SCAGMAD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

SECTION 5.503 FIREPLACES
5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.

5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

SECTION 5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAGMAD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.

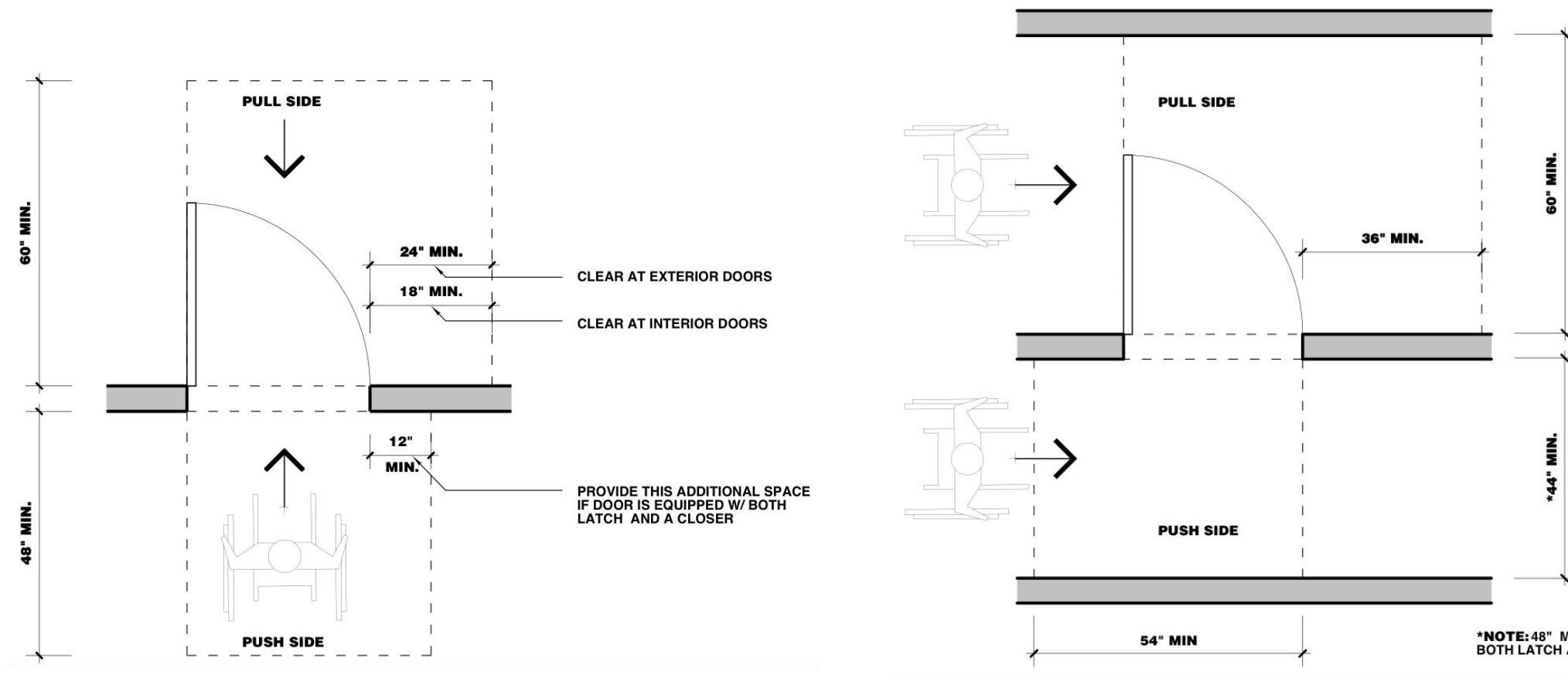
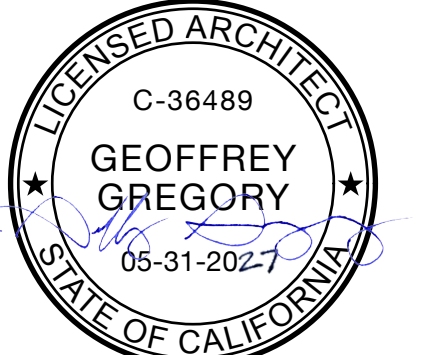
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	50
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CRH/HTML/R1168.PDF

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



FRONT APPROACH

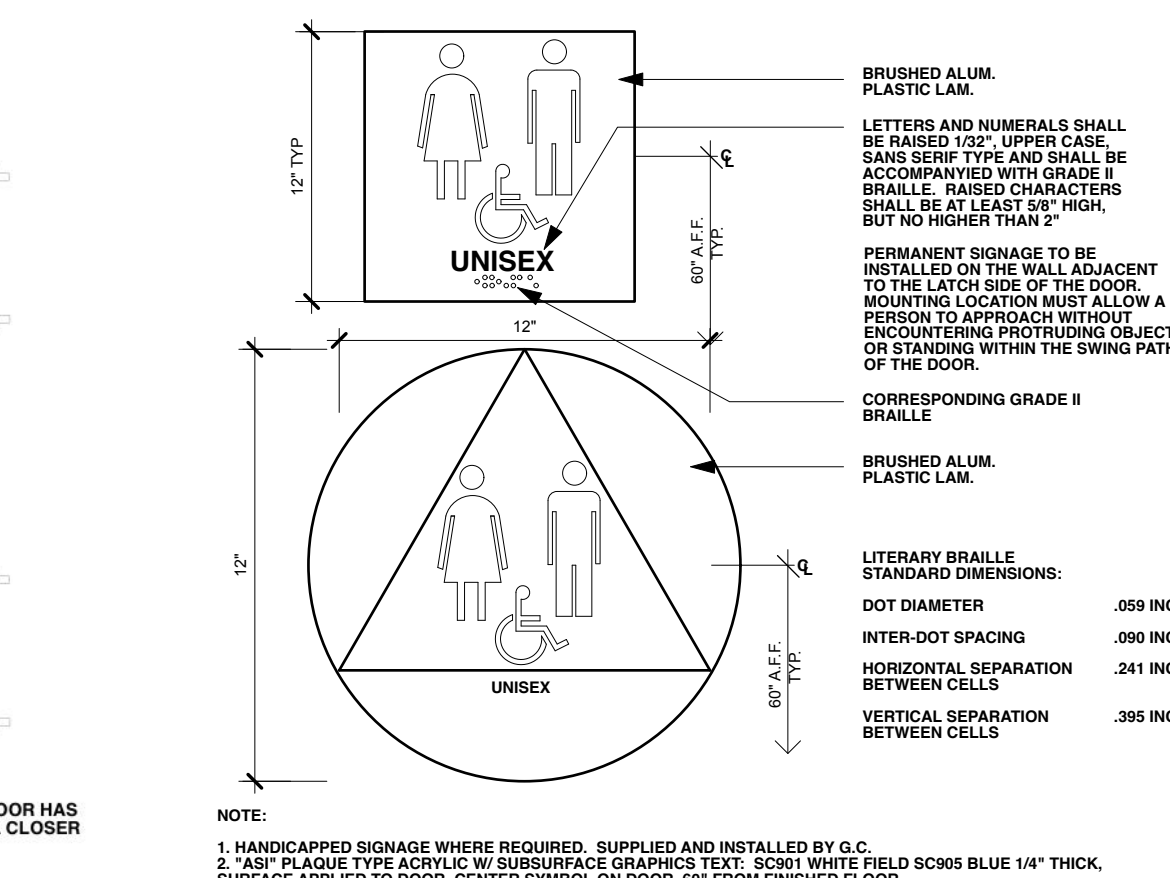
Scale: NTS

01 HINGE APPROACH

Scale: NTS

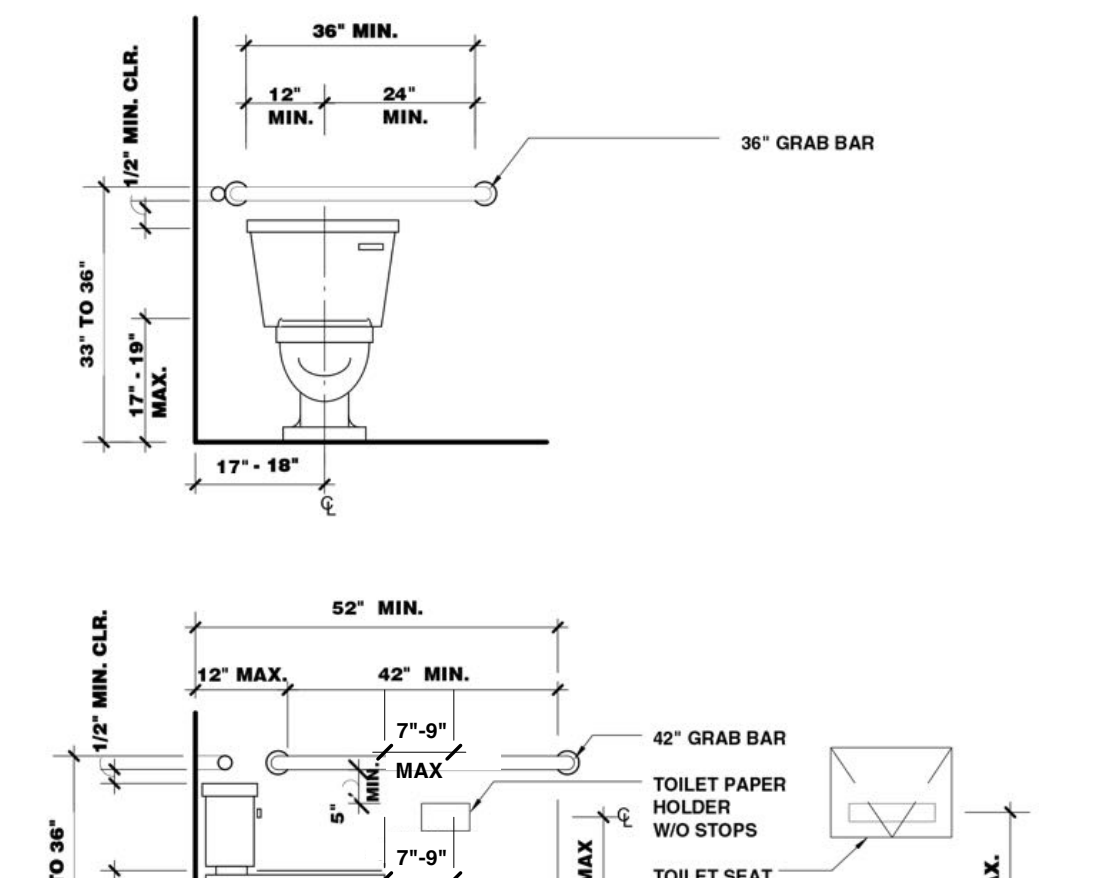
02 LATCH APPROACH

Scale: NTS



03 ADA ALL GENDER RR SIGNAGE

Scale 2" = 1'-0"



04 ADA FL MOUNTED WC

Scale N.T.S.

ENTRANCES AND EXITS

- ALL ENTRANCES AND EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES. (1133B.1.1.1, FIG. 11B-29)
- DURING PERIODS OF PARTIAL OR RESTRICTED USE OF A BUILDING OR FACILITIES, THE ENTRANCES USED FOR PRIMARY ACCESS SHALL BE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES.
- RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC. (1133B.1.1.1.3, FIG. 11B-29)
- RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC. (1133B.1.1.1.3, FIG. 11B-29)

DOORS

- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. MANUALLY OPERATED BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9.1, 1008.1.9.4, 1008.1.9.5)
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, U-SHAPED HANDLES, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (1133B.2.5.2)
- HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. (1133B.2.5.2)
- WHEN INSTALLED, DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN 90 DEGREES. (1133B.1.1.1.1, FIG. 11B-58 & 11B-33)
- FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. (1133B.2.3.1)
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. (1133B.2.3.1)
- MINIMUM MANEUVERING CLEARANCES AT DOORS SHALL BE AS SHOWN IN FIGURE 11B-26A, 11B-26B, & 11B-26C. THE FLOOR OR GROUND SURFACE SHALL BE LEVEL AND CLEAR. (1133B.2.4.2)
- THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60 INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION. (1133B.2.4.2, & FIG. 11B-25)
- THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS. WHERE THE PLANE OF THE DOORWAY IS OFFSET OR LOCATED IN AN ALCOVE A DISTANCE MORE THAN 8 INCHES MEASURED FROM THE PLANE OF THE DOORWAY TO THE FACE OF THE WALL, THE DOOR SHALL BE PROVIDED WITH 60 INCHES MANEUVERING CLEARANCE FOR FRONT APPROACH. (1133B.2.4.3, 1133B.2.4.5, 1133B.2.5.3, FIG. 11B-33(A))
- PROVIDE CLEAR SPACE OF 12 INCHES PAST STRIKE EDGE OF THE DOOR ON THE OPPOSITE SIDE TO WHICH THE DOOR SWINGS IF THE DOOR IS EQUIPPED WITH BOTH A LATCH AND A CLOSER. (FIG. 11B-26(A))
- THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" INCH AND 1/2" INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN 2 UNITS HORIZONTAL. (1133B.2.4.1)
- THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. (1133B.2.6, FIG. 11B-29)
- THE MAXIMUM FORCE REQUIRED TO PUSH OR PULL OPEN A DOOR SHALL COMPLY WITH THE FOLLOWING. PUSH OR PULL FORCE FOR A HINGED DOOR SHALL BE MEASURED PERPENDICULAR TO THE DOOR FACE AT THE OPENING HARDWARE OR 30 INCHES FROM THE HINGED SIDE, WHICHEVER IS FARTHER FROM THE HINGE. PUSH OR PULL FORCE FOR A SLIDING OR FOLDING DOOR SHALL BE MEASURED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS COMPLYING WITH SECTION 1133B.2.3.2 MAY BE USED TO MEET THE MAXIMUM FORCE LIMITS. (1133B.2.5)

FLOORS AND LEVELS

- LEVEL AREA IS DEFINED AS "A SPECIFIED SURFACE THAT DOES NOT HAVE A SLOPE IN ANY DIRECTION EXCEEDING 1/4" INCH IN ONE FOOT FROM THE HORIZONTAL. (2.083% GRADE/IN)"
- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS OR PASSENGER ELEVATORS. (1120B.1)
 - GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. (1120B.2 & 1124B.1)
 - CHANGES IN LEVEL UP TO 1/4" INCH MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. (1124B.2, FIG. 11B-5E(C))
 - CHANGES IN LEVEL BETWEEN 1/4" INCH AND 1/2" INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN 2 UNITS HORIZONTAL (50 PERCENT SLOPE). (1124B.2, FIG. 11B-5E(D))
 - CHANGES IN LEVEL GREATER THAN 1/2" INCH SHALL BE ACCOMPLISHED BY MEANS OF A CURB RAMP, RAMP, OR ELEVATOR. (1124B.2)
 - IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/INLET PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/4" INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL BEVELLED ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH SECTION 1124B.2. (1124B.3, FIG. 11B-7E)
 - IF GRATINGS ARE LOCATED ON FLOORS, THEN THEY SHALL HAVE SPACES NO GREATER THAN 1/2" INCH WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. (1124B.4, FIG. 11B-7E)

CORRIDORS & AISLES

- EVERY CORRIDOR AND HALLWAY SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL NOT BE LESS THAN 44 INCHES IN WIDTH. (1133B.3.1)
- CORRIDORS AND HALLWAYS THAT ARE LOCATED ON AN ACCESSIBLE ROUTE AND EXCEED 200 FEET IN LENGTH SHALL HAVE A MINIMUM CLEAR WIDTH OF 80 INCHES. IF AN ACCESSIBLE ROUTE HAS LESS THAN 60 INCHES CLEAR WIDTH, THEN PASSING SPACES AT LEAST 60 INCHES BY 60 INCHES SHALL BE LOCATED AT INTERVALS OF 200 FEET MAXIMUM. A "T" INTERSECTION OF TWO CORRIDORS OR WALKS IS AN ACCEPTABLE PASSING PLACE. (1133B.3.2, FIG. 11B-34)
- EVERY PORTION OF EVERY BUILDING IN WHICH ARE INSTALLED SEATS, TABLES, MERCHANDISE, EQUIPMENT, OR SIMILAR MATERIALS SHALL BE PROVIDED WITH AISLES LEADING TO AN EXIT. (1133B.6.1)
- EVERY AISLE SHALL BE NOT LESS THAN 36 INCHES WIDE IF SERVING ONLY ONE SIDE, AND NOT LESS THAN 44 INCHES WIDE IF SERVING BOTH SIDES. (1133B.6.2)
- ALL AISLES SHALL COMPLY WITH FIGURE 11B-5E(A) AND (B) FOR CIRCULATION AROUND OBSTRUCTIONS. (1133B.6.2)

CONTROLS AND OPERATING MECHANISMS

- CONTROLS AND OPERATING MECHANISMS IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PART OF ACCESSIBLE ELEMENTS AND THOSE IN SECTION 1.9.1.1 ARE REQUIRED TO BE ACCESSIBLE. (1117B.6.1)
- CLEAR FLOOR SPACE COMPLYING WITH SECTION 1118B.4 THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT. (1117B.6.2)
- THE HIGHEST AND LOWEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTIONS 1118B.5 AND 1118B.6. (1117B.6.3)
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. (1117B.6.4)

ELECTRICAL

- THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION MEETING THE CLEARANCES AND REACH RANGE REQUIREMENTS OF SECTIONS 1118B.5 AND 1118B.6. (1117B.6.3)

SPACE ALLOWANCE AND REACH RANGES

- THE MINIMUM CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES BY 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE A PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS. (1117B.2.3, 1118B.4.1, FIG. 11B-8-5A)
- ONE FULL-UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR OR GROUND SPACE IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR PART OF THREE SIDES, ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED. (1117B.2.4, 1118B.4.2, FIG. 11B-8-5A)
- THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180-DEGREE TURN IS A CLEAR SPACE OF 60 INCHES DIAMETER OR AT-SHAPED SPACE. (1118B.3, FIG. 11B-12(A) & (B))
- THE MINIMUM CLEAR WIDTH REQUIRED FOR A WHEELCHAIR TO TURN AROUND AN OBSTRUCTION SHALL BE 36 INCHES MINIMUM WHERE THE OBSTRUCTION IS 48 INCHES OR MORE IN LENGTH; 42 INCHES MINIMUM WHERE THE OBSTRUCTION IS LESS THAN 48 INCHES IN LENGTH. (FIG. 11B-5E)
- THE MINIMUM CLEAR WIDTH REQUIRED FOR A WHEELCHAIR TO TURN AROUND AN OBSTRUCTION SHALL BE 36 INCHES MINIMUM WHERE THE OBSTRUCTION IS 48 INCHES OR MORE IN LENGTH; 42 INCHES MINIMUM WHERE THE OBSTRUCTION IS LESS THAN 48 INCHES IN LENGTH. (FIG. 11B-5E)
- THE MINIMUM WIDTH FOR TWO WHEELCHAIRS TO PASS IS 60 INCHES. (1118B.2, FIG. 11B-11)
- IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48 INCHES. SEE FIGURE 11B-5C(A). THE MINIMUM LOW FORWARD REACH IS 15 INCHES. IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, REACH AND CLEARANCES SHALL BE AS SHOWN IN FIGURE 11B-5C(B). (1118B.5)

REESTROOM

- ELEMENTS OF ACCESSIBLE RESTROOMS SHALL COMPLY WITH CBC SECTIONS 1115B.
- ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL-HUNG WITH AN ELONGATED RIM AT A MAXIMUM OF 17" ABOVE FINISH FLOOR. URINALS SHALL HAVE A 30" X 48" CLEAR FLOOR SPACE TO ALLOW A FRONT APPROACH AND THE FLUSH CONTROLS SHALL BE HAND OPERATED WITH THE CONTROLS INSTALLED NO HIGHER THAN 44" ABOVE FINISH FLOOR.
- HOT WATER LINES AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- EXAMPLES OF ACCESSIBLE FAUCETS INCLUDE: LEVER OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED. IF SELF-CLOSING VALVES ARE USED, THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
- THE DIAMETER AND WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1 1/4" TO 1 1/2" OR THE SHAPE TO PROVIDE EQUIVALENT GRIPPING SURFACE. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2". THE GRAB BAR ASSEMBLY SHALL BE CAPABLE OF WITHSTANDING BENDING STRESSES, SHEAR STRESSES, SHEAR FORCES, AND TENSILE FORCES OF UP TO 250 LBF. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. THE GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- MOUNTING HEIGHTS TO OPERATING CONTROLS FOR RESTROOM ACCESSORIES NOT SPECIFICALLY CALLED OUT IN THE CBC SHALL COMPLY WITH THE REACH RANGES SPECIFIED IN CBC SECTION 1118B.

SIGNS & IDENTIFICATION

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 AND AS SPECIFICALLY REQUIRED IN THIS SECTION. (1117B.5.8.1, FIG. 11B-6)
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND.
 - ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS. (1117B.5.8.1.2, 1127B.3)
 - WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS OR SPACES OF A BUILDING OR SITE, RAISED CHARACTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.2 THROUGH 1117B.6.7. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ADJACENT TO THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

EMPLOYEE WORK AREAS AND WORK STATIONS

- WORK STATION IS DEFINED AS "AN AREA DEFINED BY EQUIPMENT AND/OR WORK SURFACES INTENDED FOR USE BY EMPLOYEES ONLY, GENERALLY FOR ONE OR A SMALL NUMBER OF EMPLOYEES AT A TIME."
- EMPLOYEE AREAS SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF CHAPTER 11B. (1123B.1)
 - SPECIFIC WORKSTATIONS NEED ONLY COMPLY WITH AISLE WIDTH AND FLOORS AND LEVELS, AND ENTRYWAYS SHALL BE 32 INCHES IN CLEAR WIDTH. AISLES SHALL NOT BE LESS THAN 36 INCHES IF SERVING ONLY ONE SIDE, AND NOT LESS THAN 44 INCHES WIDE IF SERVING BOTH SIDES. (1123B.2, 1133B.2.1)
 - EMPLOYEE WORK AREAS SHALL HAVE A MINIMUM OF 36 INCHES CLEAR WIDTH ACCESS. (1105B.3.2.3, 1105B.3.3.2)

FOR ACCESSIBLE LAVATORIES, FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN 5 LBF. LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. (1118B.4.3)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON APPROACHING WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (1117B.5.1, 1117B.5.7)

ACCESSIBILITY NOTES

Scale: NTS

01 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

02 CLEAR FLOOR SPACE FOR DINING SURFACES

Scale N.T.S.

03 TOILET ROOM ACCESSORIES

Scale N.T.S.

04 LAVATORIES

Scale N.T.S.

05 ROCK'N AVENUE

Scale N.T.S.

06 TOILET ROOM ACCESSORIES

Scale N.T.S.

07 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

08 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

09 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

10 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

11 CLEAR FLOOR SPACE & KNEE-TOE CLEARANCE PER 11B-306

Scale N.T.S.

Accessibility Notes

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

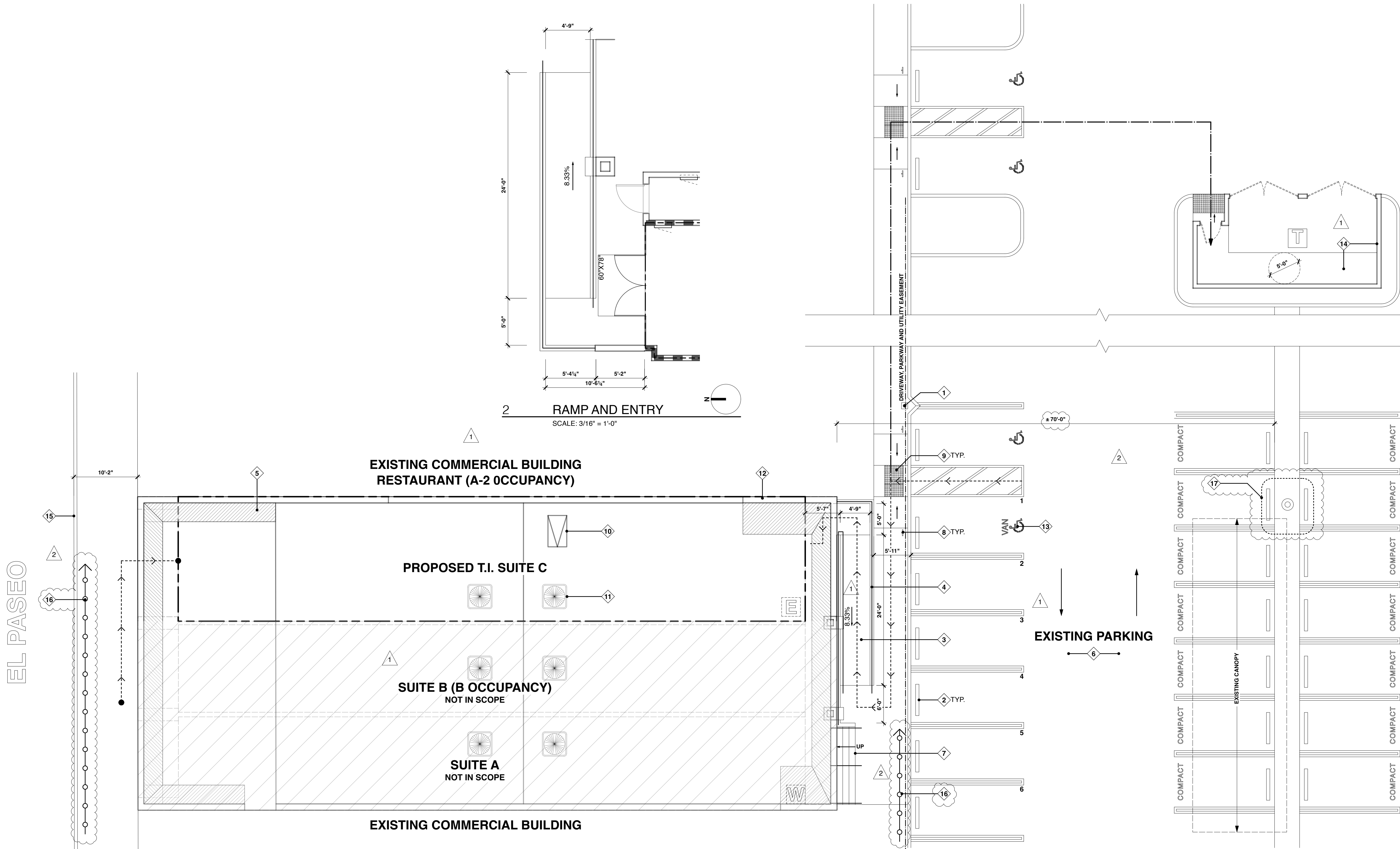
Project No.:	2540
Date Modified:	03/09/2026



GREGORY ARCHITECTS

73200 El Paseo, Suite 2D gregoryarch.com
Palm Desert, CA 92260 760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



SHEET NOTES

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
B. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE ENGINEER, AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. CEASE OPERATIONS IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
C. PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE.
D. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING SUPPORTING STRUCTURAL MEMBERS. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
E. GC TO ESTABLISH A CONSTRUCTION WASTE DIVERSION. ESTABLISH A CONSTRUCTION WASTE MANAGEMENT PLAN FOR THE DIVERTED MATERIALS, OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
F. COORDINATE THE REMOVAL OR RELOCATION OF ALL EXISTING PLANTS WITH THE LANDSCAPE ARCHITECT.

KEYNOTES

- 1. (E) LIGHT POST
2. (E) CONCRETE CURB STOP
3. (E) RAMP, GC TO VERIFY IN FIELD FOR COMPLIANCE
4. (E) RAILING
5. (E) CRICKET
6. (E) DRIVEWAY
7. (E) STEPS, GC TO VERIFY IN FIELD FOR COMPLIANCE
8. (E) ACCESSIBLE PARKING SIGN
9. (E) TRUNCATED DOMES MAT

- 10. (E) ACCESS HATCH TO ROOF
11. (E) A/C ROOF TOP UNIT, TYP.
12. (E) PARAPET, TYP.
13. (E) VAN ACCESSIBLE PARKING. GC TO VERIFY IN FOR COMPLIANCE
14. INTERIOR WALLS AND FLOOR TO THE TRASH ENCLOSURE MUST BE SMOOTH AND PAINTED WITH AN EPOXY SEALER FOR CLEANING PURPOSES.
15. EXISTING SIDEWALK TO REMAIN
16. ENTRY QUEUEING LINE; SIDEWALK AND NEIGHBORING BUSINESSES MUST NOT BE BLOCKED
17. PROVIDE SMOKING AREA APPROXIMATELY 70' FROM THE NEAREST BUILDING. OWNER TO PROVIDE FREESTANDING CIGARETTE RECEPTACLE. UPON CLOSING, CLEAN ADJACENT AREA AND RELOCATE RECEPTACLE TO THE LEASE PREMISES

LEGEND

- LEASE LINE
[Wheelchair icon] ACCESSIBLE PARKING SPACE
---> ACCESSIBLE PATH OF TRAVEL
[Diamond icon] REFER TO KEY NOTES
[E] ELECTRICAL METER
[W] WATER METER
[T] EXISTING TRASH ENCLOSURE W/ 8" CMU WALL ENCLOSURE AND RECYCLING AREA
--- ROUTE TO THE NEAREST EXISTING TRASH ENCLOSURE

Table with 2 columns: Date, Description. Rows include 01/09/26 PERMIT SUBMITTAL, 03/09/26 2ND SUBMITTAL, 04/08/26 3RD SUBMITTAL.

Project No.: 2540
Date Modified: 03/09/2026
Scale: 1/8" = 1'-0"
Drawn By: AA



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

Existing Site Plan

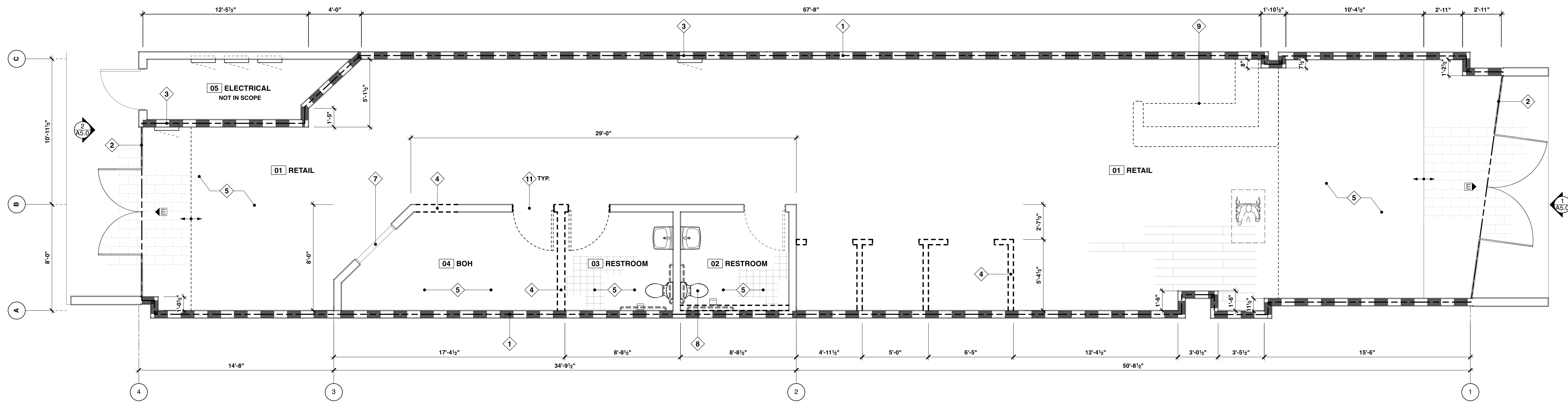
A1.0



GREGORY ARCHITECTS

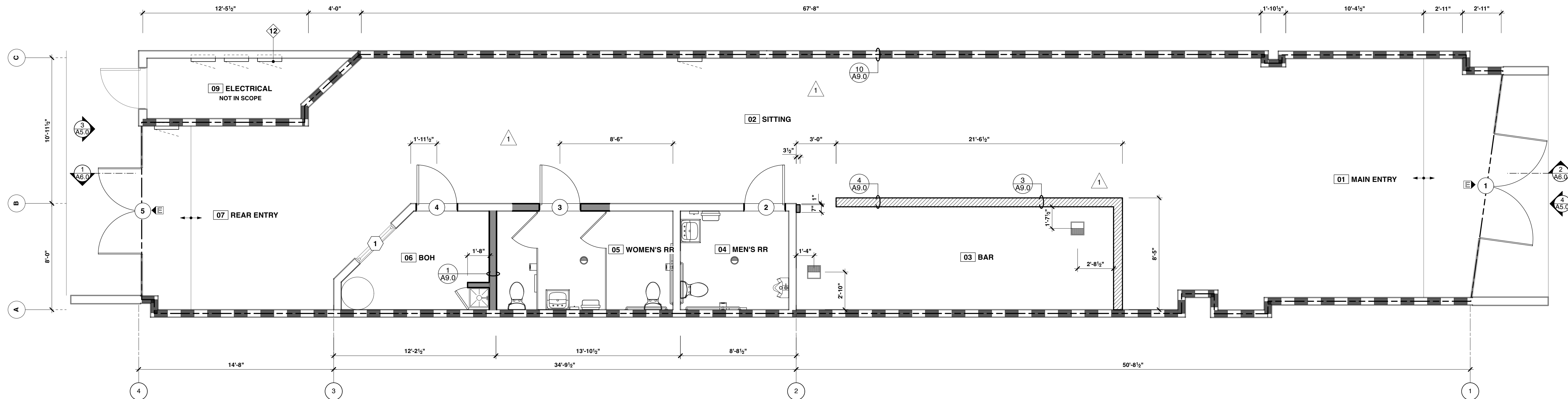
73200 El Paseo, Suite 2D gregoryarch.com
Palm Desert, CA 92260 760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



1 EXISTING / DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. GC TO REPAIR ALL DAMAGED EXISTING TO REMAIN ITEMS AS REQUIRED TO MATCH EXISTING.
- B. DEMO (E) PLUMBING FIXTURES AS SHOWN AND TEMPORARILY CAP OFF (E) DRAINS AS REQUIRED FOR NEW CONSTRUCTION.
- C. ARRANGE AND PAY FOR DISCONNECTING, REMOVING, CAPPING, & IDENTIFICATION OF UTILITY SERVICES WITHIN AREAS OF DEMOLITION. NOTIFY ARCHITECT, OWNER, AND THE AFFECTED UTILITY COMPANY IN ADVANCE BEFORE STARTING THIS WORK. MARK LOCATION OF DISCONNECTED UTILITIES, THEN IDENTIFY AND INDICATE CAPPING LOCATION ON PROJECT RECORD DOCUMENTS.
- D. DEMO ALL ELECTRICAL LIGHTING/ WIRING (BEYOND SERVICE AND SUB-PANELS). MAINTAIN OUTLETS WHERE THEY CAN BE REUSED. COMPARE WITH NEW PLAN.
- E. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- F. GC TO NOTIFY ARCHITECT AND STRUCTURAL ENGINEER ABOUT (E) POST, SHEAR WALL, OR OTHER LOAD-BEARING STRUCTURAL ELEMENT NOT VISIBLE PRIOR TO DEMOLITION.
- G. THE ARCHITECT AND OWNER HAVE NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE.
- H. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- I. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- J. EXCEPT WHERE NOTED OR SPECIFIED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED; IMMEDIATELY REMOVE FROM SITE.
- K. GC TO ESTABLISH A CONSTRUCTION WASTE DIVERSION. ESTABLISH A CONSTRUCTION WASTE MANAGEMENT PLAN FOR THE DIVERTED MATERIALS. OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
- L. GC REQUIRED TO PROVIDE MEASURES DURING DEMOLITION AND OTHER DUST CREATED WORK, TO ENSURE DUST CONTAMINATED AIR DOES NOT GO INTO THE ADJACENT TENANTS' PREMISES.

KEYNOTES

- 1. (E) DEMISING 1 HOUR WALLS TO REMAIN UNALTERED, TYP.
- 2. (E) FIXED STOREFRONT TO REMAIN
- 3. (E) ELECTRICAL SUB PANEL TO REMAIN
- 4. (E) WALL TO BE DEMOLISHED
- 5. (E) FLOORING TO REMAIN, GC TO CLEAN, PATCH & REPAIR, AND PREPARE FOR EPOXY
- 6. -
- 7. (E) WINDOW TO REMAIN
- 8. REPLACE ALL PLUMBING FIXTURES AND ACCESSORIES. REFER TO PLUMBING FIXTURE SCHEDULE
- 9. DEMO ALL EXISTING CABINETS AND DECORATIVE DISPLAYS AT FRONT OF HOUSE.
- 10. -
- 11. (E) INTERIOR DOOR TO BE REPLACED WITH NEW, SEE DOOR SCHEDULE
- 12. (E) ELECTRICAL METER FOR SUBJECT SUITE

LEGEND

- (E) DEMISING 1 HOUR WALL
- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE DEMOLISHED
- (N) 3-5/8" METAL STUD W/ 5/8" GYP BD. BOTH SIDES TO EXTEND 6" ABOVE CEILING.
- (N) PARTIAL HEIGHT WALL
- CHANGE IN FLOORING MATERIAL
- REFER TO DOOR SCHEDULE
- REFER TO WINDOW SCHEDULE
- REFER TO KEY NOTES
- EXIT SIGN ABOVE
- LEASE LINE

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
 Date Modified: 03/09/2026
 Scale: 1/4" = 1'-0"
 Drawn By: AA

Existing / Demo / Proposed Floor Plans

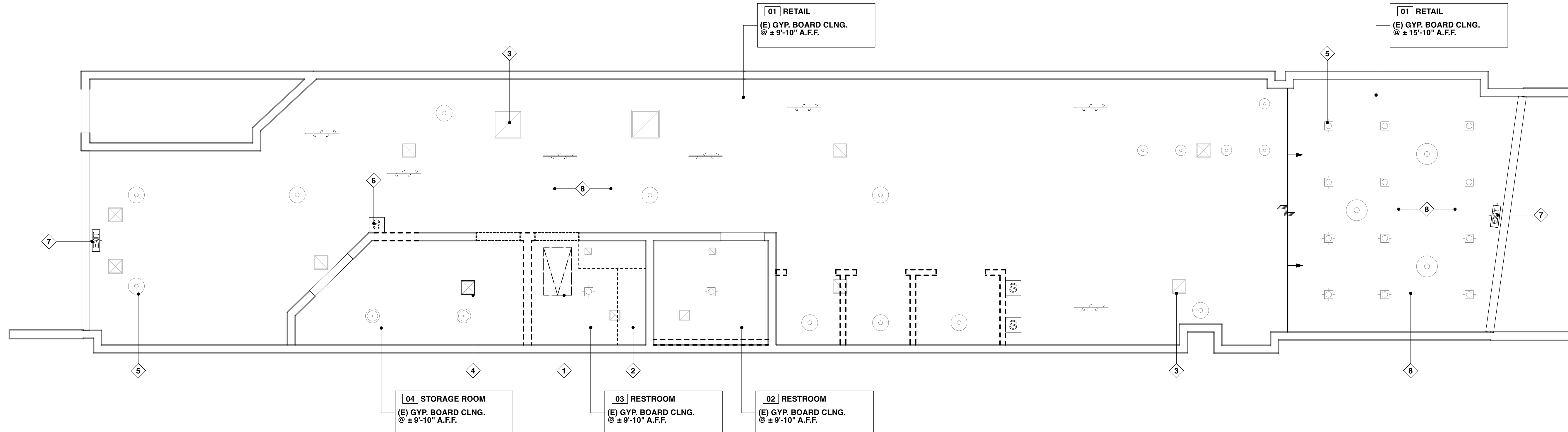
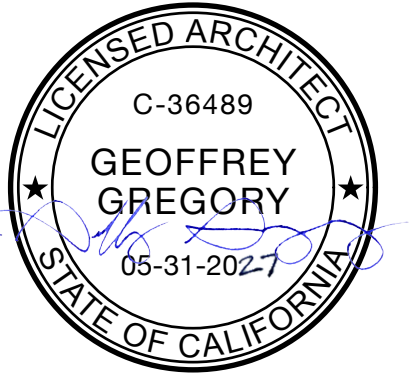
A2.0



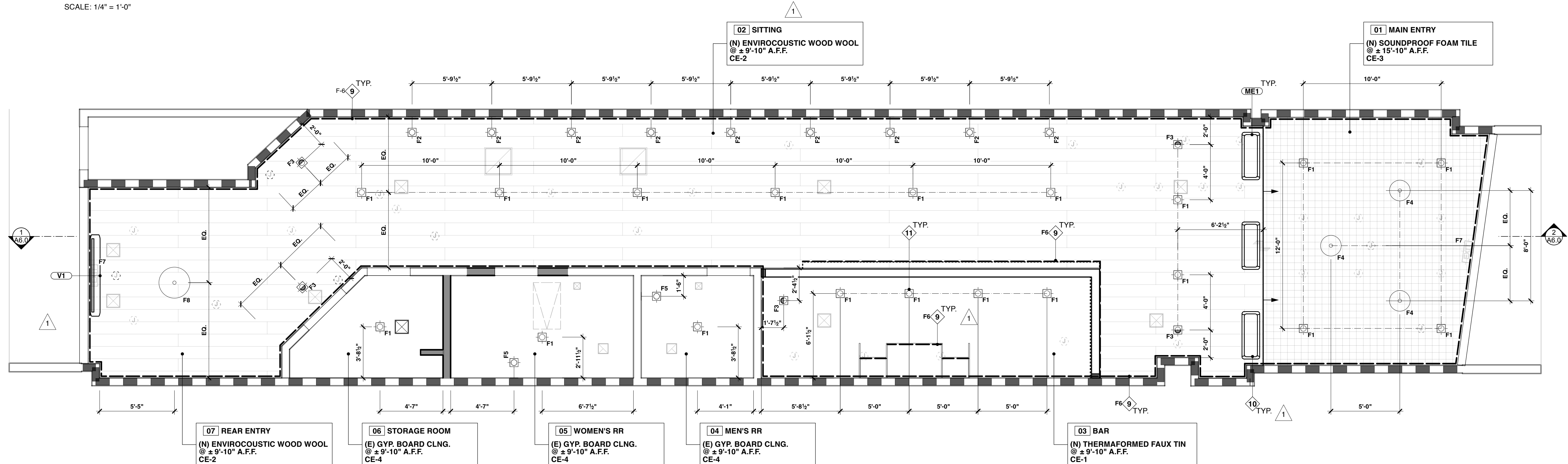
ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



1 EXISTING / DEMO RCP
 SCALE: 1/4" = 1'-0"



2 PROPOSED RCP & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



ROCK'N AVENUE
 73730 EL PASEO, SUITE C
 PALM DESERT, CA 92260

SHEET NOTES

- A. SECTION INCLUDES:
 1. REMOVE DESIGNATED BUILDING EQUIPMENT AND FIXTURES.
 2. REMOVE DESIGNATED PARTITIONS AND COMPONENTS.
 3. CAP AND INDICATED UTILITIES.
 4. TEMPORARY PARTITIONS TO ALLOW BUILDING OCCUPANCY.
 5. THE ARCHITECT, AND OWNER HAVE NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE.
- B. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- C. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- D. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB-OFF. NOTIFY ARCHITECT, AND THE AFFECTED UTILITY COMPANY IN ADVANCE BEFORE STARTING THIS WORK.
- E. EXCEPT WHERE NOTED OR SPECIFIED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED; IMMEDIATELY REMOVE

- FROM SITE.
- F. ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS. ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, FUMES, NOISE, AND SMOKE TO PROVIDE FOR OWNER OCCUPANCY, ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES.
- G. PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE ALTERED. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE.
- H. DISCONNECT, REMOVE, AND CAP DESIGNATED UTILITY SERVICES WITHIN DEMOLITION AREAS. MARK LOCATION OF DISCONNECTED UTILITIES. IDENTIFY AND INDICATE CAPPING LOCATION ON PROJECT RECORD DOCUMENTS.
- I. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING SUPPORTING STRUCTURAL MEMBERS. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
- J. GC TO ESTABLISH A CONSTRUCTION WASTE DIVERSION, ESTABLISH A CONSTRUCTION WASTE MANAGEMENT PLAN FOR THE DIVERTED MATERIALS, OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

KEYNOTES

1. (E) ACCESS PANEL TO REMAIN
2. (E) SHELVING TO BE REMOVED
3. (E) MECHANICAL SUPPLY & RETURN TO REMAIN, TYP.
4. (E) MECHANICAL SUPPLY TO BE RELOCATED
5. GC TO REMOVE ALL (E) LIGHT FIXTURES. PATCH AND REPAIR CEILING AS REQ'D
6. (E) SPEAKER TO BE REMOVED, TYP.
7. (E) EXIT SIGN TO REMAIN
8. (E) GYP. BD CELING TO REMAIN. PATCH AND REPAIR WHERE NEEDED.
9. PROVIDE ELECTRICAL OUTLET FOR LED LIGHT STRIP @ EVERY 30 FT
10. PROVIDE ELECTRICAL OUTLET FOR SPEAKERS
11. LIGHTS ABOVE BAR PREP AREA TO BE SHATTER RESISTANT

LEGEND

	REFER TO KEY NOTES		CEILING MOUNTED JUNCTION BOX
	EMERGENCY EXIT LIGHTING		SPEAKER
	RECESSED CAN LIGHT		RETURN REGISTER
	WALL SCONCE		SUPPLY DIFFUSER
	RECESSED DIRECTIONAL CAN LIGHT		EXHAUST REGISTER
	LED STRIP LIGHT		CEILING HEIGHT CHANGE
	PENDANT LIGHT		REFER TO SCHEDULE ON A8.0
	UTILITY LIGHT		
	TRACK LIGHT		

△	Date	Description
	01/09/26	PERMIT SUBMITTAL
1	03/09/26	2ND SUBMITTAL
2	04/08/26	3RD SUBMITTAL

Project No.: 2540
 Date Modified: 03/09/2026
 Scale: 1/4" = 1'-0"
 Drawn By: AA

Existing / Demo RCP & Lighting Plans

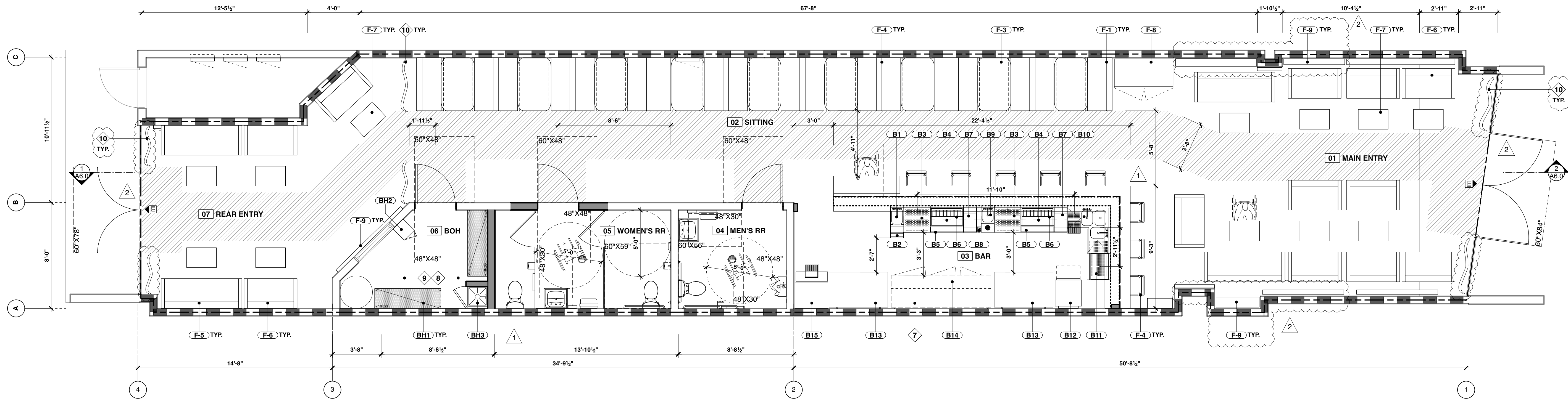
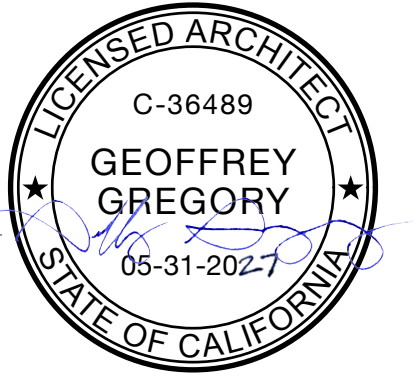
A3.0



GREGORY ARCHITECTS

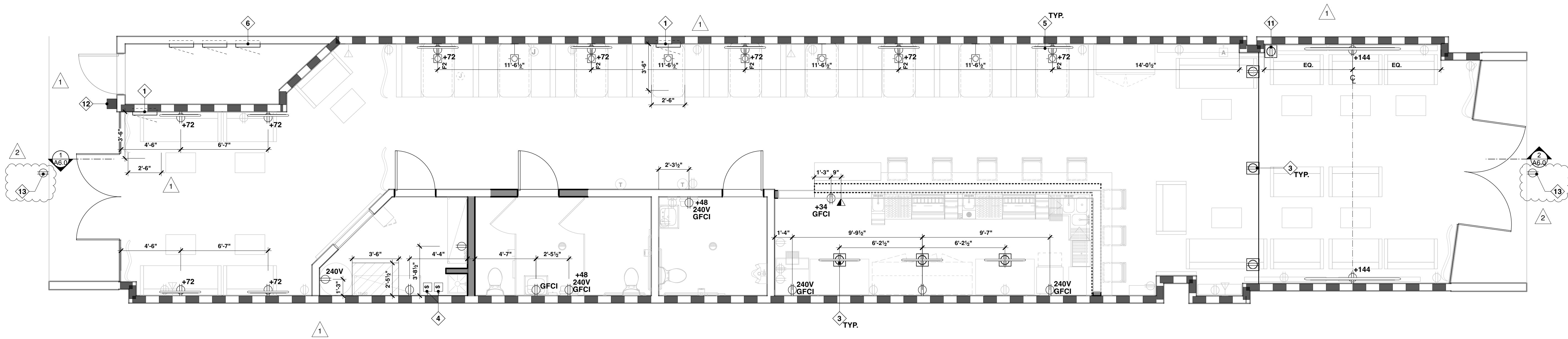
73200 El Paseo, Suite 2D
Palm Desert, CA 92260
gregoryarch.com
760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



1 FURNITURE / EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



2 POWER PLAN

SCALE: 1/4" = 1'-0"

EQUIPMENT / MILLWORK NOTES

- A. GC TO SUBMIT SHOP DRAWING OF MILLWORK FOR REVIEW.
B. ALL OWNER SUPPLIED ITEMS ARE TO BE INSTALLED BY GC, U.O.N.
C. GC TO PROVIDE PROPER PROTECTION OF ALL EXISTING TO REMAIN ITEMS DURING ALL PHASES OF CONSTRUCTION
D. GC TO REPAIR ALL DAMAGED EXISTING TO REMAIN ITEMS AS REQUIRED TO MATCH EXISTING
E. GC TO FLASH PATCH, REPAIR AND LEVEL THE EXISTING CONCRETE SLAB AS REQUIRED TO RECEIVE THE SCHEDULED FINISH AND MAINTAIN A LEVEL DATUM LINE
F. VERIFY IN FIELD DIMS AND ALL (E) CONDITIONS PRIOR TO START CONSTRUCTION
G. ANY SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN A MANNER THAT IS CONCEALED FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITHIN THE STOREFRONT DESIGN AND FINISHES. FREE STANDING SENSOR PEDESTALS ARE PROHIBITED.
H. DURING THE COURSE OF THE TENANT IMPROVEMENT CONSTRUCTION THE TENANT / TENANT GC IS REQUIRED TO PUT BACK ALL FLOOR SLAB PENETRATIONS FOR PLUMBING AND ELECTRICAL LINES IN A "LEAK PROOF" CONDITION. IN ADDITION, ALL PLUMBING AND ELECTRICAL LINES LOCATED BEHIND THE SUSPENDED SLAB ARE REQUIRED TO BE PAINTED TO MATCH THE CEILING COLOR FOR UNDERGROUND PARKING GARAGE.
I. ANY ELECTRICAL, DATA, WIRING CONNECTIONS TO MILLWORK/CASEWORK WITHIN THE SALES, RETAIL OR CUSTOMER AREA MUST BE FULLY INTEGRATED AND CONCEALED FROM PUBLIC VIEW.

POWER NOTES

- A. ALL OUTLETS SHALL BE INSTALLED AS DIMENSIONED ON THIS PLAN. ANY DISCREPANCIES AS TO LOCATION BETWEEN PLAN AND EXISTING FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
B. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHT OF ALL ELECTRICAL OUTLETS AND DEVICES W/ KITCHEN EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
C. ALL ELECTRICAL WIRING RUNS SHALL BE CONCEALED IN WALLS, FLOOR, CEILING OR COUNTERS.
D. ALL 125V SINGLE PHASE, 20 AMP RECEPTACLES INSTALLED IN THE KITCHEN, BATHROOM AND ON THE ROOF SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER NEC.
E. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL JUNCTION AND FILL BOXES REQUIRED FOR THE INSTALLATION OF ELECTRICAL DEVICES AND EQUIPMENT WHETHER OR NOT SPECIFICALLY INDICATED ON PLANS. SIZING OF BOXES SHALL BE PER NEC.
F. CONDUITS THAT ARE EXPOSED TO WIDELY DIFFERENT TEMPERATURES, SUCH AS COOLERS, FREEZERS, DIRECT SUN OR SERVICE ENTRANCE CONDUIT, SHALL BE SEALED TO PREVENT CIRCULATION OF AIR AND/OR MOISTURE.
G. IN ALL KITCHEN FOOD PREP, DISHWASHING, AND SERVING AREAS, PROVIDE STAINLESS STEEL OUTLET COVER PLATES. IN ALL OTHER AREAS, MATCH ADJACENT FINISH COLOR. COORDINATE W/ ARCHITECT.
H. ALL EQUIPMENT SHALL BE HARDWIRED W/ AN AFFORDABLE DISCONNECTING MEANS UNLESS EQUIPMENT IS SUPPLIED W/ A FACTORY INSTALLED CORD AND PLUG.
I. ELECTRICAL CONTRACTOR TO VERIFY ALL POWER REQUIREMENTS AND LOCATIONS OF FOOD SERVICE EQUIPMENT W/ FOOD SERVICE CONTRACTOR PRIOR TO ROUGH-IN.

KEYNOTES

- 1. (E) ELECTRICAL PANEL
2. PROVIDE ELECTRICAL OUTLET FOR LED LIGHT STRIP @ EVERY 30 FT
3. CEILING MOUNTED OUTLET FOR TV AND SPEAKER
4. RELOCATED TIMER BOX; COORDINATE WITH GC
5. TV'S TO BE DAISY CHAINED VIA HDMI CABLING & HOMERUN BACK TO BACK OF HOUSE
6. (E) ELECTRICAL METER
7. MILLWORK SHELVES ABOVE BAR
8. ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY 6" HIGH EASILY CLEANABLE LEGS COMMERCIAL CASTERS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CONTINUOUSLY COVERED BASE OR CONCRETE CURB
9. ALL STORAGE SHELVING MUST BE ACCESSIBLE WITH 30" AISLE CLEARANCE
10. (N) DECORATIVE ACOUSTIC CURTAIN
11. PROVIDE CEILING OUTLET FOR TAPE LIGHTS (AS SHOWN IN PREVIOUS SHEET) & SPACE EVERY 30'
12. (E) KNOX BOX SHALL BE RELOCATED TO BE OPERABLE AND 5 FT FROM THE GROUND.
13. PROVIDE POWER FOR ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT); COORDINATE FINAL LOCATION WITH SIGNAGE CONSULTANT

LEGEND

- REFER TO KEY NOTES
REFER TO SCHEDULE SHEETS A8.0 & A8.1
CENTER LINE
DUPLEX OUTLET WALL MOUNTED @ 15" A.F.F. (U.O.N.) WHITE FINISH (U.O.N.); WHERE OUTLET IS LOCATED NEAR WATER SOURCE, GFCI SHALL BE INSTALLED AS PER CODE. SEE PLANS FOR LOCATIONS, GFCI NOTED ADJACENT TO OUTLET.
CEILING OUTLET
TIMER BOX
PHONE/ DATA (2) CAT 5 CABLES
(E) BURGLAR ALARM
THERMOSTAT
TELEVISION
ELECTRICAL PANEL / METER
ADA CLEARANCE



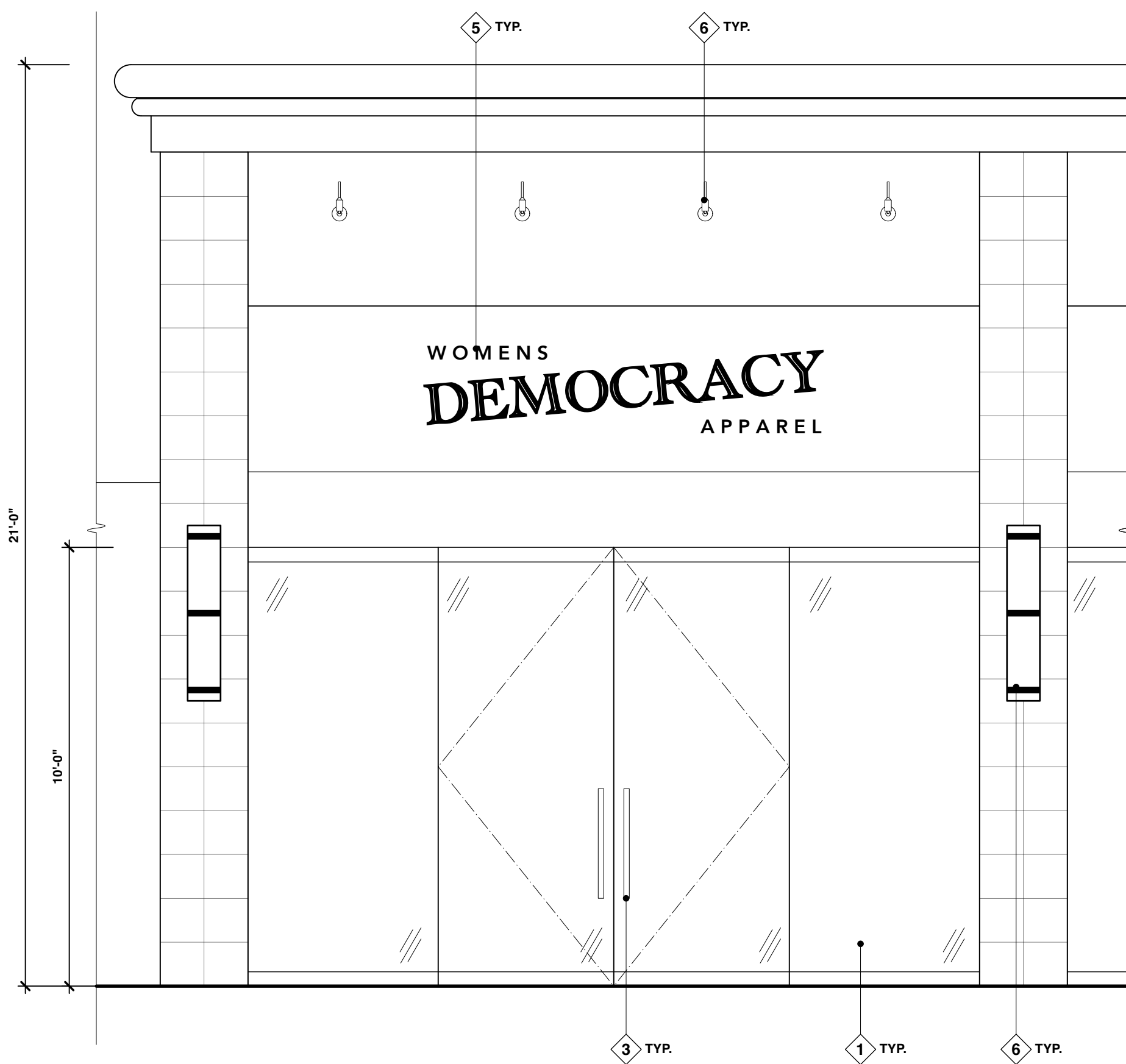
ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

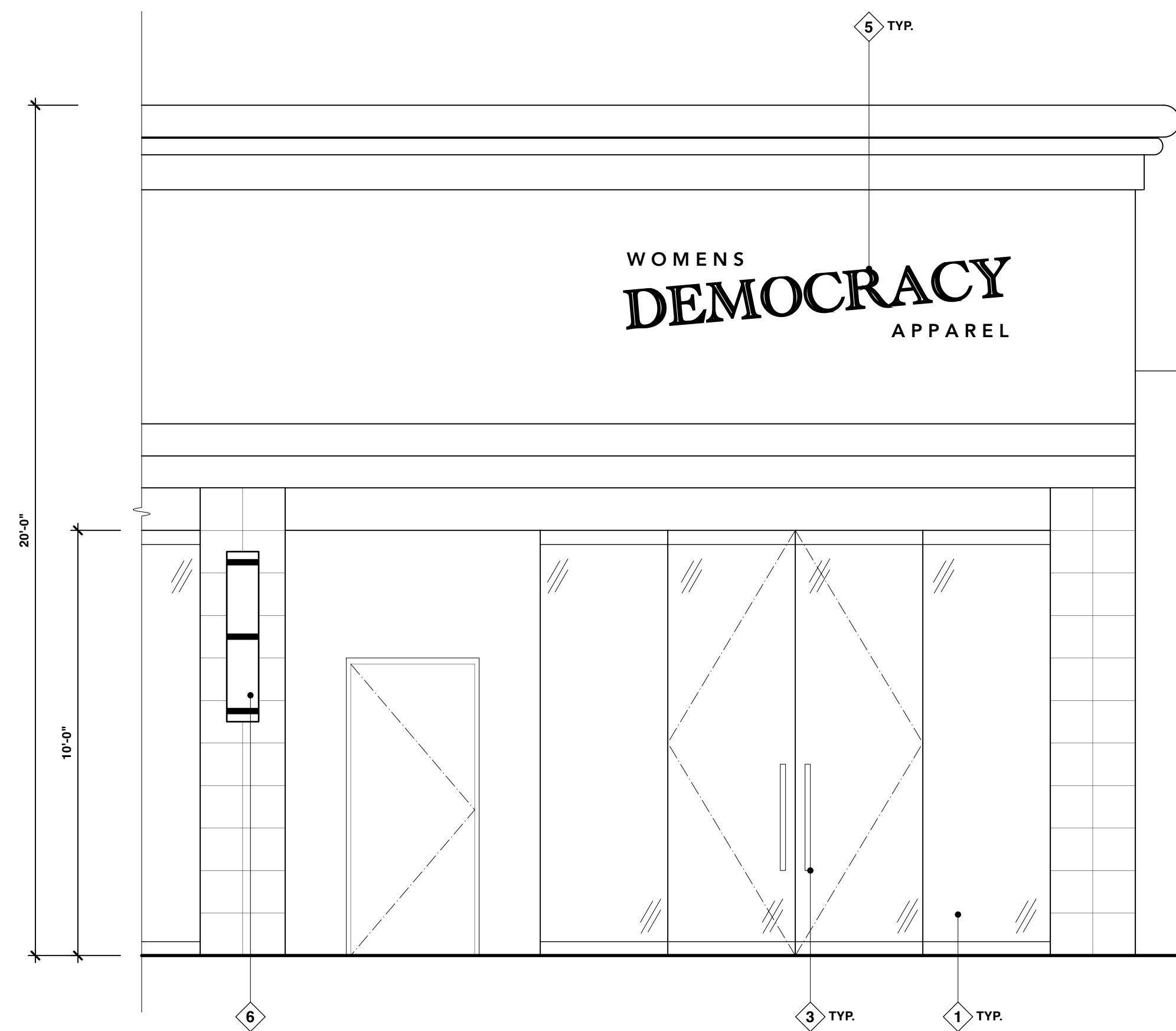
Table with 2 columns: Date, Description. Includes entries for 01/09/26 PERMIT SUBMITTAL, 03/09/26 2ND SUBMITTAL, 04/08/26 3RD SUBMITTAL. Also includes Project No.: 2540, Date Modified: 03/09/2026, Scale: 1/4" = 1'-0", Drawn By: AA.

Furniture / Equipment & Power Plans

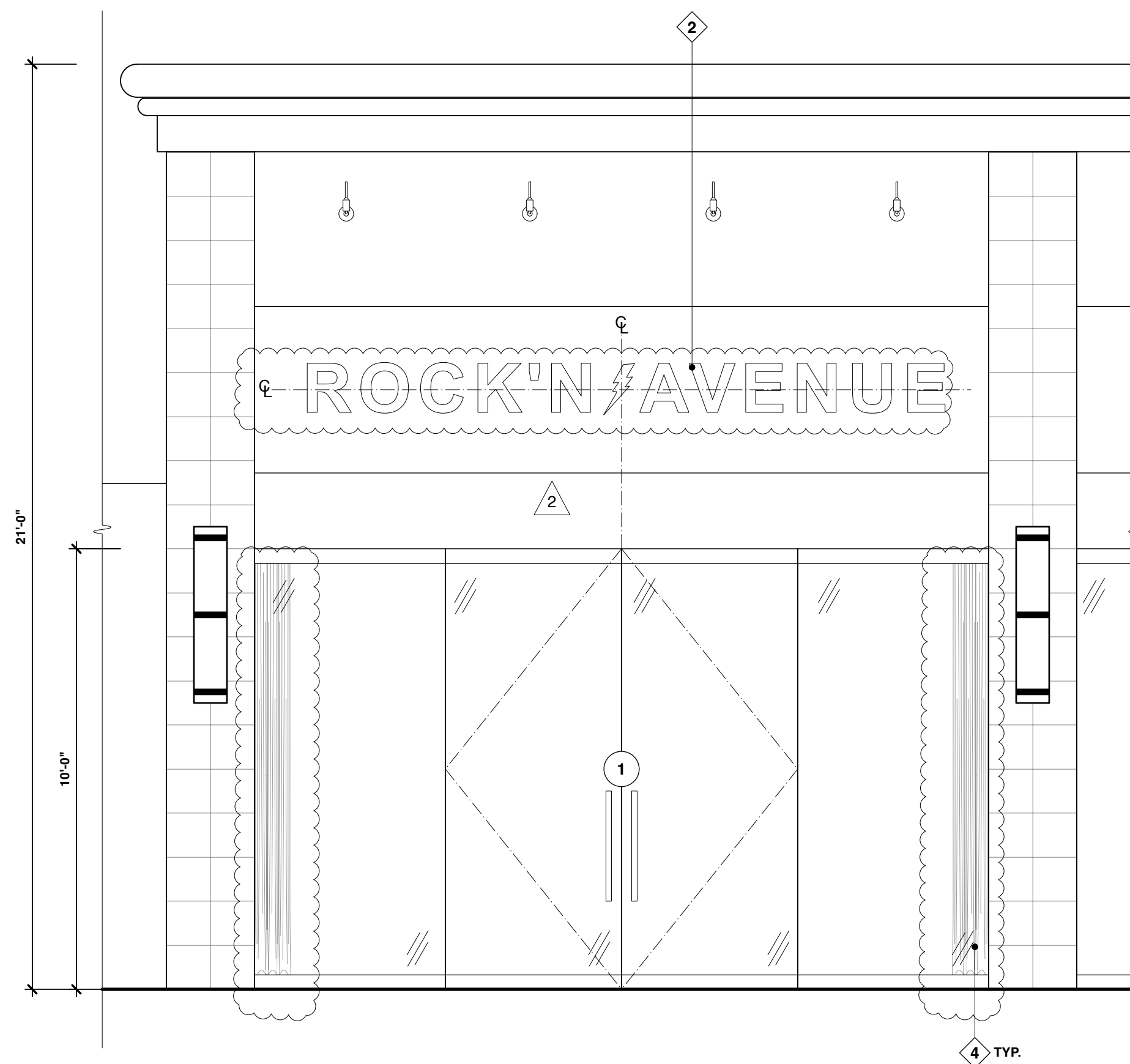
A4.0



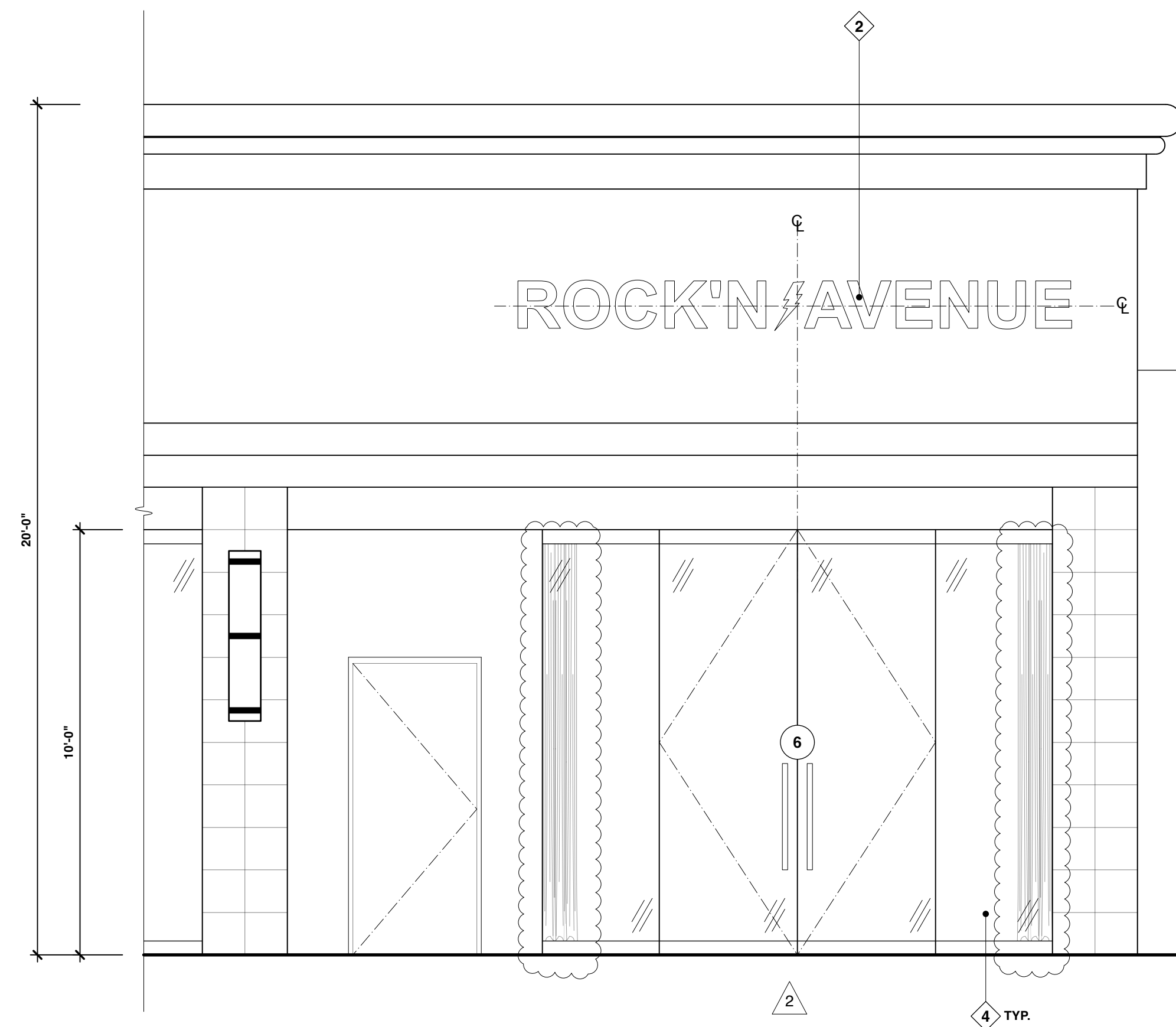
1 EXISTING SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 3/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 3/8" = 1'-0"

SHEET NOTES

- A. GC TO PROVIDE PROPER PROTECTION OF EXISTING TO REMAIN ITEMS DURING ALL PHASES OF CONSTRUCTION.
- B. ALL STRUCTURAL MEMBERS, BULKHEAD HEIGHTS & FIELD DIMENSIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- C. (N) LIGHTED SIGNAGE-ALL SIGNAGE, LOGO, GRAPHIC AND DISPLAY WINDOW LIGHTING MUST BE OPERATED ON AN AUTOMATIC TIME CLOCK. SIGNS OR OTHER APPARATUS MAY NOT BE AFFIXED TO THE BUILDING'S EXTERIOR WALLS OR ROOF WITHOUT PRIOR WRITTEN CONSENT BY THE LL AND APPROVAL BY ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL MOUNTING HARDWARE/ANCHORS SHALL BE NON-FERROUS. "BACIO DI LATTE" LOGO SIGN MOUNTED TO STOREFRONT FACADE. SUBMIT SHOP DRAWINGS TO ALL REQUIRED AUTHORITIES FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL COORDINATE THE LL'S APPROVAL PROCESS WITH THE LL AND SUBMIT ALL SHOP DRAWINGS REQUIRED AND OBTAIN ALL APPROVALS REQUIRED.
- D. LL BULKHEAD TO REMAIN-IF BULKHEAD IS DAMAGED DURING THE CONSTRUCTION PROCESS OR ACCESS ABOVE BULKHEAD IS REQUIRED BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK, THE CONTRACTOR SHALL COORDINATE REFINISHING PROCEDURES AND PRODUCTS WITH THE LL PRIOR TO PERFORMING THE WORK. REFINISHING MAY REQUIRE FINISHING BEYOND THE IMMEDIATE AREA OF WORK (PAINT THE ENTIRE PLANE WHERE THE WORK WAS PERFORMED AS OR IF DIRECTED BY THE LL).

KEYNOTES

- 1. (E) FIXED STOREFRONT GLAZING TO REMAIN.
- 2. (N) SIGNAGE UNDER SEPARATE PERMIT. ILLUMINATED CHANNEL LETTER. GC TO PROVIDE POWER AS REQUIRED.
- 3. (E) DOOR HARDWARE TO REMAIN. GC TO VERIFY CONDITION AND CONFIRM WITH ARCHITECT. PROVIDE NEW SETS OF LOCKS. REFER TO DOOR SCHEDULE
- 4. ACOUSTIC CURTAINS TO REMAIN OPEN UNTIL 9PM FOR COMMUNITY ENGAGEMENT. AFTER 9PM, WHEN ADJACENT RESTAURANTS CLOSE AND MUSIC VOLUME INCREASES, CURTAINS SHALL BE CLOSED AND STOREFRONT DOORTS SHUT.
- 5. (E) SIGNAGE TO BE DEMOLISHED, TYP.
- 6. (E) BUILDING LIGHTING TO REMAIN; GC TO ASSESS CONDITION AND REPAIR AS NEEDED.

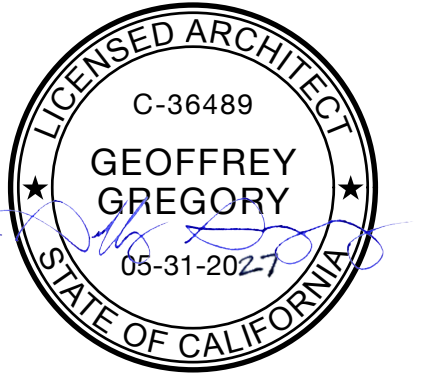
LEGEND

- ◇ REFER TO KEY NOTES
- REFER TO SHEET A8.1 FOR DOOR SCHEDULE

NOTE:
ALL EXTERIOR FINISHES AND COLORS TO REMAIN.
SIGNAGE TO BE UNDER SEPARATE PERMIT.



All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
Date Modified: 03/09/2026
Scale: 3/8" = 1'-0"
Drawn By: AA

Exterior Elevations

A5.0



1 DAYTIME PERSPECTIVE (AFTER 2:00 PM)



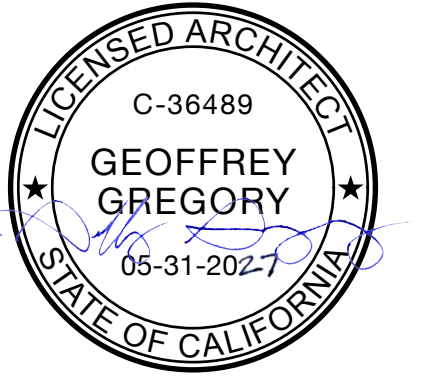
2 NIGHTTIME PERSPECTIVE (AFTER 9:00 PM)



GREGORY ARCHITECTS

73200 El Paseo, Suite 2D gregoryarch.com
 Palm Desert, CA 92260 760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

73730 EL PASEO, SUITE C
 PALM DESERT, CA 92260

△	Date	Description
	01/09/26	PERMIT SUBMITTAL
1	03/09/26	2ND SUBMITTAL
2	04/08/26	3RD SUBMITTAL

Project No.: 2540
 Date Modified: 03/09/2026
 Scale: 3/8" = 1'-0"
 Drawn By: AA

Rendered Perspectives

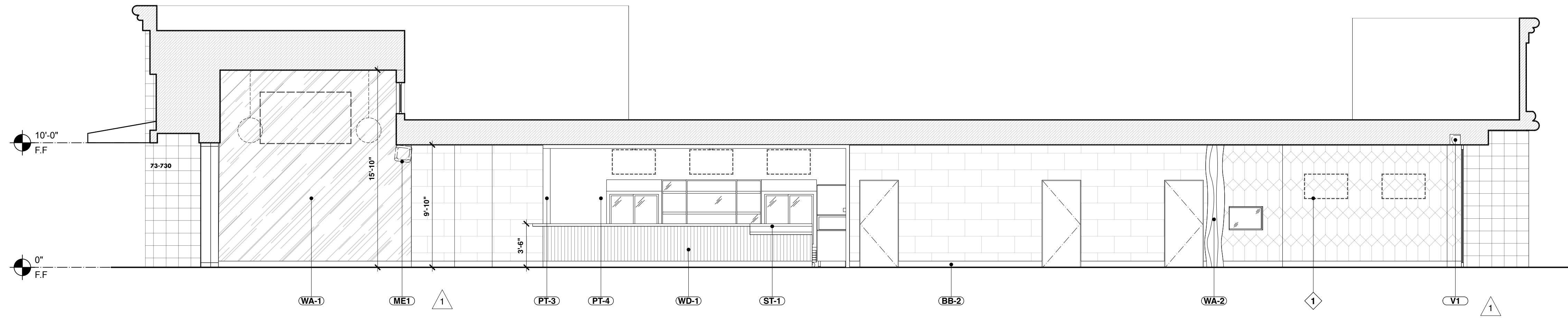
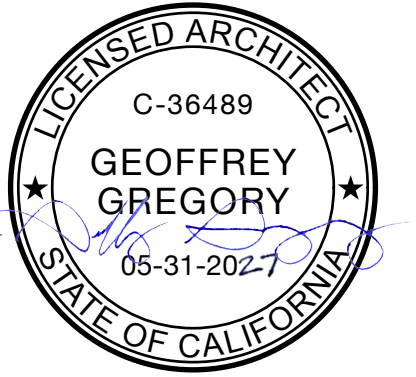
2 A5.1



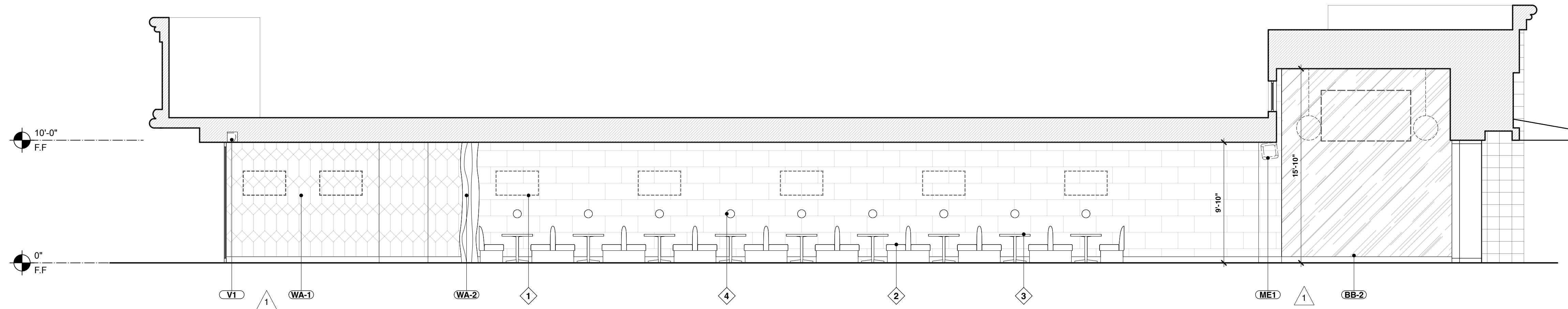
GREGORY ARCHITECTS

73200 El Paseo, Suite 2D gregoryarch.com
Palm Desert, CA 92260 760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



1 PROPOSED SECTION #1
SCALE: 3/16" = 1'-0"



2 PROPOSED SECTION #2
SCALE: 3/16" = 1'-0"

SHEET NOTES

- A. REFER TO SHEET A0.1 FOR GENERAL NOTES AND REQUIREMENTS.
- B. PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS.
- C. SEE EXTERIOR ELEVATIONS AND DOOR & WINDOW SCHEDULES FOR TEMPERED GLASS LOCATIONS.
- D. GC TO PROVIDE PROPER PROTECTION OF EXISTING TO REMAIN ITEMS DURING ALL PHASES OF CONSTRUCTION.

KEYNOTES

- 1. TVS TO BE DAISY CHAINED VIA HDMI CABLING & HOMERUN BACK TO BACK OF HOUSE
- 2. (N) BOOTH SEAT, SEE FURNITURE SCHEDULE
- 3. (N) TABLE, SEE FURNITURE SCHEDULE
- 4. (N) WALL SCONCE, SEE LIGHTING PLAN

LEGEND

- ◊ REFER TO KEY NOTES
- FLRX REFER TO SCHEDULE SHEETS A8.0 & A8.1



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

△	Date	Description
	01/09/26	PERMIT SUBMITTAL
1	03/09/26	2ND SUBMITTAL
2	04/08/26	3RD SUBMITTAL

Project No.: 2540
 Date Modified: 03/09/2026
 Scale: 1/4" = 1'-0"
 Drawn By: AA

Sections

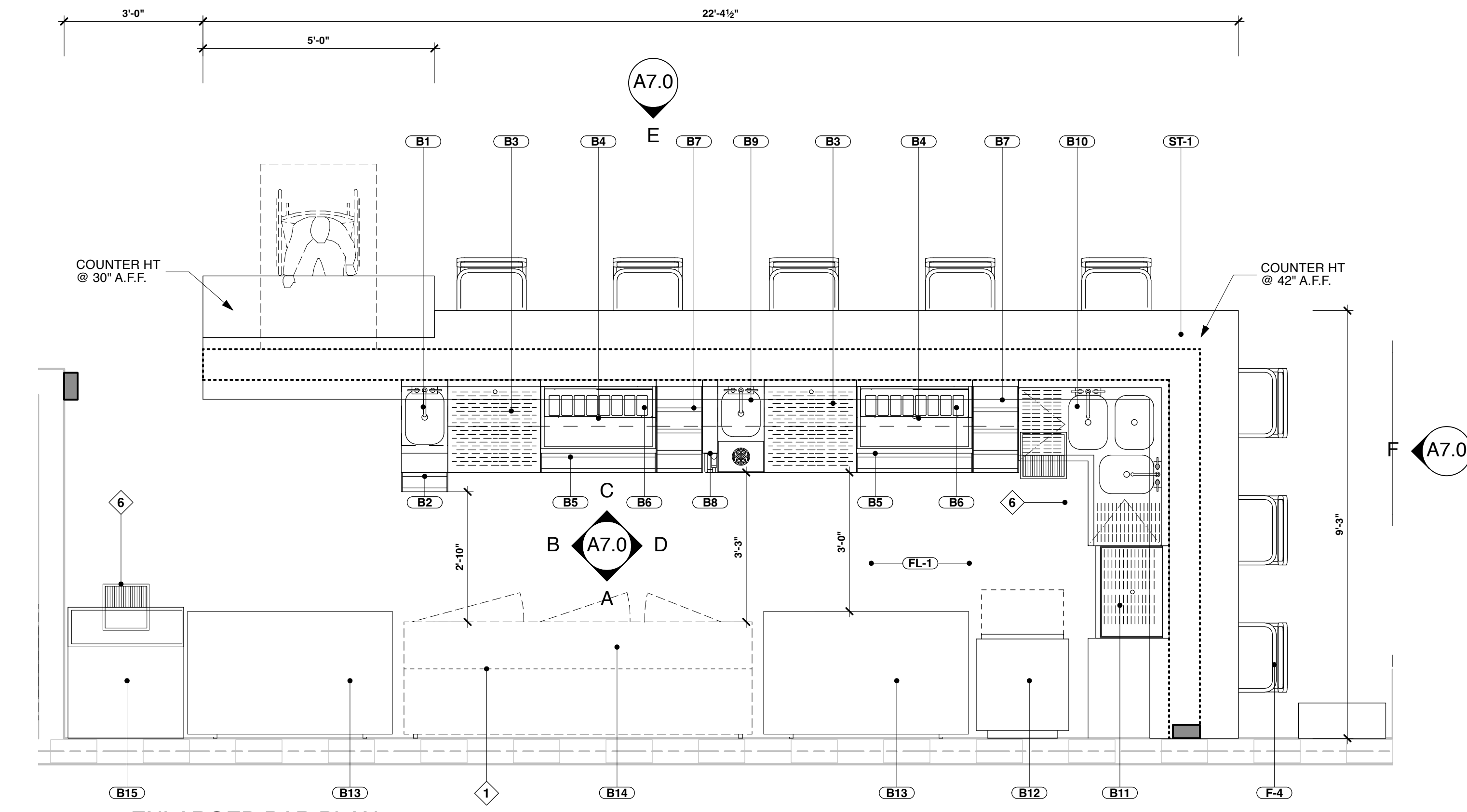
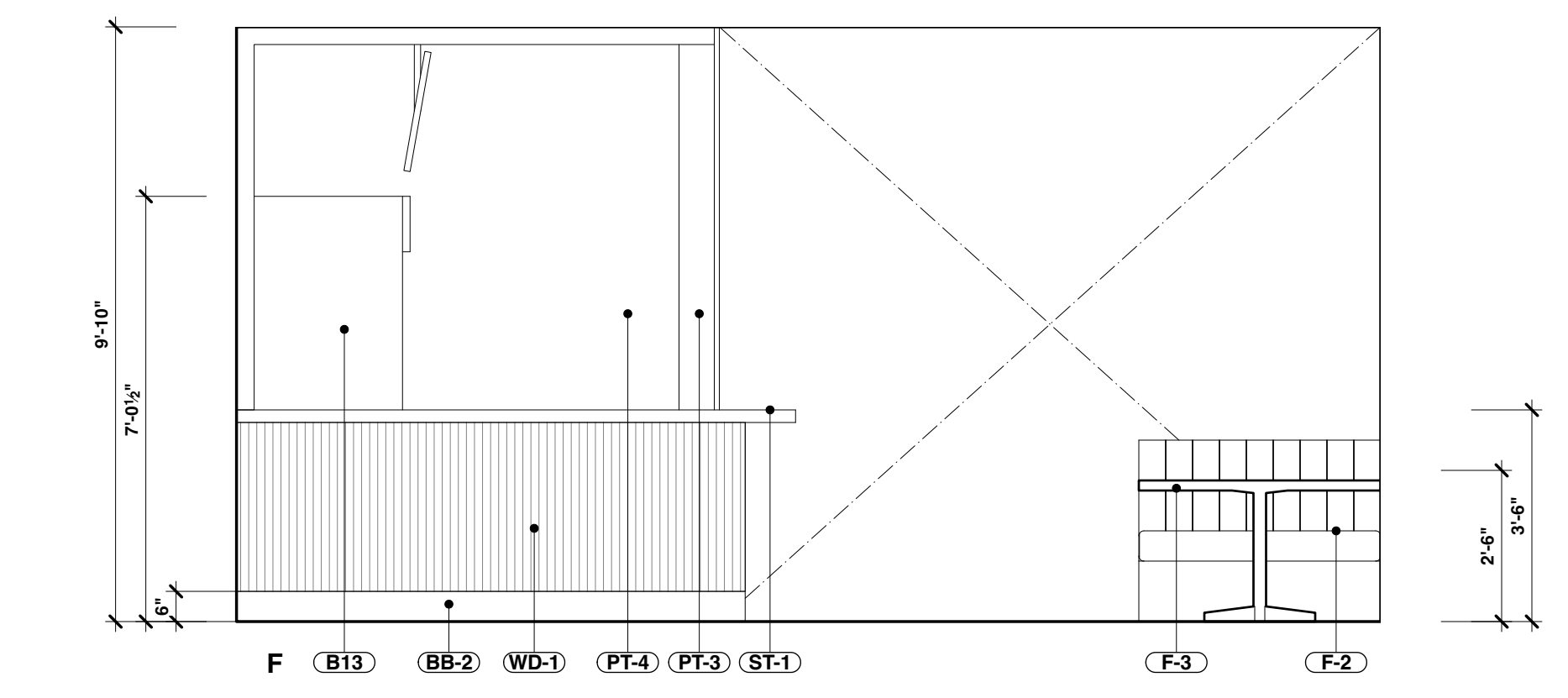
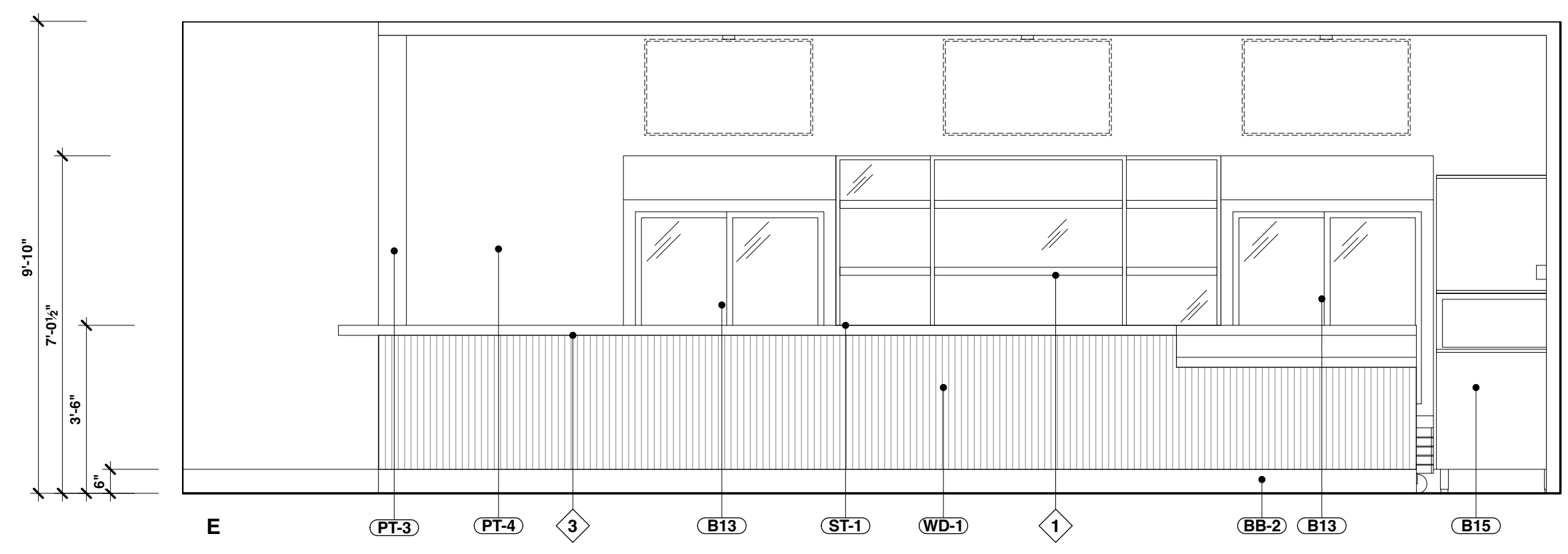
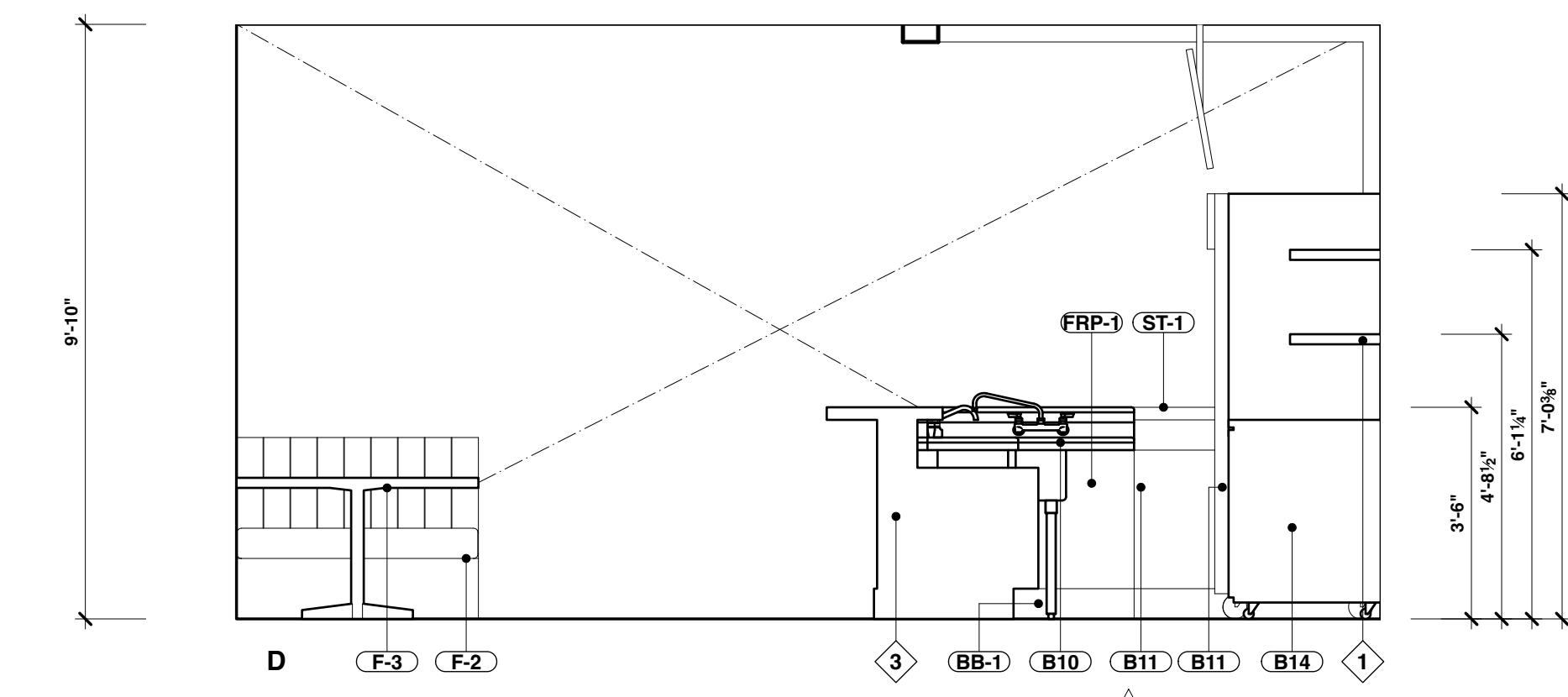
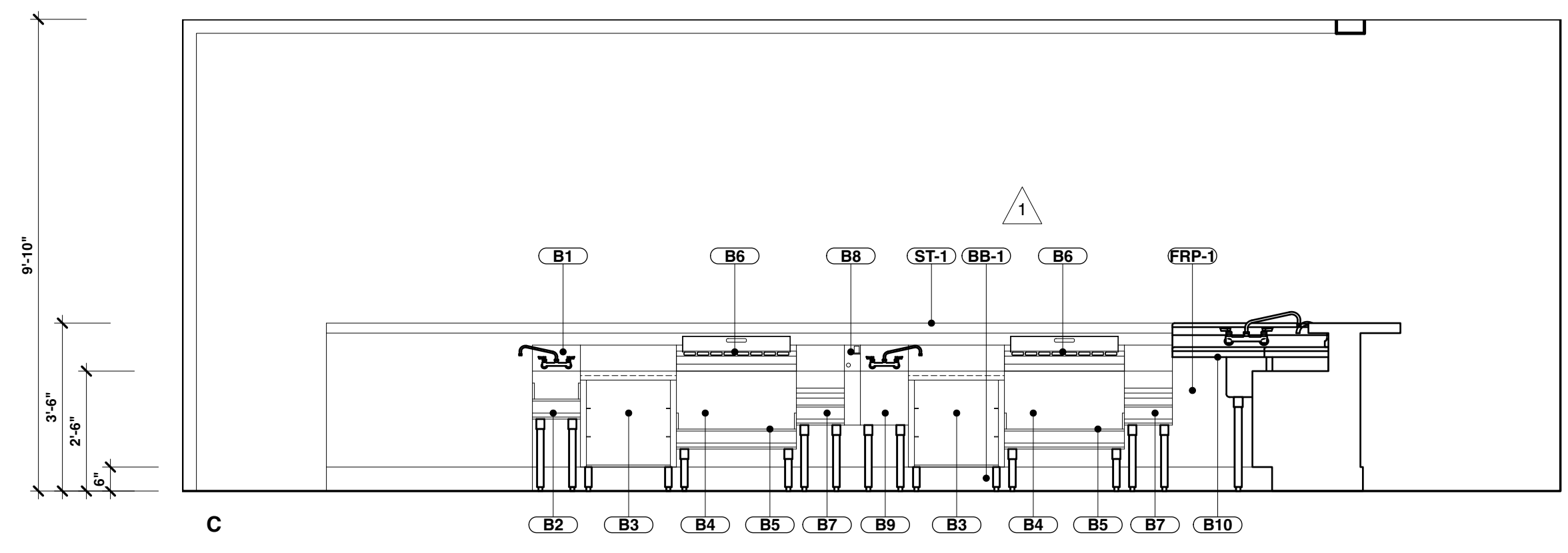
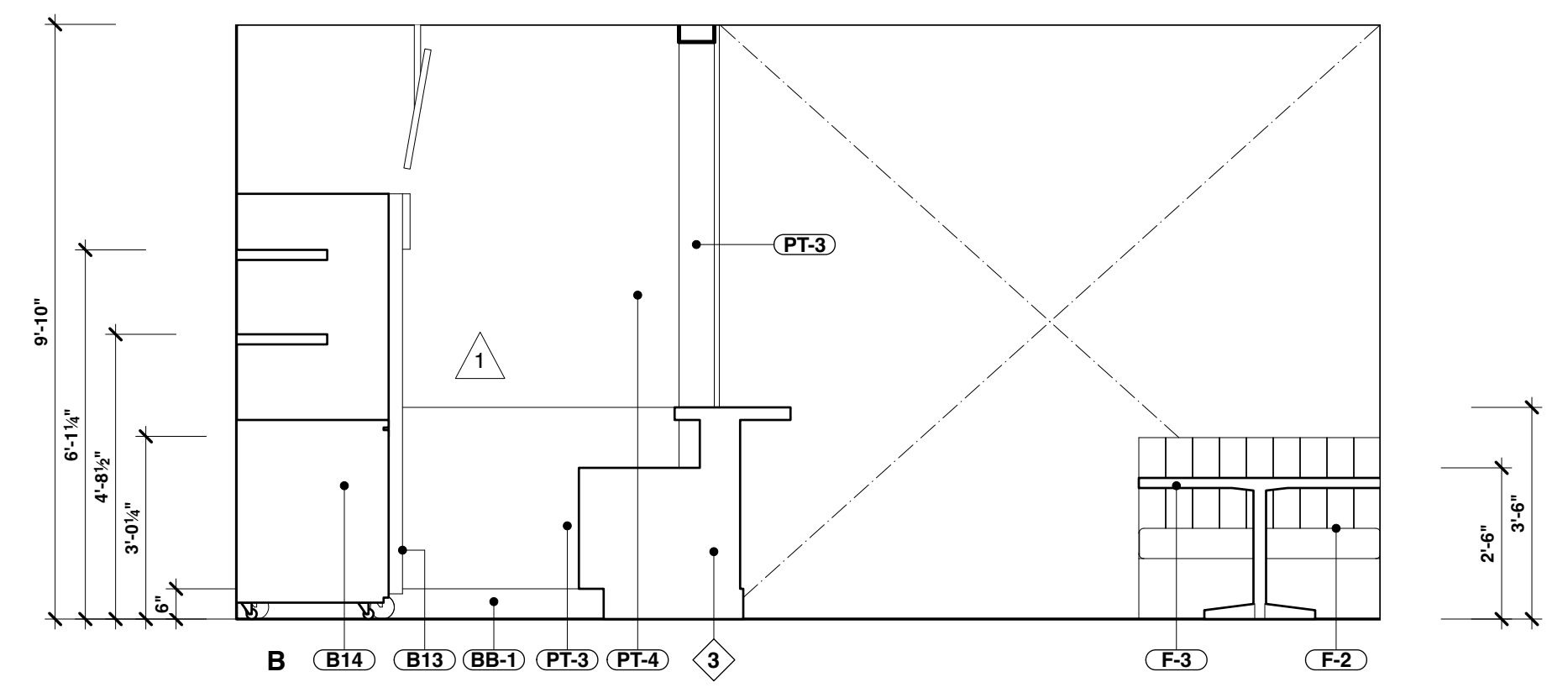
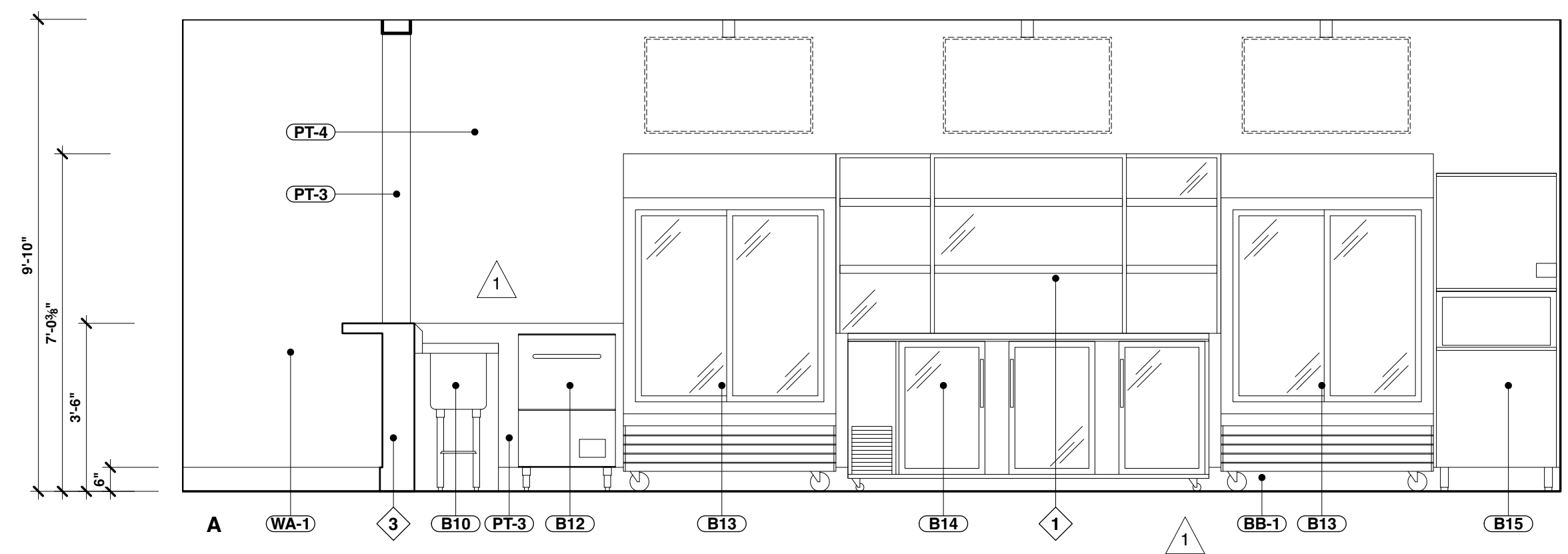
A6.0



GREGORY ARCHITECTS

73200 El Paseo, Suite 2D gregoryarch.com
Palm Desert, CA 92260 760.779.2724

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



1 ENLARGED BAR PLAN
SCALE: 1/2" = 1'-0"

SHEET NOTES

- A. REFER TO SHEET A0.1 FOR GENERAL NOTES AND REQUIREMENTS.
- B. PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS.
- C. GC TO PROVIDE PROPER PROTECTION OF EXISTING TO REMAIN ITEMS DURING ALL PHASES OF CONSTRUCTION.

KEYNOTES

- 1. SHELVING ABOVE
- 2. FLOOR BASE, SEE FINISH SCHEDULE
- 3. NEW MILLWORK TO BE BUILT
- 4. FRP @ 42" HT A.F.F.
- 5. FLUTED WOODEN WALL PANEL
- 6. FLOOR SINK, SEE PLUMBING

LEGEND

- ◊ REFER TO KEY NOTES
- FLRX REFER TO SCHEDULES SHEETS A8.0 & A8.1



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

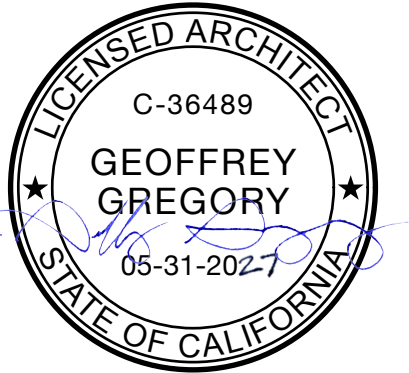
Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
 Date Modified: 03/09/2026
 Scale: 1/4" = 1'-0"
 Drawn By: AA

Interior Elevations

A7.0

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

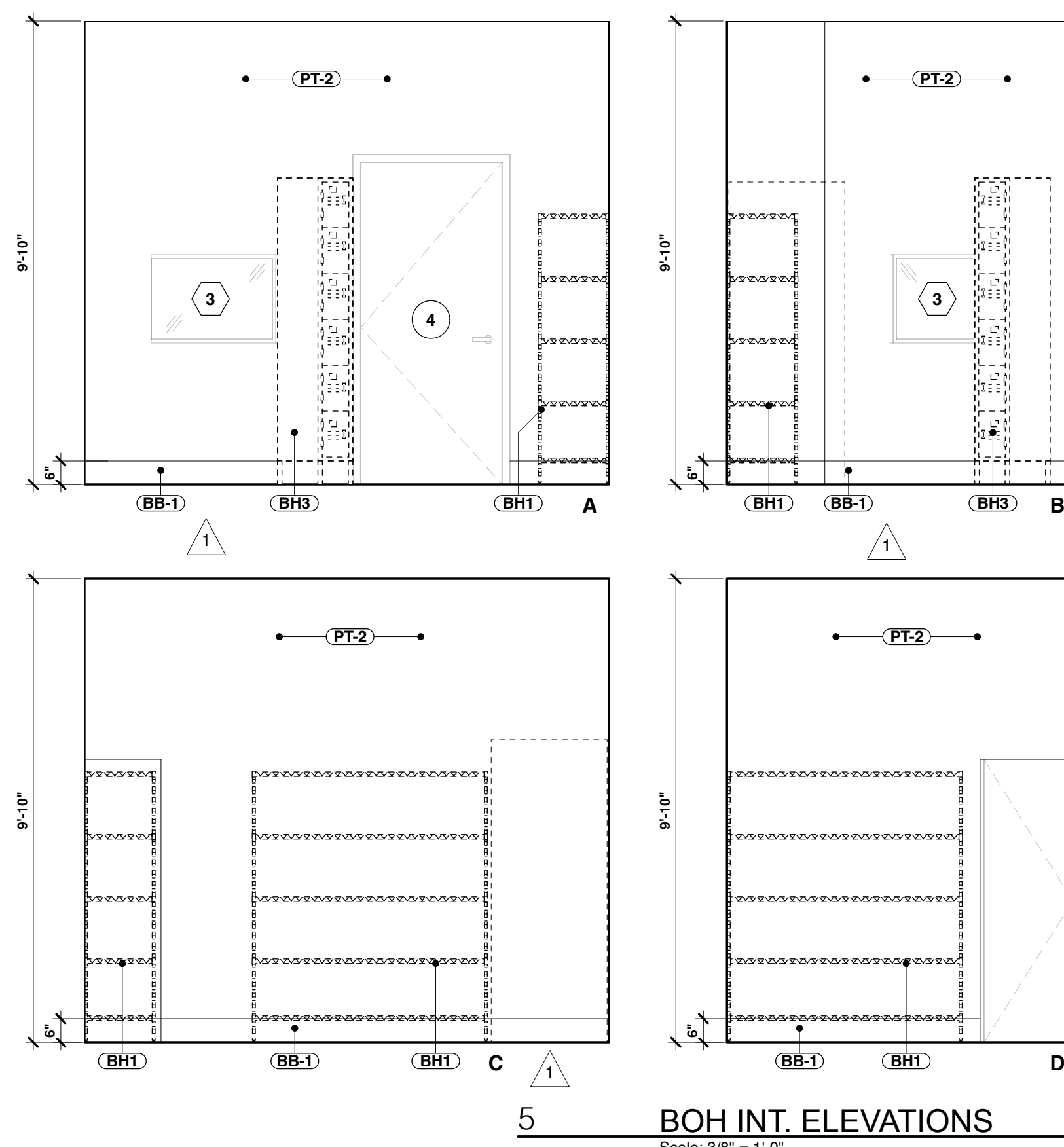
73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

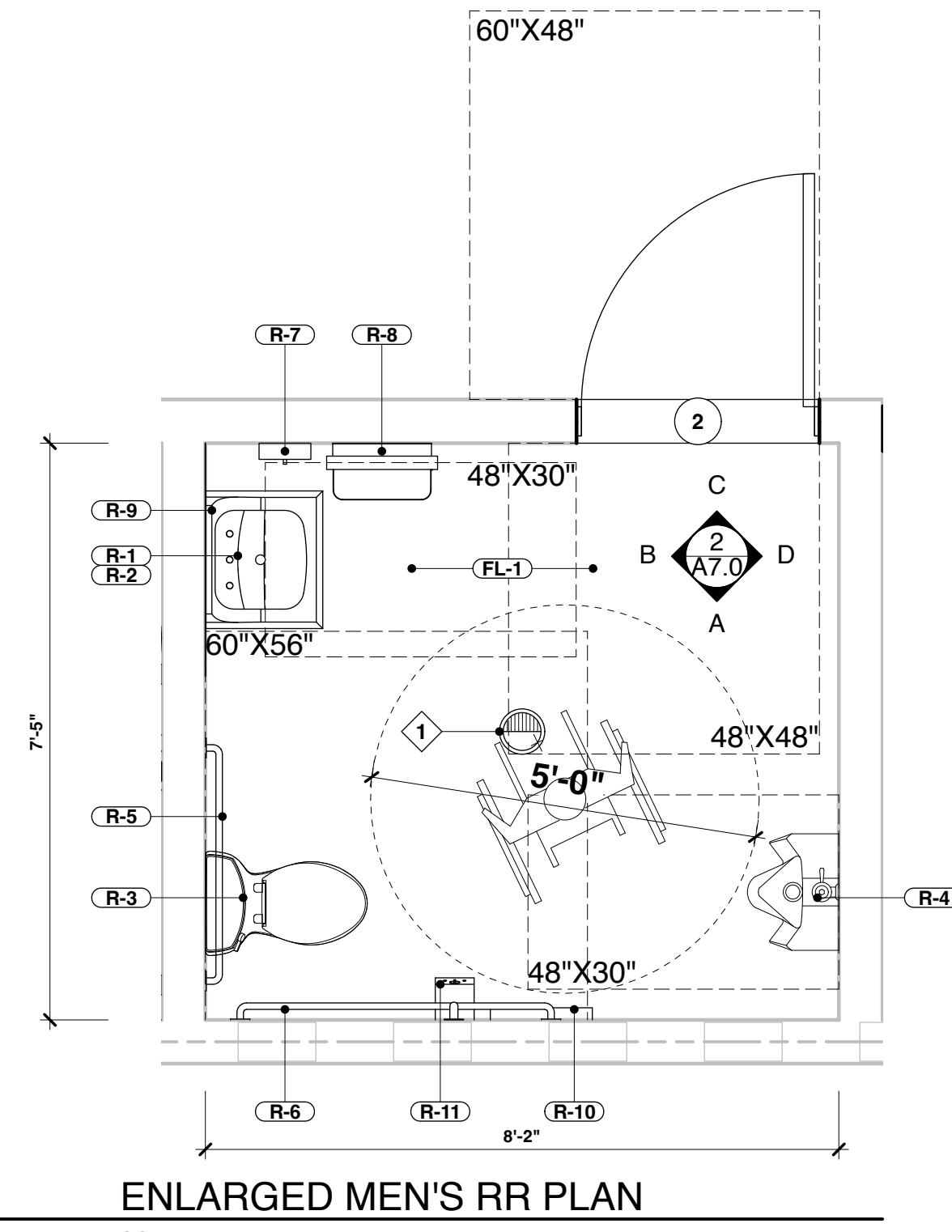
Project No.: 2540
Date Modified: 03/09/2026
Scale: 1/4" = 1'-0"
Drawn By: AA

Interior Elevations

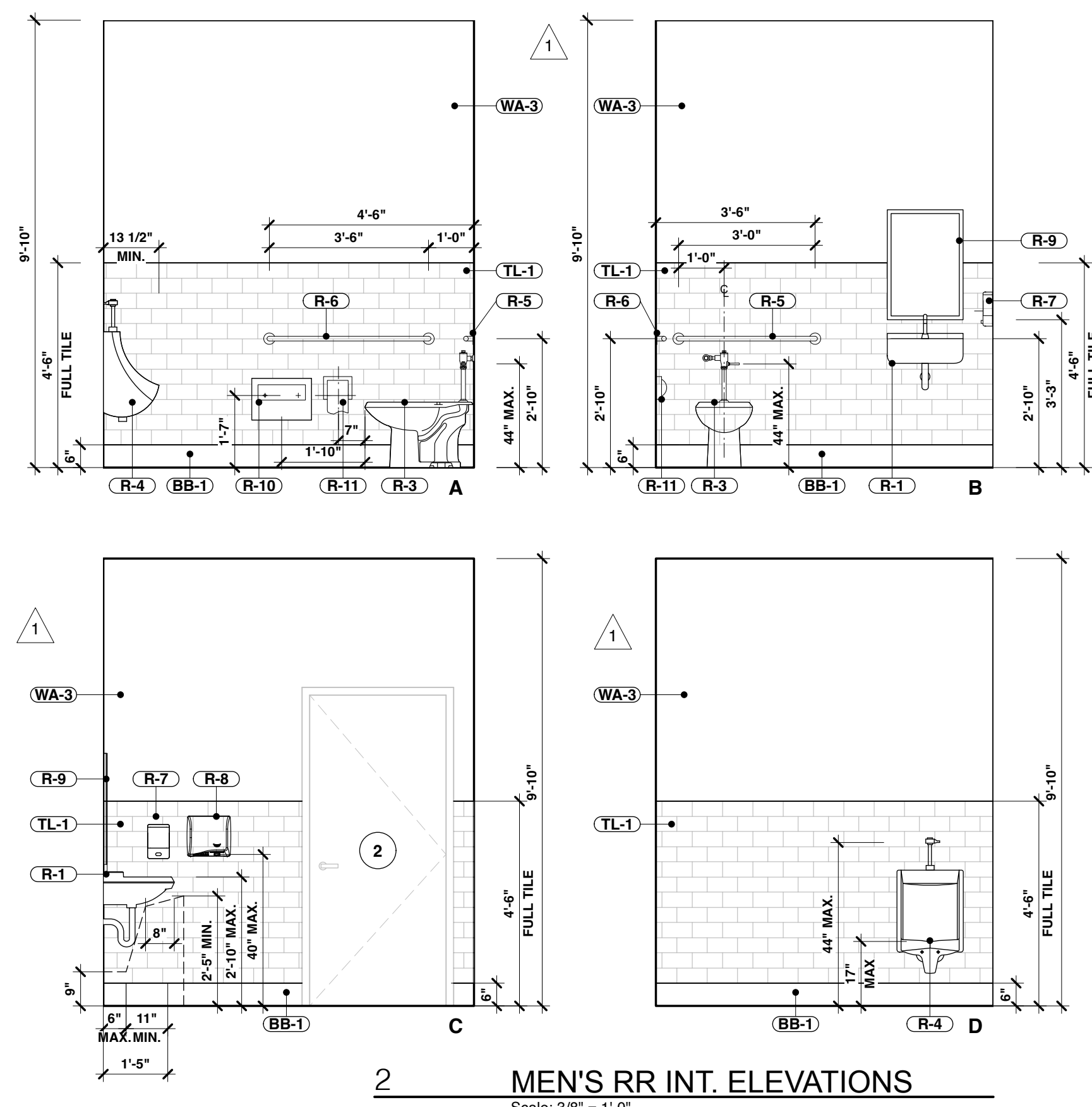
A7.1



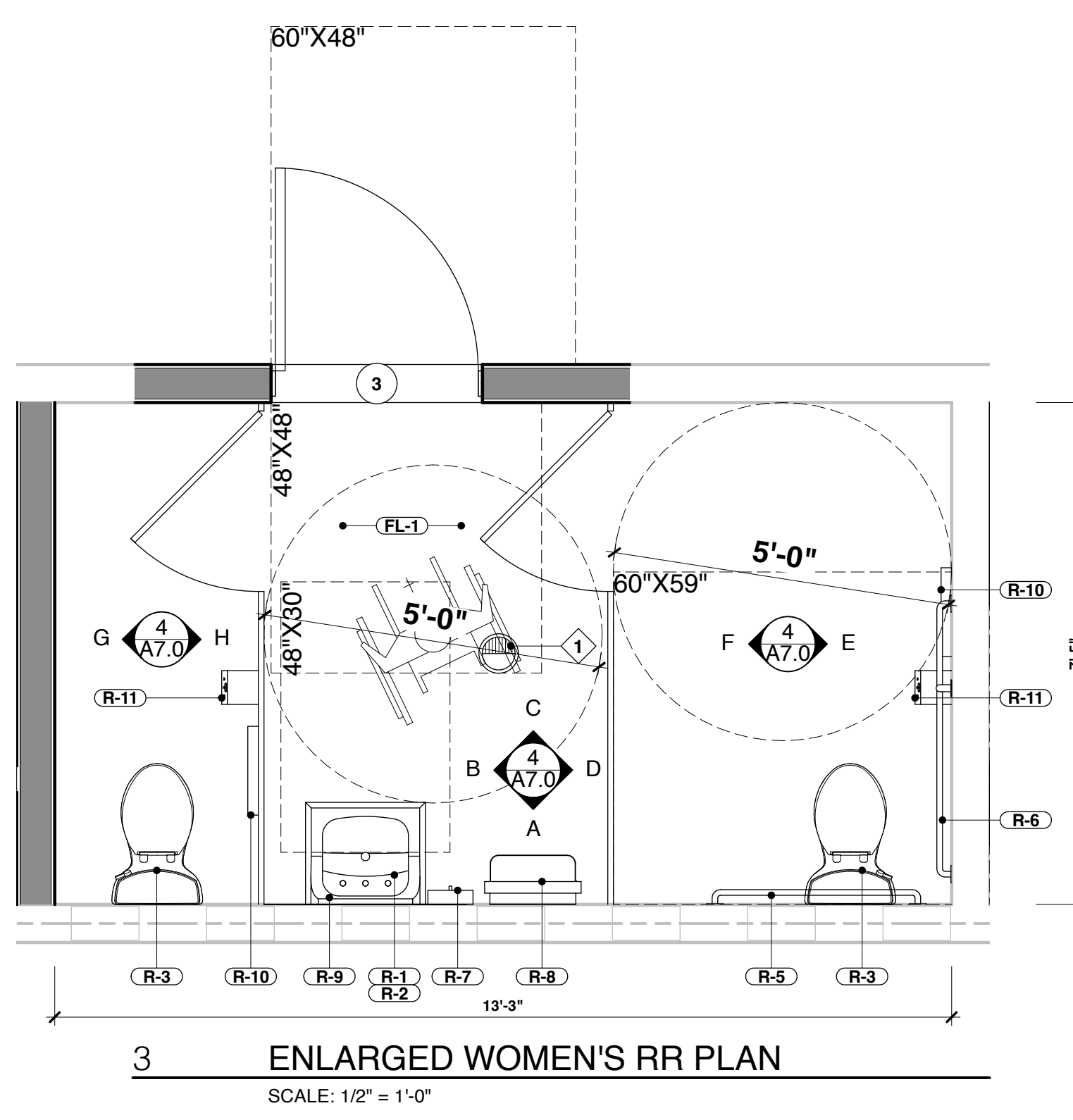
5 BOH INT. ELEVATIONS
Scale: 3/8" = 1'-0"



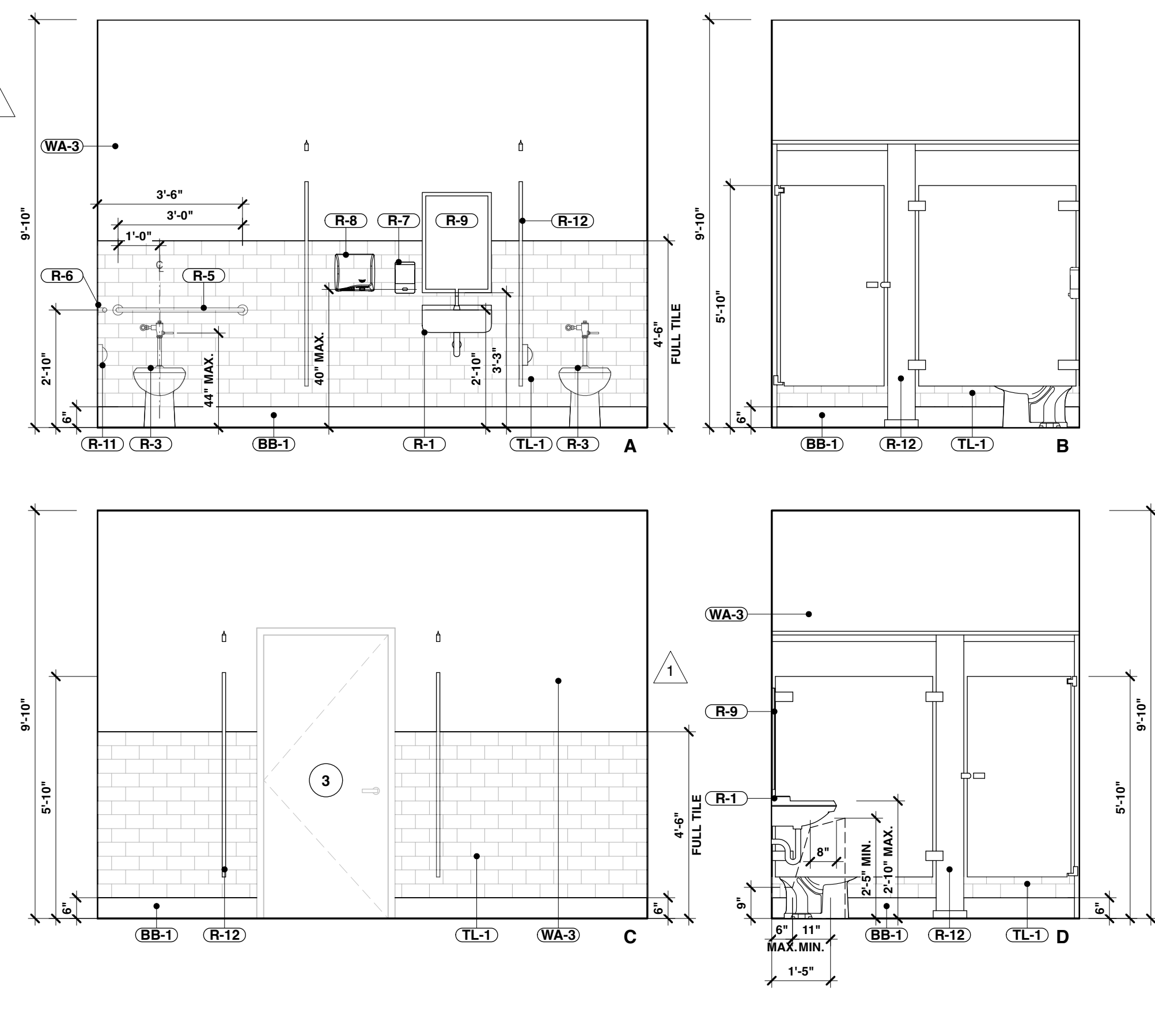
1 ENLARGED MEN'S RR PLAN
SCALE: 1/2" = 1'-0"



2 MEN'S RR INT. ELEVATIONS
Scale: 3/8" = 1'-0"



3 ENLARGED WOMEN'S RR PLAN
SCALE: 1/2" = 1'-0"



4 WOMEN'S RR INT. ELEVATIONS
Scale: 3/8" = 1'-0"

SHEET NOTES

- A. REFER TO SHEET A0.1 FOR GENERAL NOTES AND REQUIREMENTS.
- B. PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS.
- C. GC TO PROVIDE PROPER PROTECTION OF EXISTING TO REMAIN ITEMS DURING ALL PHASES OF CONSTRUCTION.

KEYNOTES

- 1. FLOOR DRAIN, SEE PLUMBING

LEGEND

- REFER TO KEY NOTES
- REFER TO SHEET A7.0 FOR DOOR SCHEDULE
- REFER TO SHEET SCHEDULE SHEETS A8.0 & A8.1

DRY STORAGE SHELVING

NO.	LIN. SHELVING UNIT	WALL-MOUNT SHELVES	QUANTITY	RUN. FEET OF SHELF
BH1	18" DEEP X 60" LONG X 5 TIER	-	2	50'0"
-	-	-	TOTAL	50'0"

EQUIPMENT SCHEDULE

SYMBOL	ROOM #	QTY	LOCATION	ITEM	MANUFACTURER	MODEL NUMBER	SIZE	VOLTAGE	REMARKS
B1	3	1	BAR	HAND SINK	KROWNE	KR24-1C	12" X 24"		PROVIDE WATERLINE, 6" STAINLESS STEEL SPLASHGUARD ON BOTH SIDES
B2	3	1	BAR	SINGLE SPEED RAIL	KROWNE	RS-12	12"		
B3	3	2	BAR	GLASS STORAGE CABINET W/ DRAINBOARD	KROWNE	KR24-GSB1	24" X 24"		W/ 24" PERFORATED INSERT FOR DRAINBOARD
B4	3	2	BAR	ICE BIN W/ COLD PLATE	KROWNE	KR19-30DP-10	30" X 19"		
B5	3	2	BAR	SINGLE SPEED RAIL	KROWNE	RS-30	30"		
B6	3	2	BAR	GARNISH STATION W/ COVER	KROWNE	KR-521	30"		
B7	3	2	BAR	4-STEP LIQUOR DISPLAY	KROWNE	KR24-12RD	12" X 24"		
B8	3	1	BAR	SODA GUN HOLDER	KROWNE	KR19-4SH-R	4" X 19"		
B9	3	1	BAR	SPEED UNIT W/ DUMP SINK & RINSER	KROWNE	KR24-MS12	12" X 24"		PROVIDE WATERLINE, 6" STAINLESS STEEL SPLASHGUARD ON BOTH SIDES
B10	3	1	BAR	CORNER 3-COMPARTMENT SINK	EAGLE GROUP	C314-10-3-12	43" X 21"		PROVIDE WATERLINE, 6" STAINLESS STEEL SPLASHGUARD ON BOTH SIDES
B11	3	1	BAR	CORNER DRAIN BOARD	KROWNE	KR19-C24R	19" X 24"		W/ 24" PERFORATED INSERT FOR DRAINBOARD
B12	3	1	BAR	GLASSWASHER	JACKSON	DISHSTAR HT-E-SEER	24"	208v	PROVIDE WATERLINE & POWER, 6" METAL LEG STAND
B13	3	2	BAR	SLIDING GLASS DOOR REFRIGERATOR	AVANTCO	178GDS47HCB	53" X 32" X 84"	115v	PROVIDE POWER
B14	3	1	BAR	COUNTER HEIGHT REFRIGERATOR	AVANTCO	178UBB4GHC	91" X 29" X 37"	115v	PROVIDE POWER, 2" ADA CASTER W/ LOCKER
B15	3	1	BAR	1200 LBS ICE MACHINE	MANITOWOC	IDT1200A / D-570	30" X 34" X 80"	208v	PROVIDE WATERLINE & POWER
BH1	6	2	BACK OF HOUSE	STORAGE RACK	REGENCY	460EC1860K75	18" X 60" X 74"		5 TIER
BH2	6	1	BACK OF HOUSE	EMPLOYEE LOCKERS	GSW	ELS-6DR	12" X 16" X 77"		
BH3	6	1	BACK OF HOUSE	MOP SINK	KROWNE	MS-1818	18" X 18" X 13"		PROVIDE WATERLINE
ME1	1	3	MAIN ENTRY	SPEAKER	JBL	PARTYBOX 1000	15.6" X 15.3" X 43.3"	240v	PROVIDE POWER
V1	7	1	VIP ENTRY	AIR CURTAIN	BERNER	7 SLC07-1072AA-BK 72"	72" X 8.5" X 8.5"	120v	PROVIDE POWER, 2500 FPM

FURNITURE SCHEDULE

SYMBOL	QTY	LOCATION	ITEM	MANUFACTURER	MODEL NUMBER	FINISH	SIZE	OPTIONS	REMARKS
F-1	2	SITTING	SINGLE BOOTH	MODERN LINE	EXPO-CHANNEL-48L-36H	CLASSIC BLK	48"X24"		BLACK MATTE BASE
F-2	8	SITTING	DOUBLE BOOTH	MODERN LINE	EXPO-CHANNEL-DBL-48L-36H	CLASSIC BLK	48"X46"		BLACK MATTE BASE
F-3	9	SITTING	TABLE	MODERN LINE	TT-23-2IN-3048	NERO MARQU	30"X48"	2"	TABLE BASE 105029-28-BKZ - BLACK MATTE
F-4	12	BAR	BAR STOOL	MODERN LINE	BS782	GUNITE & BLK	19"X21"		
F-5	2	VIP ENTRY	LONG COUCH	MODERN LINE	CAPRI73	CLASSIC BLK	73"X27"		
F-6	7	MAIN ENTRY VIP ENTRY	SHORT COUCH	MODERN LINE	CAPRI48	CLASSIC BLK	48"X27"		
F-7	9	MAIN ENTRY VIP ENTRY	SIDE TABLE	MODERN LINE	LEON-ST	STND BLK	27"X18"		
F-8	1	SITTING	TRASH CAN	-	-	BLACK	54"X24"		
F-9		MAIN ENTRY	WALL / STATIONARY ART	-	-	VARIES	VARIES		

RESTROOM FIXTURE SCHEDULE

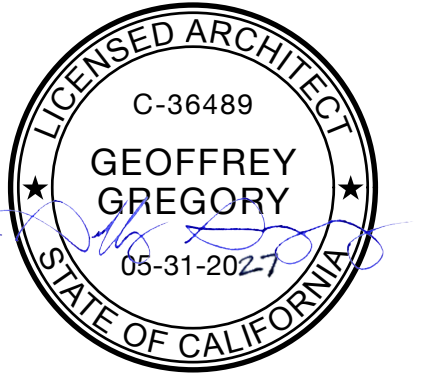
NO.	QNTY.	ITEM	SUPPLY / INSTALL	DESCRIPTION	CATALOG NUMBER	REMARKS
R-1	2	SINK	GC	WALL MOUNTED/VESSEL BATHROOM SINK	NAMEEK'S CERASTYLE 037100-U	WHITE PORCELAIN FINISH
R-2	2	FAUCET	GC	SINGLE-HANDLE LAVATORY FAUCET	NAMEEK'S ABSOLUTE REMER AU11USNL-CR	POLISHED CHROME FINISH
R-3	3	TOILET	GC	COMMERCIAL FLUSHOMETER TOILET	AMERICAN STANDARD EDGEMERE RIGHT HEIGHT ELONGATED 12" ROUGH TOILET	WHITE PORCELAIN FINISH
R-4	1	URINAL	GC	SYSTEM W/ SELECTRONIC FLUSH VALVE	AMERICAN STANDARD MAYBROOK ULTRA HIGH EFFICIENCY UNIVERSAL URINAL	URINAL: WHITE PORCELAIN, FLUSH: POLISHED CHROME
R-5	2	36" GRAB BAR	GC	1 1/4" DIA. STAINLESS STEEL GRAB BAR	BOBRICK B-5806X36	POLISHED CHROME FINISH
R-6	2	42" GRAB BAR	GC	1 1/4" DIA. STAINLESS STEEL GRAB BAR	BOBRICK B-5806X42	POLISHED CHROME FINISH
R-7	2	SOAP DISPENSER	GC	SURFACE-MOUNTED SOAP DISPENSER	BOBRICK B-2111	
R-8	2	HAND DRYER	GC	SURFACE-MOUNTED HAND DRYER	DYSON AIRBLADE	SPRAYED NICKEL
R-9	2	MIRROR	GC	BISTRO MIRROR	JOSS & MAIN SABINE METAL ROUNDED RECTANGLE WALL MIRROR	
R-10	3	TOILET SEAT COVER DISPENSER	GC	SURFACE-MOUNTED TOILET SEAT COVER DISPENSER	BOBRICK B-4221	
R-11	3	TOILET TISSUE DISPENSER	GC	SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	BOBRICK B-2888	
R-12	2	TOILET PARTITION	GC	OVERHEAD-BRACED MOUNTED TOILET PARTITION	BOBRICK BUDGET METROSERIES 1552	

BAR ACCESSORIES

SYMBOL	QTY	DESCRIPTION	MANUFACTURER	MODEL NUMBER	FINISH	SIZE	REMARKS
BA-1	4	2" STAINLESS STEEL BAR FOOT RAIL KIT	KEGWORKS	PSS-BARRAIL-KIT	POLISHED STAINLESS STEEL	6'0"	
BA-2	13	UNDERBAR PURSE HOOK	MOCKETT	HK29	POLISHED STAINLESS STEEL	3.5" X 2.25"	



All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
Date Modified: 03/09/2026
Scale: N.T.S.
Drawn By: AA

Schedules

A8.0

MATERIALS SCHEDULE

MATERIAL	NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NAME/ #	FINISH/ COLOR	SIZE	CUT / PATTERN	COMMENTS
FLOORING	FL-1	EPOXY FLOORING	SPARTAN EPOXIES	METALLIC EPOXY KIT	EPOXY / MANATEE		METALLIC	LOC: ALL FACILITY
BASEBOARD	BB-1	TROWELED EPOXY COVE BASE	SPARTAN EPOXIES	HDWB-V - VERTICAL EPOXY	DARK GRAY	6" H; 3/16" THK		3/8" RADIUS, LOC: RESTROOMS, BOH, BAR BACK
	BB-2	EXISTING BASE BOARD	-	-	DARK ENGINE DE6350			(E) TO BE PAINTED, NEW @ BAR TO MATCH (E)
TILE	TL-1	4'-6" WAINSCOT TILE	DALTILE	ARTIGIANO	GLOSSY BLACK	3" X 6"	SUBWAY	GC TO INCLUDE BULLNOSE TRIM ALONG TOP, TYP.
WOOD	WD-1	WOOD TAMBOUR	SURFACING SOLUTION	SOLID WOOD TAMBOUR PANEL	POPLAR	1"W X 11/32"H SLAT	T461	LOC: BAR
STONE	ST-1	BAR COUNTERTOP	CAESARSTONE	QUARTZ	5820 DARCREST	CUSTOM	VEINED	LOC: BAR
CEILING	CE-1	CEILING PANEL	SURFACING SOLUTION	ALLUSIONS THERMOFORMED FAUX TIN	BLACK	2' X 4' W/ 12" REPEAT	320	LOC: BAR
	CE-2	WOOD FIBER CEILING	ACOUSTICAL SURFACES	ENVIROCOUSTIC WOOD WOOL	BLACK	24" X 24", 1" THICK	SQUARE BEVELED	LOC: SEATING, VIP
	CE-3	SOUNDPROOFING FOAM	SOUNDPROOF COW	UDDERLY QUIET	CHARCOAL	4"	PYRAMID	LOC: MAIN ENTRY HIGH CEILING
	CE-4	5/8" GYP. BOARD CEILING	DUNN EDWARDS	WARM WHITE DEW 380	SEMI-GLOSS / WHITE			LOC: RESTROOMS, BOH
WALL	WA-1	POLYESTER ACOUSTICAL	KOROSEAL	ANDANTE ACOUSTIC WALLCOVERINGS	AND-009, 012, 017, 027	54" W X 33 YARDS	ANDANTE	PATTERNS: TBD, LOC SITTING
	WA-2	SOUND ABSORBING CURTAINS	QUIET CURTAINS	ACOUSTIC CURTAINS	CHARCOAL	V.I.F.	CRESCENT VELOUR	LOC: VIP, MAIN ENTRY
	WA-3	CUSTOM WALL VINYL	CUSTOM	CUSTOM	MATTE			GC TO COORDINATE W/ SUPPLIER WALL SUBSTRATE
PAINT	PT-2	BOH WALL PAINT	DUNN EDWARDS	SILVER CITY DE6337	SEMI-GLOSS / GRAY			LOC: BOH
	PT-3	BAR WALL PAINT	DUNN EDWARDS	DARK ENGINE DE6350	SEMI-GLOSS / BLACK			LOC: BAR 42" HT
	PT-4	BAR WALL PAINT	DUNN EDWARDS	DARK ENGINE DE6350	VENETIAN PLASTER			LOC: BAR - ABOVE BAR HEIGHT
FRP	FRP-1	FRP PANEL	MARLITE	SYMMETRIX FRP	BLACK			

LIGHT FIXTURE SCHEDULE

FIX NO.	QTY.	SYMBOL	FIXTURE TYPE	MANUFACTURER / MODEL	SIZE	FINISH/ COLOR	LAMP TYPE	LAMP WATT.	REMARKS
F1	20		ROUND RECESSED DOWNLIGHT	PRESCOLITE / LFR-4RD	4"	BLACK / BLACK	LED	8-54 W RANGE	LFR-4RD-T-30K-LWW-SS-BT, LFR-4RD-H-IC
F2	9		WALL SCONCE	ET2 / ALUMILUX E41501-ABZ	6.75" DIAMETER	ALUMINUM / BLACK	LED	14 W	
F3	5		ROUND RECESSED WALL WASH	PRESCOLITE / LRF-4RW	4"	BLACK / BLACK	LED	8-54 W RANGE	LFR-4RW-T-30K-LWW-SS-BT, LFR-4RD-H-IC
F4	3		PENDANT LIGHT	VISO / GLOBO PENDANT	19.7" DIAMETER	WHITE	LED	23 W	
F5	2		WALL SCONCE	BROWNLEE / SPLIT 5260	26" X 2.75" X 2.69"	BRUSHED NICKEL	LED	16 W	5260-26-BN-H16-30K
F6	±295'		STRIP LIGHT	GOVEE / H70A3	98'4 51/64"	RGB	LED	72 W	PLUG-IN
F7	2		EDGE-LIT EXIT SIGN	-	-	WHITE	-	-	EXISTING TO REMAIN
F8	1		PENDANT LIGHT	VISO / GLOBO PENDANT	25.6" DIAMETER	WHITE	LED	23 W	

DOOR SCHEDULE

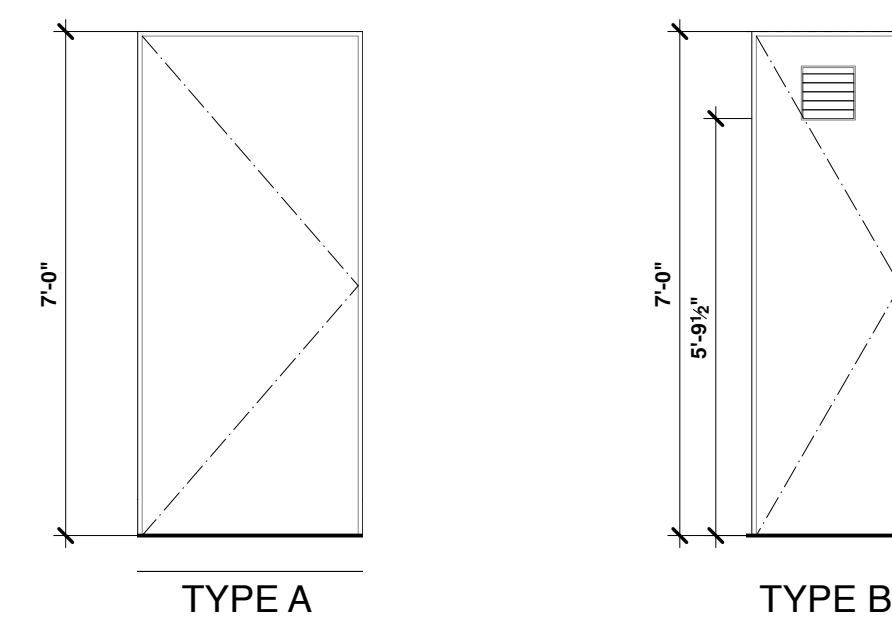
DOOR #	LOCATION	ROOM #	TYPE	(E)/(N)	MFR	MODEL	OPERATION	HANDING	NOMINAL DOOR SIZE			MATERIAL	GLAZING	HARDWARE TYPE	REMARKS
									WIDTH	HEIGHT	THKN				
1	MAIN ENTRY	01	-	(E)	-	-	DOUBLE SWING	LHR / RHR	8'-0"	10'-0"	1/2"	ALUMINUM	TEMP	NON-LATCHING PANIC	
2	MEN'S RR	04	A	(N)	-	-	SWING	LHR	3'-0"	7'-0"	2"	SOLID CORE WOOD	-	HW-1	SELF-CLOSING
3	WOMEN'S RR	05	A	(N)	-	-	SWING	RHR	3'-0"	7'-0"	2"	SOLID CORE WOOD	-	HW-2	SELF-CLOSING
4	BOH	06	A	(N)	-	-	SWING	RHR	3'-0"	7'-0"	2"	SOLID CORE WOOD	-	HW-3	SELF-CLOSING, TOP & BOTTOM LOUVER
5	REAR ENTRY	07	-	(E)	-	-	DOUBLE SWING	LHR / RHR	6'-6"	10'-0"	1/2"	ALUMINUM	TEMP	NON-LATCHING PANIC	

HARDWARE SCHEDULE

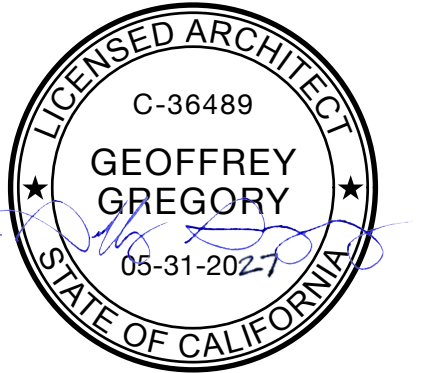
HRDWR #	LOCATION	RM #	DESCRIPTION	MFR	MODEL	TYPE	FINISH	PROVIDED BY	REMARKS
HW-1	MEN'S RR	04	PRIVACY LOCKSET	-	-	LEVER	SATIN ALUMINUM	GC	SELF-CLOSING
HW-2	WOMEN'S RR	05	PASSAGE LOCKSET	-	-	LEVER	SATIN ALUMINUM	GC	SELF-CLOSING
HW-3	BOH	06	STOREROOM LOCKSET	-	-	LEVER	SATIN ALUMINUM	GC	SELF-CLOSING
HW-4	VIP ENTRY	07	STOREROOM LOCKSET	-	-	LEVER	SATIN ALUMINUM	GC	SELF-CLOSING

- DOOR / DOOR HARDWARE NOTES:
- *Door handles shall be lever type, push / pull or equivalent. Maximum effort to operate doors shall not exceed 5 lbs per CBC 11B-309.4.
 - *All wood doors to be solid core.
 - *All exterior doors to be rodent proof.
 - *Exit doors to be operable from the inside without the use of a key, special knowledge or effort.
 - *All exit doors shall provide a min. clear opening width of 32" and be capable of opening 90 degrees per CBC 1010.1.1.
 - *All exit doors should have a maximum width of 48" nominal of a swinging door leaf. Exit doors shall be side-hinged swinging type.
 - *Sign above entry doors: "This door to remain unlocked while building is occupied"

DOOR TYPES



All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

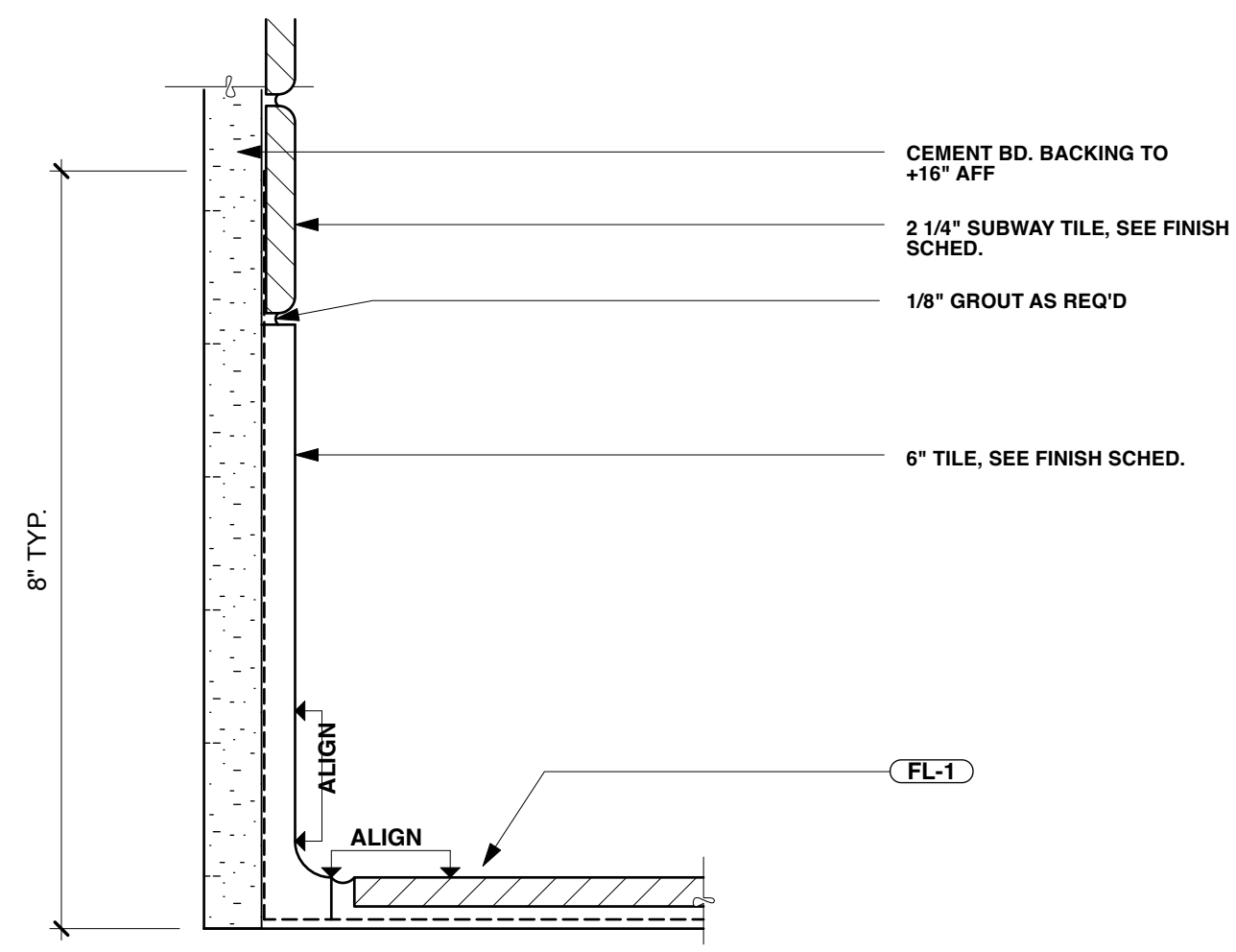
Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
Date Modified: 03/09/2026
Scale: N.T.S.
Drawn By: AA

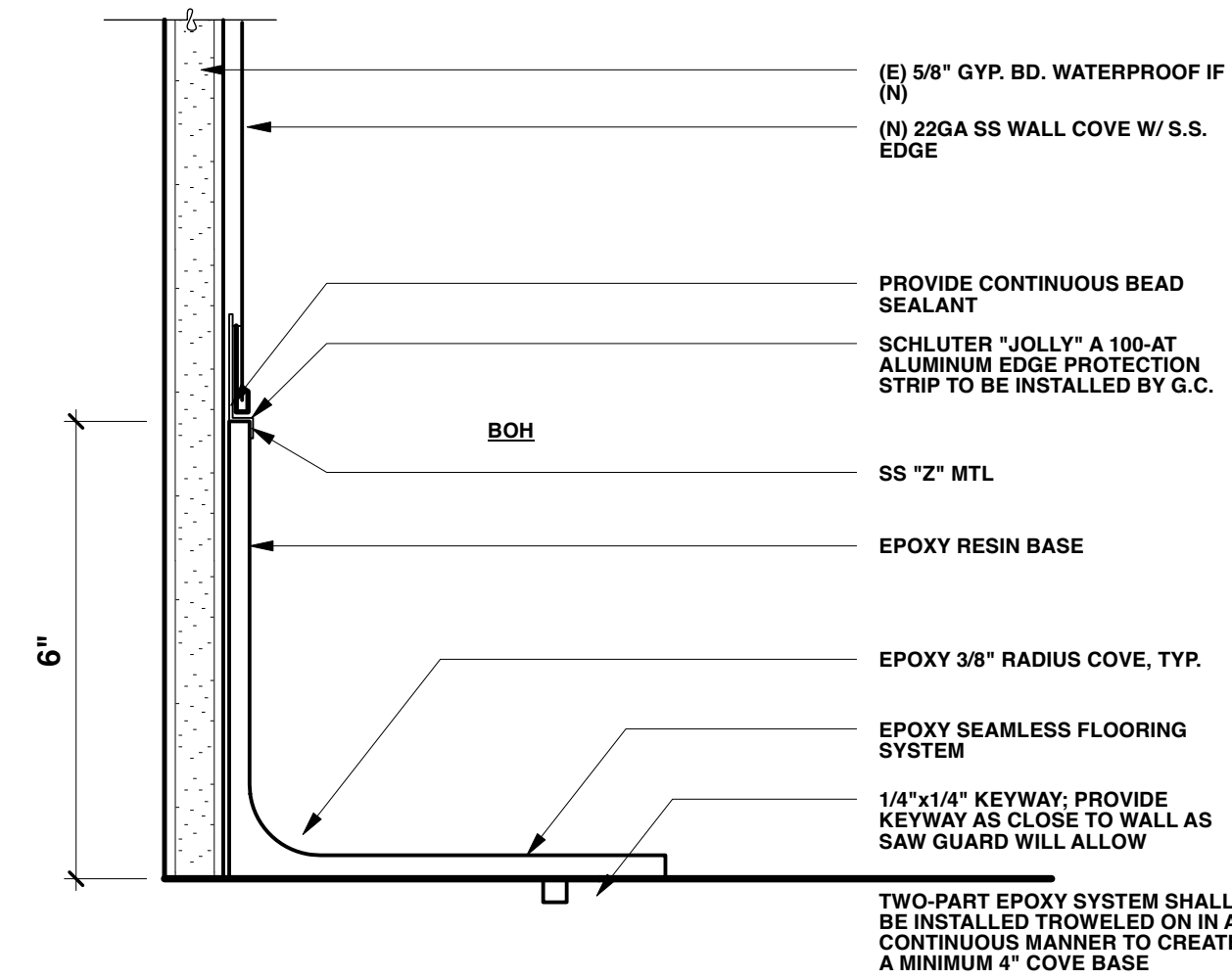
Schedules

A8.1

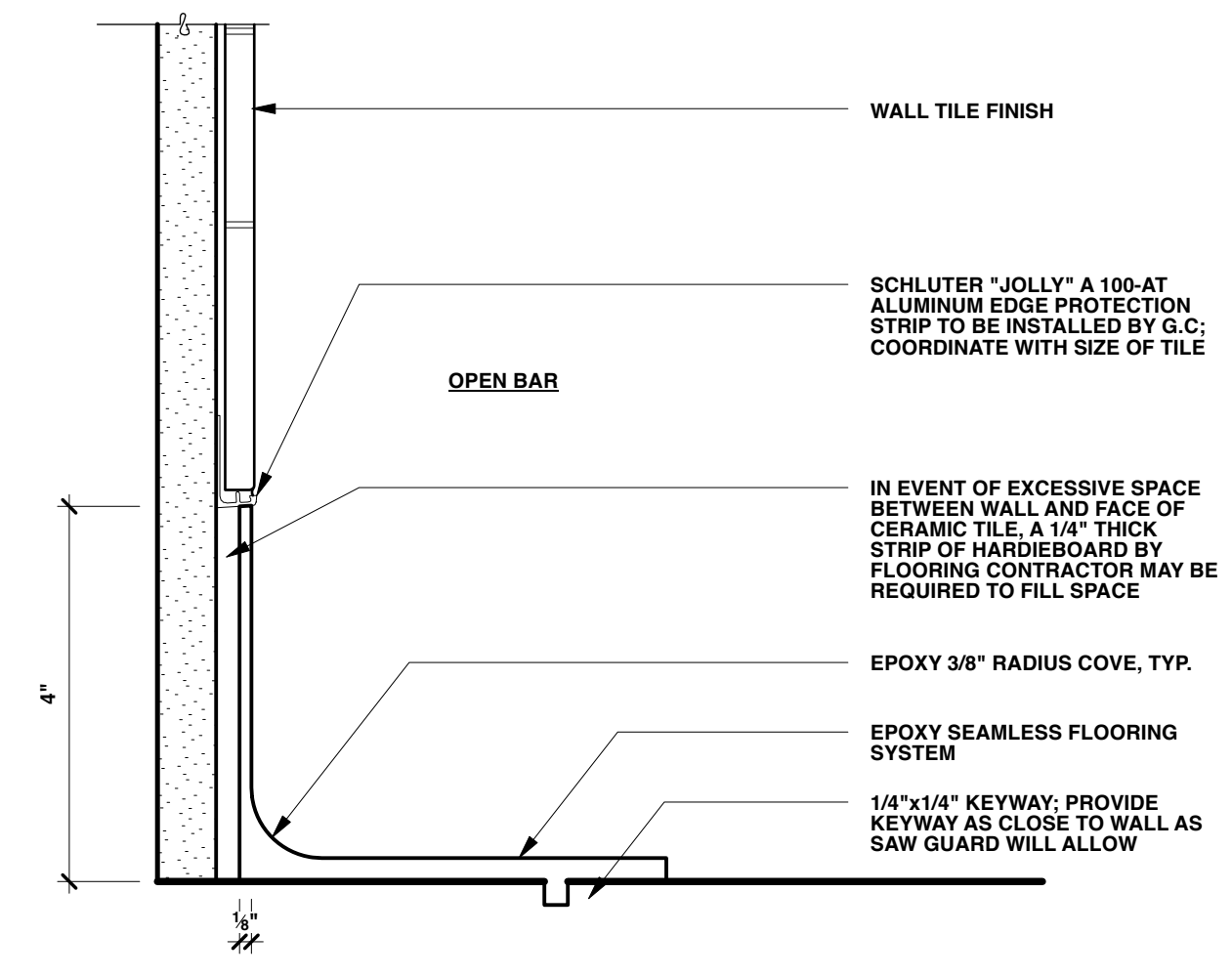
1



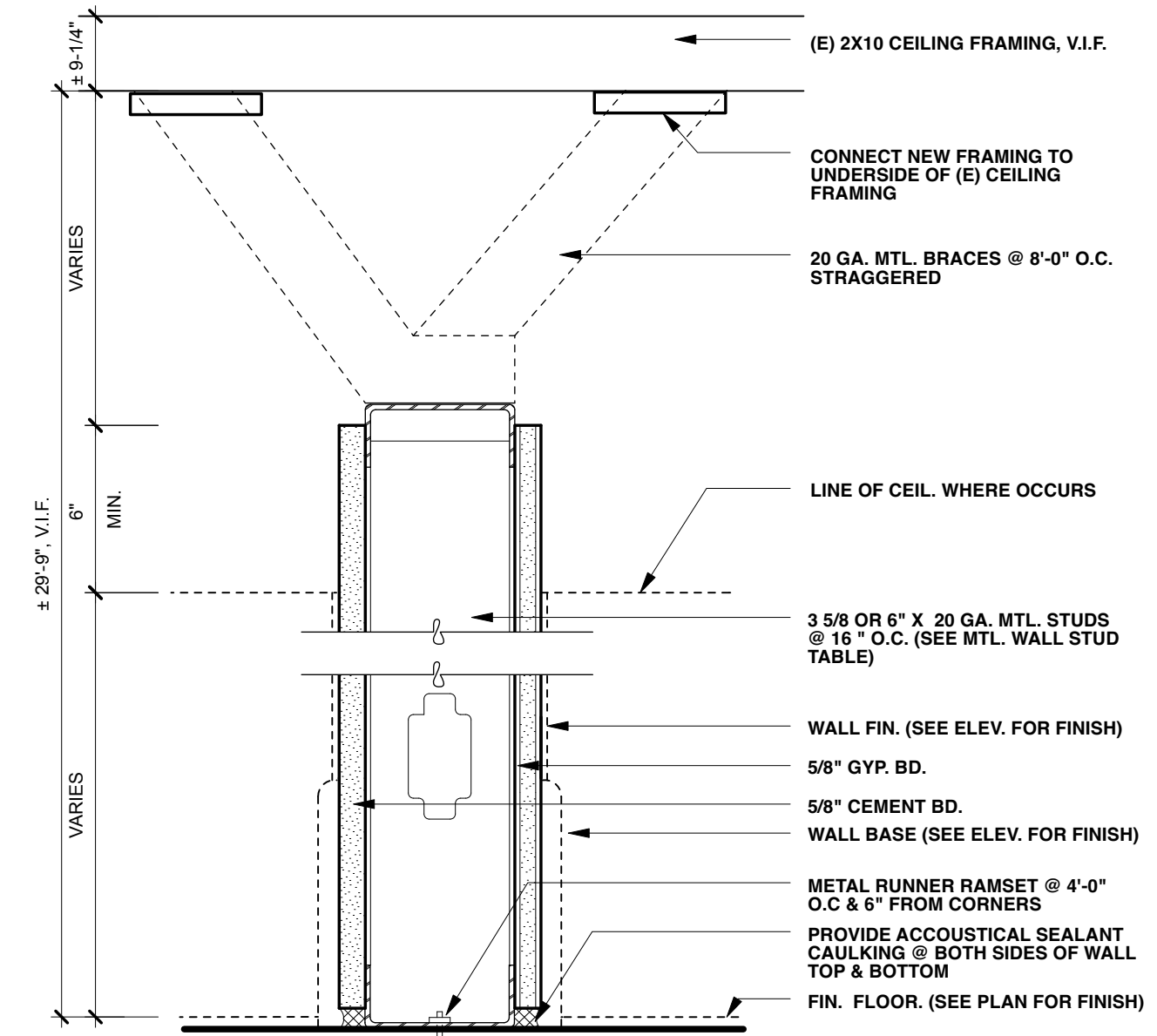
BASE DETAIL @ RR | 10
Scale 6"=1'-0"



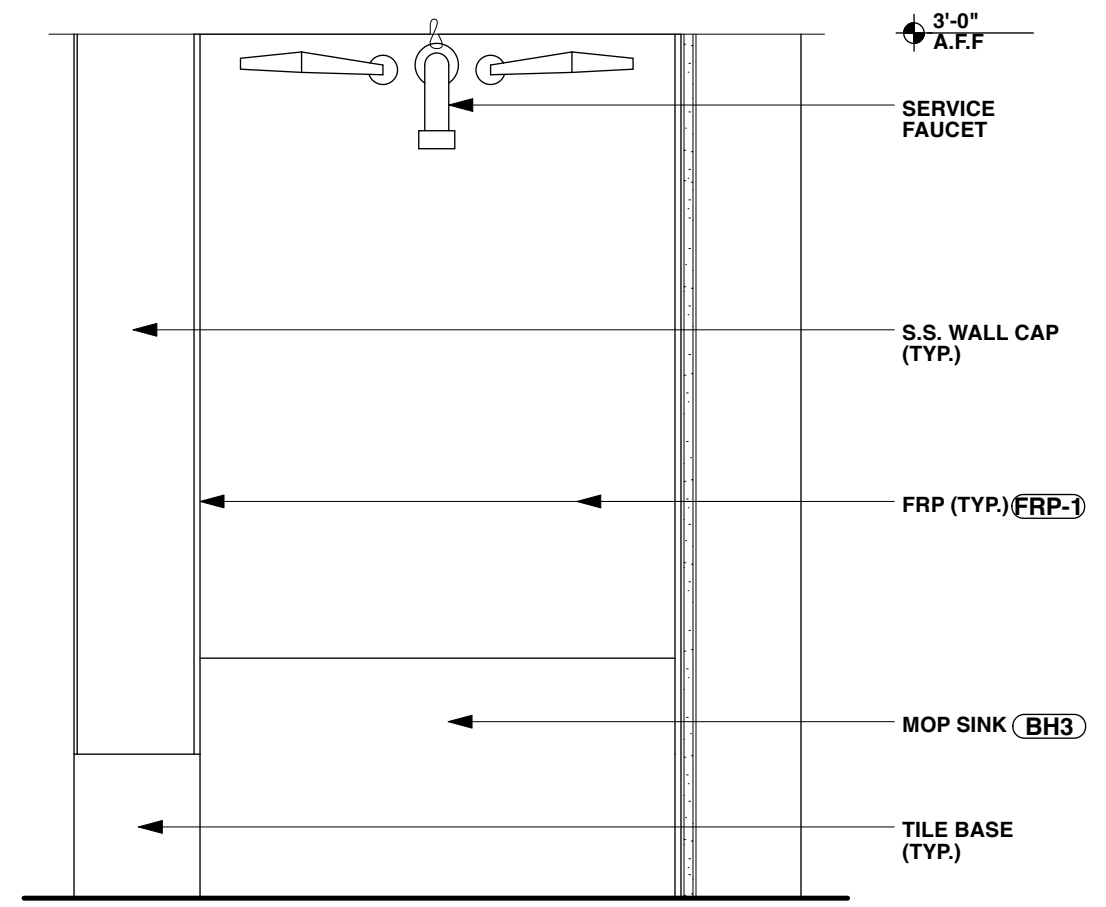
BASE DETAIL @ BOH | 07
Scale 6"=1'-0"



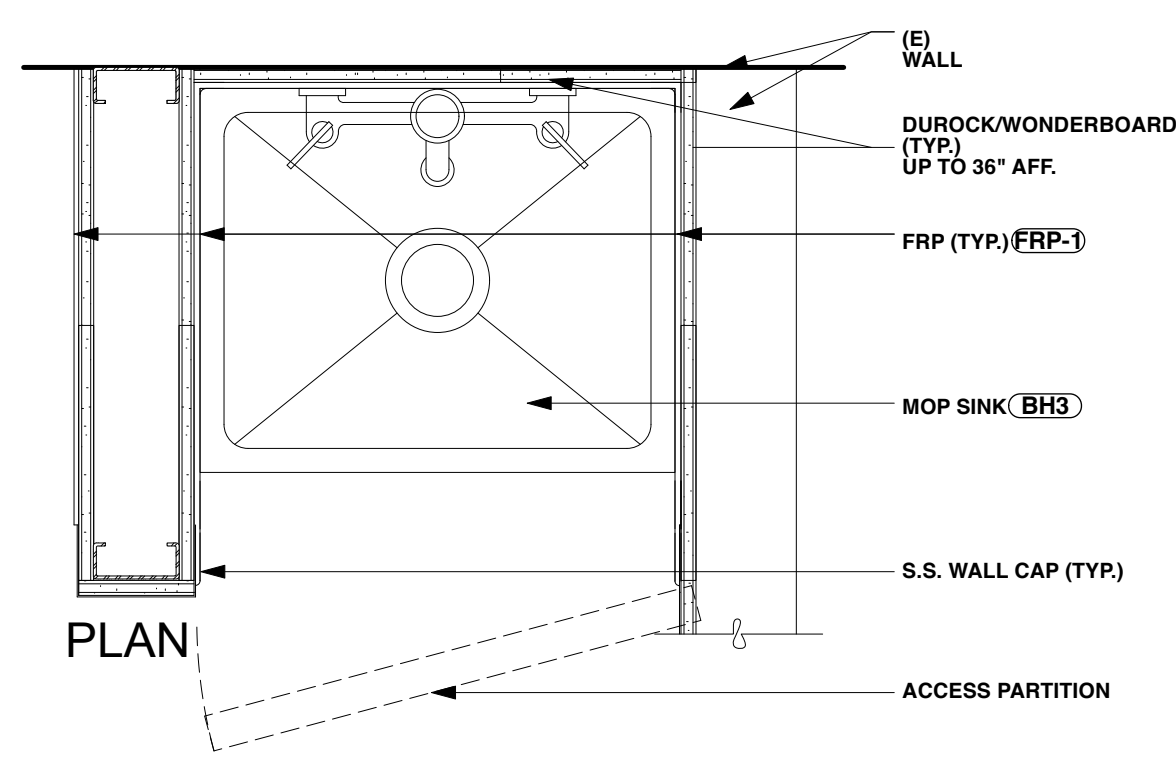
BASE DETAIL @ BAR | 04
Scale 6"=1'-0"



NON-RATED CEL. HT. | 01
Scale 3"=1'-0"

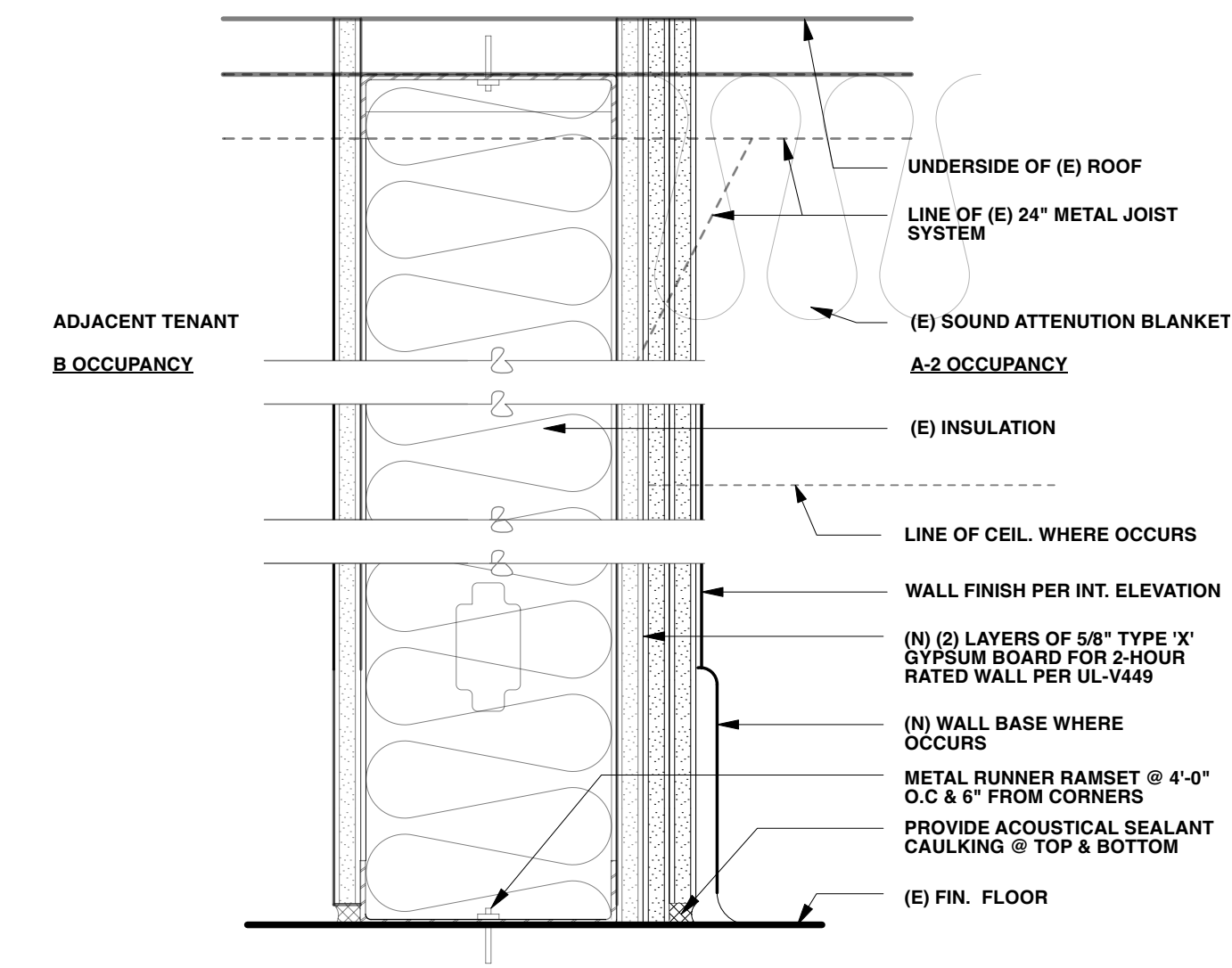


ELEVATION

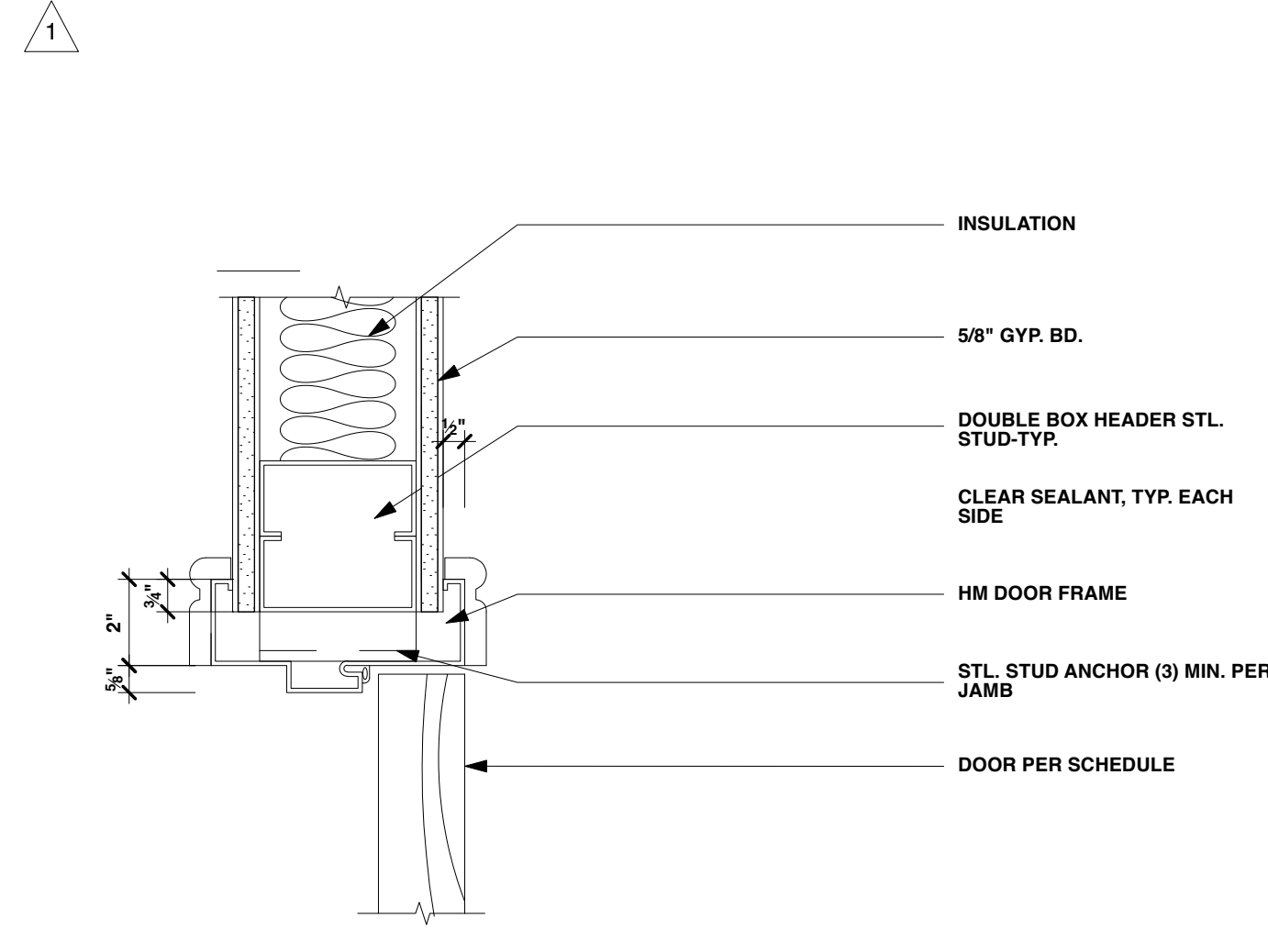


PLAN

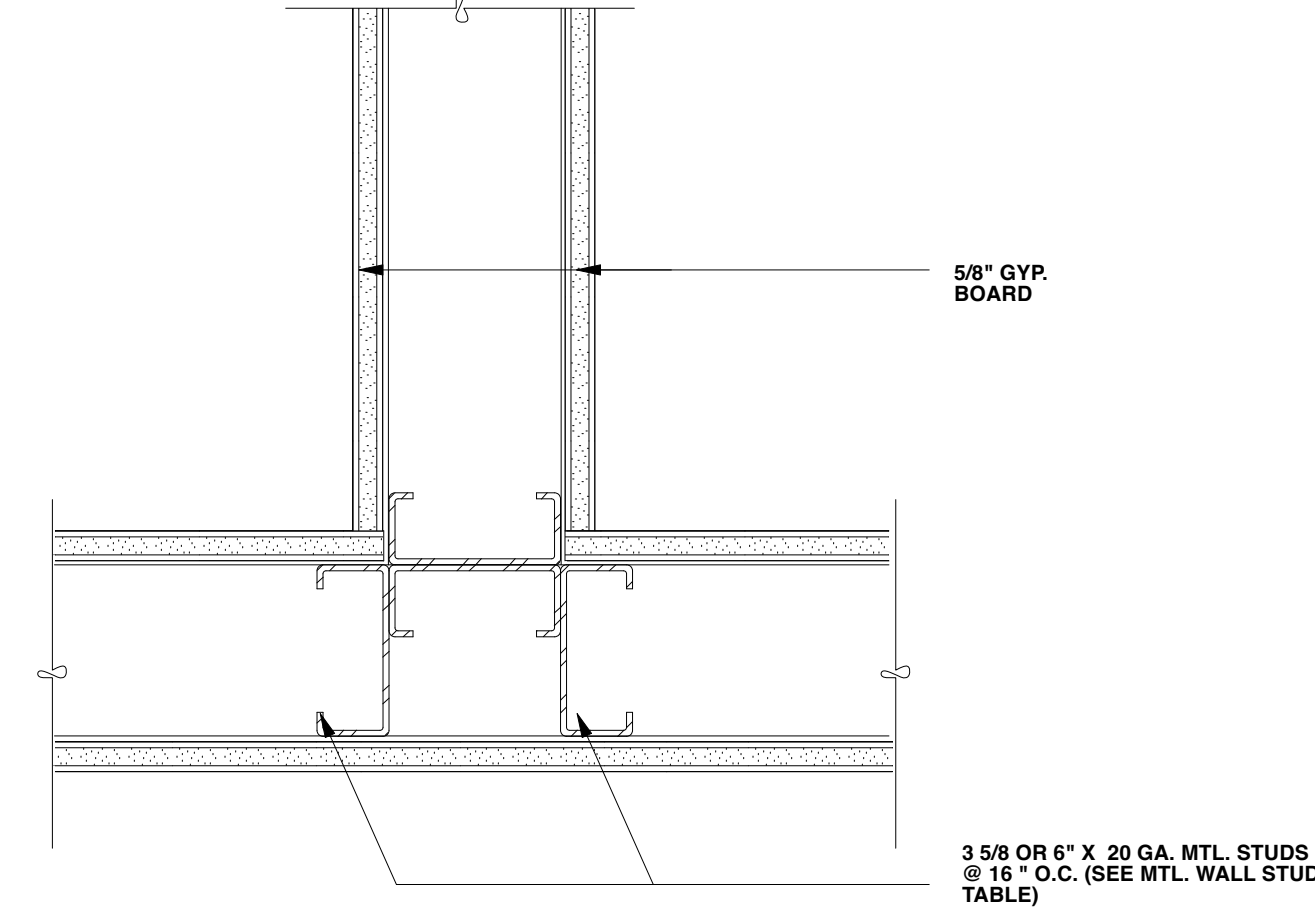
MOP SINK | 11
Scale 1-1/2"=1'-0"



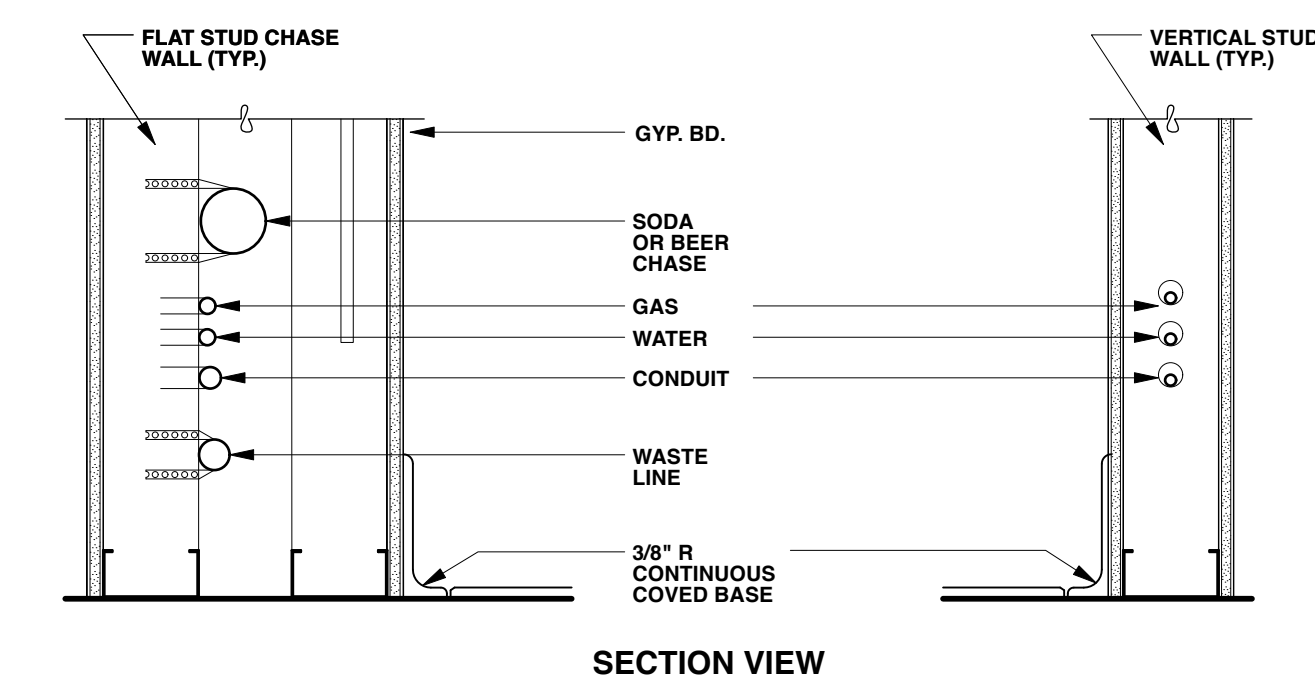
(N) DEMISE WALL - 2-HR FIRE BARRIER | 08
Scale 3"=1'-0"



INTERIOR DOOR HEADER | 09
Scale 3"=1'-0"

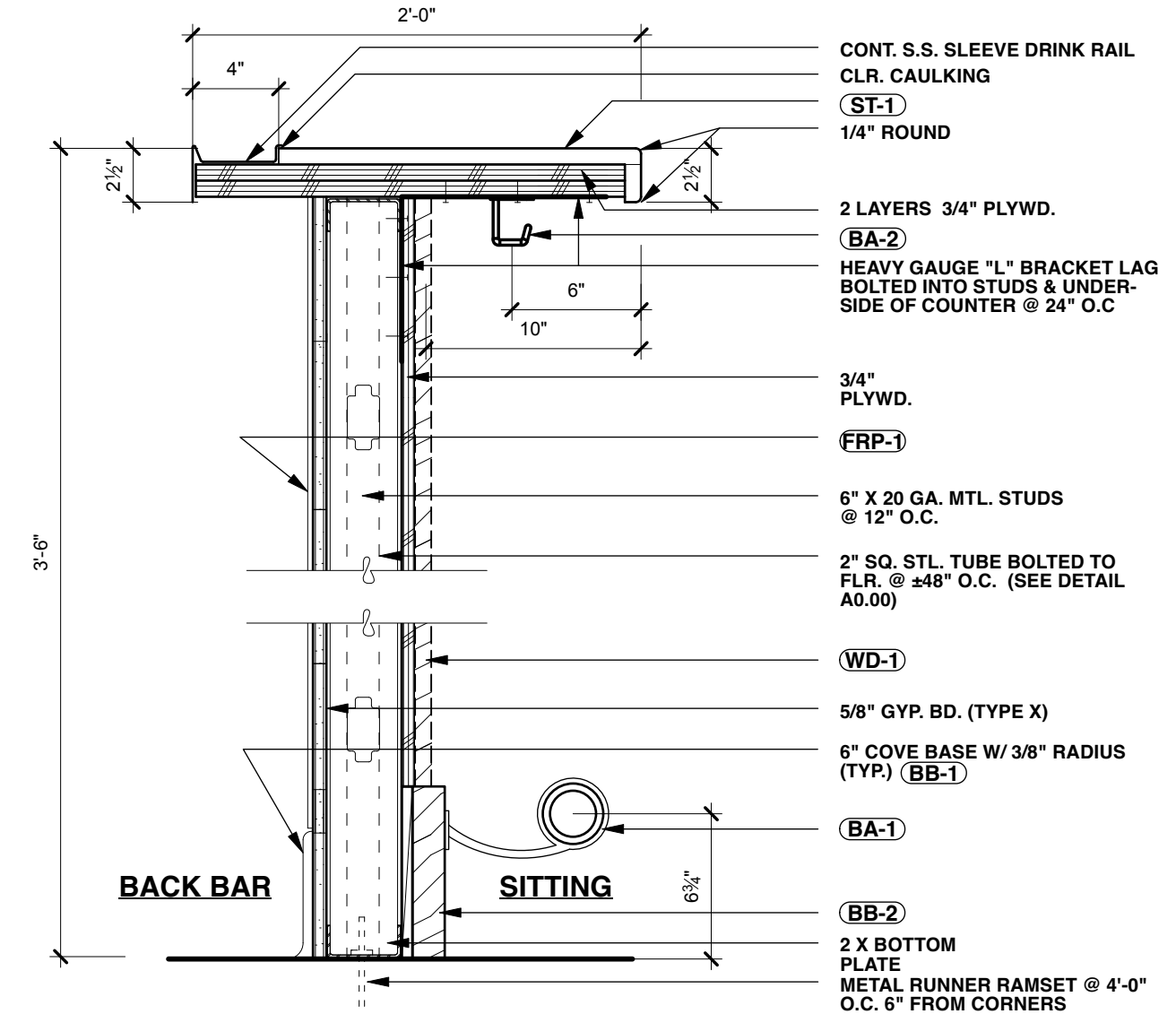


90-DEGREE PARTITION | 05
Scale 3"=1'-0"

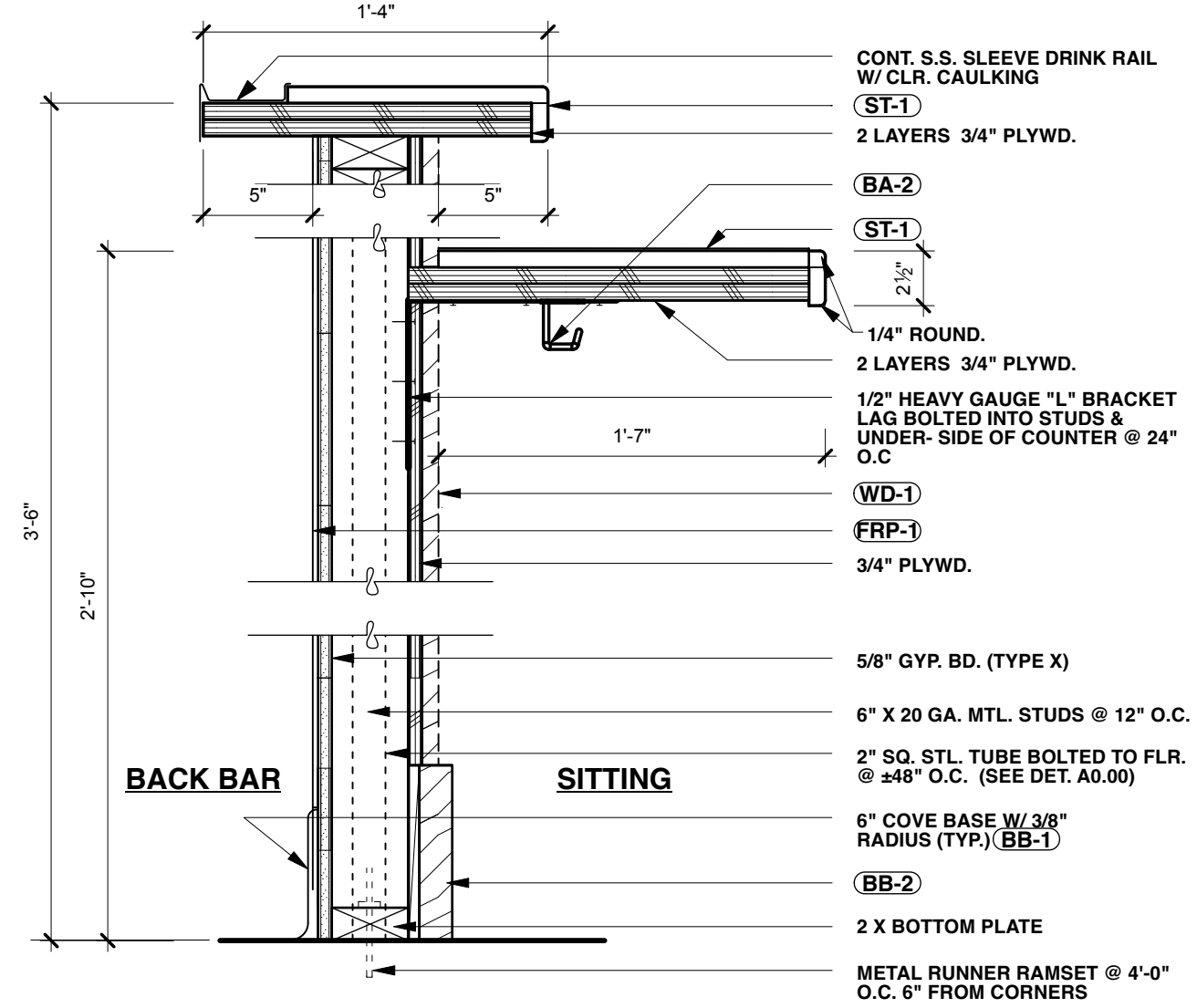


NOTE:
1. ALL LINES (CO. SYRUP, LIQUOR, SODA, ETC.) MUST BE FIXED IN PLACE TO PREVENT VIBRATION OR OTHER MOVEMENT.
2. ANY IN-LINE VALVES MUST BE MADE ACCESSIBLE. (EXCEPTIONS) WILL BE GRANTED ONLY IF STATED IN THE UBC/UBC/UMC.
3. IF SOLID WALLS (i.e. CONCRETE BLOCK) ARE ENCOUNTERED, WALL TO BE FURRED OUT WALL TO CONCEAL THE CONDUIT, PIPES, ETC.

PLUMBING WALL | 06
Scale 6"=1'-0"



PONY WALL @ BAR COUNTER | 02
Scale 1-1/2"=1'-0"



PONY WALL W/ ACCESSIBLE COUNTER | 03
Scale 1-1/2"=1'-0"

All drawings and written material appearing herein constitute original and unpublished work of Gregory Architects. This document contains proprietary information furnished for the limited purpose of evaluation, bidding, or review and may not be duplicated, used, or disclosed without the prior written consent of Gregory Architects.



ROCK'N AVENUE

73730 EL PASEO, SUITE C
PALM DESERT, CA 92260

Date	Description
01/09/26	PERMIT SUBMITTAL
03/09/26	2ND SUBMITTAL
04/08/26	3RD SUBMITTAL

Project No.: 2540
Date Modified: 03/09/2026
Scale: AS SHOWN
Drawn By: AA

General Details

A9.0