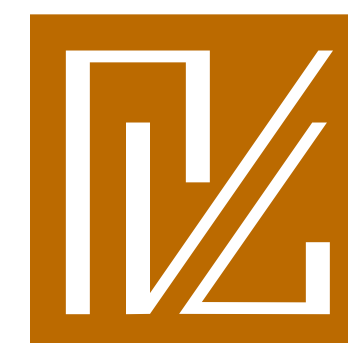




UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



PREST | VUKSIC | GREENWOOD

ARCHITECTS • INTERIORS

PROJECT INFORMATION

OWNER

AAFMAA
4795 Meadow Wood Lane, Suite 330 East,
Chantilly, VA 20151

APPLICANT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE. SUITE 200
PALM DESERT, CA 92260

PROJECT DESCRIPTION

3 INDEPENDENT PATIO STRUCTURES TO BE
BUILT ADJACENT TO EXISTING RETAIL
BUILDINGS AT UNIVERSITY VILLAGE.

ZONING

PC(3) - COMMERCIAL

LEGAL DESCRIPTION

APN 694190049 AND 694190050

PARKING

WE ARE FORMALLY REMOVING PARKING
THAT HAS ALREADY BEEN ELIMINATED BY
OUTDOOR SEATING AREAS

THIS SITE IS COMPOSED OF COMMERCIAL
RETAIL BUSINESSES AS WELL AS
PROFESSIONAL OFFICE BUSINESSES. THE
PARKING LOT IS MOSTLY USED BY THE
PROFESSIONAL BUSINESSES FROM 8AM TO
5PM. THE PARKING LOT IS MOSTLY USED
BY THE COMMERCIAL BUSINESSES AFTER
5PM.

CONSULTANTS

ARCHITECT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE. SUITE 200
PALM DESERT, CA 92260
760-779-5393
JOHN VUKSIC

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
74-410 GERALD FORD DR. SUITE 100
PALM DESERT, CA 92211
760-776-6131
WILLIAM POPE

STRUCTURAL

RA STRUCTURAL ENGINEERING, INC.
77570 SPRINGFIELD LANE, SUITE "D"
PALM DESERT, CA 92211
760-808-9146
REZA ASGHARPOUR

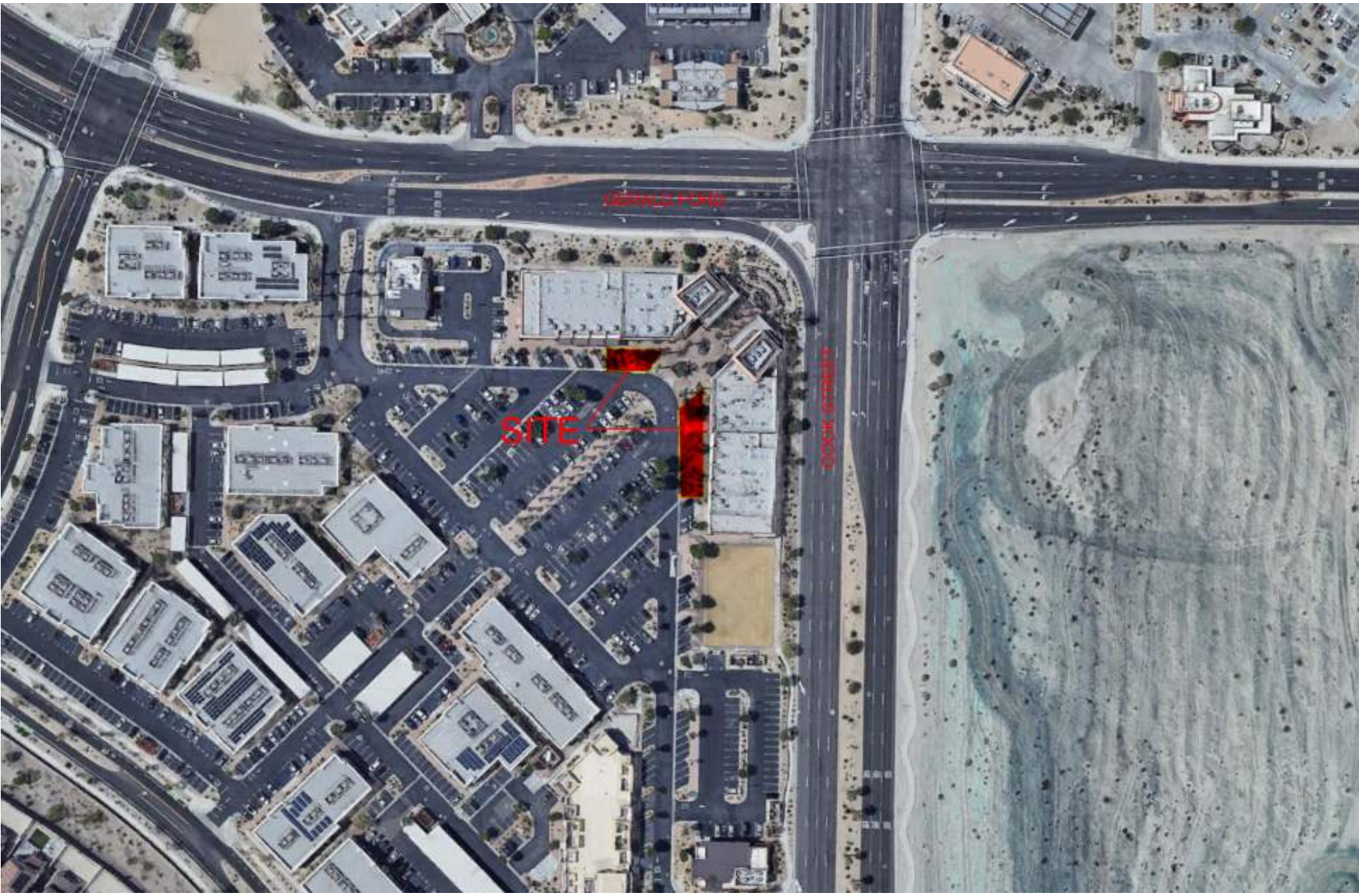
LANDSCAPE ARCHITECT

HSA DESIGN GROUP, INC.
41-990 COOK STREET, BUILDING I, #801B
PALM DESERT, CA 92211
760-341-1515
CHUCK SHEPARDSON

BUILDING DATA

OCCUPANCY	A2
TYPE OF CONSTRUCTION	VB
SPRINKLERED	NO
NUMBER OF STORIES	1
GREATEST HEIGHT	17' 3"

VICINITY MAP



SHEET NO.	SHEET NAME
A000	COVER SHEET
A001	SHEET INDEX
1 of 7	PRECISE GRADING PLAN
2 of 7	PRECISE GRADING PLAN
3 of 7	PRECISE GRADING PLAN
4 of 7	PRECISE GRADING PLAN
5 of 7	PRECISE GRADING PLAN
6 of 7	PRECISE GRADING PLAN
7 of 7	PRECISE GRADING PLAN
1 of 1	SITE PLAN EXHIBIT
A101	SITE PLAN
A201	CENTRAL PATIO FLOOR PLAN
A202	NORTH PATIO FLOOR PLAN
A203	SOUTH PATIO FLOOR PLAN
A301	ELEVATIONS
A302	COLOR ELEVATIONS
A401	CENTRAL PATIO ROOF PLAN
A402	NORTH PATIO ROOF PLAN
A403	SOUTH PATIO ROOF PLAN
A501	3D VIEWS
A502	3D VIEWS
A503	3D VIEWS
A504	3D VIEWS
A505	3D VIEWS
A506	3D VIEWS
A601	MATERIAL BOARD
A700	SEATING PLAN
A800	PARKING STUDY
L1.1	PRELIMINARY PLANTING PLAN
E2.00	ELECTRICAL SITE PLAN
E3.00	ELECTRICAL PLAN
E3.01	ELECTRICAL PLAN

UNIVERSITY VILLAGE PATIO STRUCTURES
PALM DESERT, CA



PREST | VUKSIC | GREENWOOD
ARCHITECTS • INTERIORS
44530 SAN PABLO AVE, STE 200 | PALM DESERT, CA 92260
WWW.PVGARCHITECTS.COM
INFO@PVGARCHITECTS.COM | 760 . 779 . 5393 T

SHEET INDEX

Scale: _____
Sheet: **A001**

Issue Date
2/20/12

IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

TRACT 35741 - PARCEL 1 AND 2

UNIVERSITY VILLAGE - SHADE STRUCTURE ADDITIONS

PRECISE GRADING AND DRAINAGE PLAN

LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

PALM DESERT GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF PALM DESERT, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS WHEN APPLICABLE.
- NO CONSTRUCTION IS AUTHORIZED WITHOUT THE APPROPRIATE PERMITS ISSUED BY THE CITY OF PALM DESERT PUBLIC WORKS DEPARTMENT.
- THE ENGINEER-OF-RECORD SHALL BE NOTIFIED WHEN CONSTRUCTION HAS COMMENCED.
- IN THE EVENT OF DISCREPANCIES AND/OR DEVIATIONS ARISING DURING CONSTRUCTION, THE ENGINEER-OF-RECORD SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ONSITE, OFFSITE, AND ADJACENT UTILITIES, FACILITIES AND PROPERTIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTY OWNERS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONJUNCTION WITH CONSTRUCTION OF THESE IMPROVEMENT PLANS.
- THE CONTRACTOR, AT NO EXPENSE TO THE CITY, SHALL PROVIDE ALL NECESSARY SAMPLES AND TESTS THAT THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE TO ASSURE THE QUALITY OF MATERIAL AND WORKMANSHIP ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND SHALL MAINTAIN ALL FACILITIES, COMPLETED AND UNCOMPLETED, UNTIL ACCEPTED BY THE CITY.
- ALL SURVEY MONUMENTS WITHIN OR BOUNDING THE WORK LIMITS, WHETHER FOUND FROM RECORD OR BY INSPECTION, SHALL, PRIOR TO ANY CONSTRUCTION, BE LOCATED AND REFERENCED BY A LICENSED SURVEYOR OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. THE REFERENCE MONUMENTS DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE RESET IN ACCORDANCE WITH SECTION 8771 OF THE LAND SURVEYORS ACT AND CITY STANDARDS AND REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS IN PALM DESERT AT (760) 776-6450 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR THE LOCATION OF UNDERGROUND UTILITIES OR FOR EMERGENCY ASSISTANCE CALL:

WATER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
SEWER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
ELECTRIC	SOUTHERN CALIFORNIA EDISON	(760) 202-4291
GAS	THE GAS COMPANY	(800) 427-2200
TELEPHONE	VERIZON CALIFORNIA, INC.	(800) 483-1000
CABLE	TIME WARNER / SPECTRUM	(760) 340-1312
DIG ALERT		811
- THE DEPARTMENT OF PUBLIC WORKS DOES NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THE QUANTITIES SHOWN HEREON.
- THE STRUCTURAL SECTION SHALL BE AS PER THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, HIGHWAY DESIGN MANUAL TEST NO. 301-F FOR DETERMINATION BY THE R-VALUE METHOD.
- THESE PLANS MAY BE SUBJECT TO REVIEW AND/OR REVISION BY THE CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS, IF CONSTRUCTION HAS NOT COMMENCED WITHIN 12 MONTHS FROM THE DATE OF APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- ALL P.C.C. AND A.C. REMOVALS SHALL BE OUTLINED TO NECESSARY WORKING LIMITS AND SAWCUT TO A MINIMUM DEPTH OF 2 INCHES PRIOR TO REMOVAL. ALL DEBRIS CREATED BY THE REMOVAL OPERATIONS SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER AND LOCATION ACCEPTABLE TO ALL CONCERNED AGENCIES AND ORGANIZATIONS.
- ALL P.C.C. AND A.C. IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT NO COST TO THE CITY OF PALM DESERT.
- STREETS IN THE CONSTRUCTION AREA SHALL BE KEPT CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING OF THE PROPOSED WORK AREA.
- NO PUBLIC STREET SHALL BE CLOSED TO TRAFFIC WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER.
- NO TRENCHES SHALL REMAIN OPEN OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- FAILURE TO COMPLY WITH ANY OF THE AFOREMENTIONED ITEMS SHALL BE SUFFICIENT CAUSE FOR THE CITY TO ARRANGE FOR NECESSARY WORK TO BE COMPLETED BY OTHERS. COSTS TO COMPLETE THE WORK BY OTHERS WILL BE CHARGED TO THE CONTRACTOR.
- ALL LANDSCAPING AND IRRIGATION THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED TO THE APPROVAL OF THE CITY AND THE PROPERTY OWNER.
- CONTRACTOR MUST OBTAIN APPROVAL FOR ANY LANE CLOSURES A MINIMUM OF 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT TO REQUEST INSPECTION A MINIMUM OF 24 HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL KEEP THE INSPECTION INFORMED OF PROGRESS OF THE WORK ON A DAILY BASIS. IMPROVEMENTS PLACED WITHOUT INSPECTION WILL NOT BE ACCEPTED AND ARE SUBJECT TO REMOVAL.

ABBREVIATIONS

AC --- ASPHALT CONCRETE
CF --- CURB FACE
CONC --- CONCRETE
D ---- DRAINAGE BASIN
EG -- EXISTING GRADE
EP --- EDGE OF PAVEMENT
EX --- EXISTING
FF --- FINISHED FLOOR
FG --- FINISHED GRADE
FL --- FLOW LINE
FS --- FINISHED SURFACE
GB --- GRADE BREAK
HP --- HIGH POINT
IE --- INVERT ELEVATION
LP --- LOW POINT
PE --- PAD ELEVATION
PA --- PLANTER AREA
S/W -- SIDEWALK
SD --- STORM DRAIN
SWR --- SEWER
TC --- TOP OF CURB
TG --- TOP OF GRATE
TYP --- TYPICAL
WV --- WATER VALVE
WM --- WATER METER

LEGEND

--- JOIN / MATCH EXISTING
--- PROPOSED GRADE BREAK
--- PROPOSED ASPHALT
--- PROPOSED GRIND AND OVERLAY
--- PROPOSED CONCRETE
--- PROPOSED LANDSCAPING
--- PROPOSED PAVERS
--- PROPOSED RATE OF GRADES
--- EXISTING CONTOURS
--- EXISTING RATE OF GRADES
--- EXISTING UTILITY BEYOND THIS POINT TO BE POTHOLED FOR OFFICIAL LOCATION.

PALM DESERT PAVING NOTES:

- ALL UNDERGROUND FACILITIES, INCLUDING LATERALS, SHALL BE IN PLACE, AND ALL TRENCHES COMPACTED AND TESTED PRIOR TO PAVING.
- ALL EXISTING OR NEW IMPROVEMENTS, INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY ENGINEER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, REPLACEMENT AND CAPPING.
- NEW OR EXISTING CURB AND GUTTER SHALL BE MARKED AT EVERY 10 FEET WITH A SCORE LINE AND EVERY 50 FEET WITH A CONSTRUCTION EXPANSION JOINT.
- NEW OR EXISTING CURB AND GUTTER SHALL BE JOINED, MATCHED, OR REPLACED IF DAMAGED, TO A SAWCUT LINE SUCH THAT A MINIMUM LENGTH OF 7 FEET OR CURB AND GUTTER REMAINS IN PLACE AT ALL LOCATIONS.
- A "TACK COAT" SHALL BE APPLIED BETWEEN PAVEMENT LAYERS, CONCRETE SURFACES AND ON EXISTING PAVEMENT TO BE RESURFACED AT THE RATE OF 0.10 GAL/YD. THE TACK COAT SHALL BE TYPE SS1 ASPHALTIC EMULSION WITH A 60-70 GRADE LIQUID ASPHALT.
- THE VISCOSITY OF PAVING ASPHALT SHALL BE PERFORMANCE GRADE OR AS DETERMINED BY THE CITY ENGINEER AT THE TIME OF PAVING.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL EARTHWORK GRADING.
- MANHOLES AND VALVE BOX FRAMES SHALL BE ADJUSTED TO FINISHED GRADES AFTER COMPLETION OF CONSTRUCTION TO THE STANDARDS OF THE FACILITY OWNER.
- ALL EXISTING PAVEMENT WITHIN AND ADJOINING THIS PROJECT SHALL BE EITHER REMOVED OR STRUCTURALLY TESTED TO VERIFY THAT THE STRUCTURAL CAPABILITIES ARE ACCEPTABLE. ALL RESULTS SHALL BE APPROVED BY THE CITY ENGINEER.
- THE CURB SHALL BE "ETCHED" SHOWING LATERAL LOCATIONS: "S" FOR SEWER, "G" FOR GAS, "E" FOR ELECTRICAL, "W" FOR WATER.
- ALL PERMANENT ROADWAY TRAFFIC STRIPING, LEGENDS AND PAVEMENT MARKERS SHALL BE INSTALLED AFTER PERMANENT PAVING. THE TYPE AND LOCATIONS SHALL BE INSTALLED PER PLAN OR AS DIRECTED BY THE CITY ENGINEER.
- TEMPORARY ROADWAY STRIPING SHALL BE INSTALLED ON ALL UNFINISHED ROADWAY SURFACES AS DIRECTED BY THE CITY ENGINEER.

GERALD FORD DRIVE

EXISTING BUILDING

SHEET 02-05

EXISTING BUILDING

SHEET 02-05

INDEX SHEET MAP

SCALE: 1"=30'

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET AND NOTES
2	DEMOLITION PLAN AND QUANTITIES
3	PRECISE GRADING PLAN AND QUANTITIES
4	PRIVATE UTILITY PLAN AND QUANTITIES
5	PRIVATE STORM DRAIN PLAN AND QUANTITIES
6	SECTIONS AND DETAILS
7	GREASE INTERCEPTOR DETAILS

SEE SHEET 03, 04 AND 05 -
FOR ALL CONSTRUCTION NOTES & QUANTITY ESTIMATES.

EARTHWORK QUANTITIES

CUT (RAW): 0 C.Y.
FILL (RAW): 16 C.Y.
IMPORT (RAW): 16 C.Y.

NOTE:
THE QUANTITIES SHOWN HEREON ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING EARTHWORK QUANTITIES.

OWNER

AAAFMAA
CONTACT: CHARLES BETANCOURT
4795 MEADOW WOOD LANE
CHANTILLY, VA 20151
(703) 707-4650
CBETANCOURT@AAAFMAA.COM

ARCHITECT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE., SUITE 200
PALM DESERT, CA. 92260
(760) 779-5393

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
75410 GERALD FORD DR., SUITE 100
PALM DESERT, CA 92211
(760) 346-7481

SOILS ENGINEER

SLADDEN ENGINEERING
45090 GOLF CENTER PARKWAY
INDIO, CA 92201
(760) 863-0713

DISTURBED AREA

9,167 SF = 0.21 ACRES

APN

694-190-049 AND 694-190-050

FEMA FLOOD DATA:

FLOOD ZONE: X
PANEL: 060650C1615G, EFF. 8/28/2008
ZONE DEFINITION: AREA OF MINIMAL FLOOD HAZARD

TOPOGRAPHY:

TOPOGRAPHY PERFORMED BY:

MICHAEL BAKER INTERNATIONAL
75410 GERALD FORD DR., SUITE 100
PALM DESERT, CA 92211
(760) 346-7481

TOPOGRAPHY DATE: 06/26/2015

SOILS ENGINEER CERTIFICATE:

THE UNDERSIGNED SOILS ENGINEER CERTIFIES THAT: THEY HAVE RECEIVED THIS GRADING PLAN AND FOUND IT TO BE IN SUBSTANTIAL COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THEIR SOILS REPORT FOR PARCEL MAP 31515, DATED MAR. 10, 2005, THAT THEY SHALL PROVIDE SOILS ENGINEER SERVICES DURING CONSTRUCTION OF THE EXCAVATION AND FOUNDATION PHASES OF THE WORK, TO OBSERVE COMPLIANCE WITH DESIGN CONCEPTS, SPECIFICATIONS, AND RECOMMENDATIONS; AND TO ALLOW DESIGN CHANGES IN THE EVENT THAT SUBSURFACE CONDITIONS DIFFER FROM THAT ANTICIPATED PRIOR TO THE START OF CONSTRUCTION. THE SOILS ENGINEER'S WORK DOES NOT INCLUDE SUPERVISION OR DIRECTION OF THE ACTUAL WORK OF THE CONTRACTOR, THEIR EMPLOYEES, OR AGENTS. THE CONTRACTOR FOR THIS PROJECT SHOULD BE INFORMED THAT NEITHER THE PRESENCE OF THE SOILS ENGINEER'S REPRESENTATIVE NOR THE OBSERVATION AND TESTING BY THE SOILS ENGINEER SHALL EXCUSE THEM IN ANY WAY FOR THE DEFECTS IN THEIR WORK.

SOILS ENGINEER
R.C.E. NO. C45389

DATE:

BRETT L. ANDERSON
SLADDEN ENGINEERING
39725 GARAND LANE, SUITE G
PALM DESERT, CA 92211
(760) 772-3893

DATE:

CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY:

DATE

REVIEWED AND RECOMMENDED BY:

DATE

ANY MODIFICATION OF THIS PLAN
MUST BE APPROVED BY THE CITY
PRIOR TO CONSTRUCTION.

CITY PERMIT #:

CITY ISSUE DATE:

FOR CITY USE ONLY

CITY OF PALM DESERT

UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
TITLE SHEET

LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 01
OF
SHEETS 07
CITY FILE NUMBER



BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" GRID BRASS DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN,
WILLIAM FROST AND ASSOCIATES, JUNE 1995, NORTH END OF CONC.
CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA
DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB.
ELEVATION = NGVD29
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL
1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK
204, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE
COUNTY, STATE OF CALIFORNIA, BEING: NORTH 86°47'32" WEST.

ENGINEER	MARK	BY	DATE

REVISIONS

CITY

APPR. DATE



Michael Baker
INTERNATIONAL

75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

DATE:

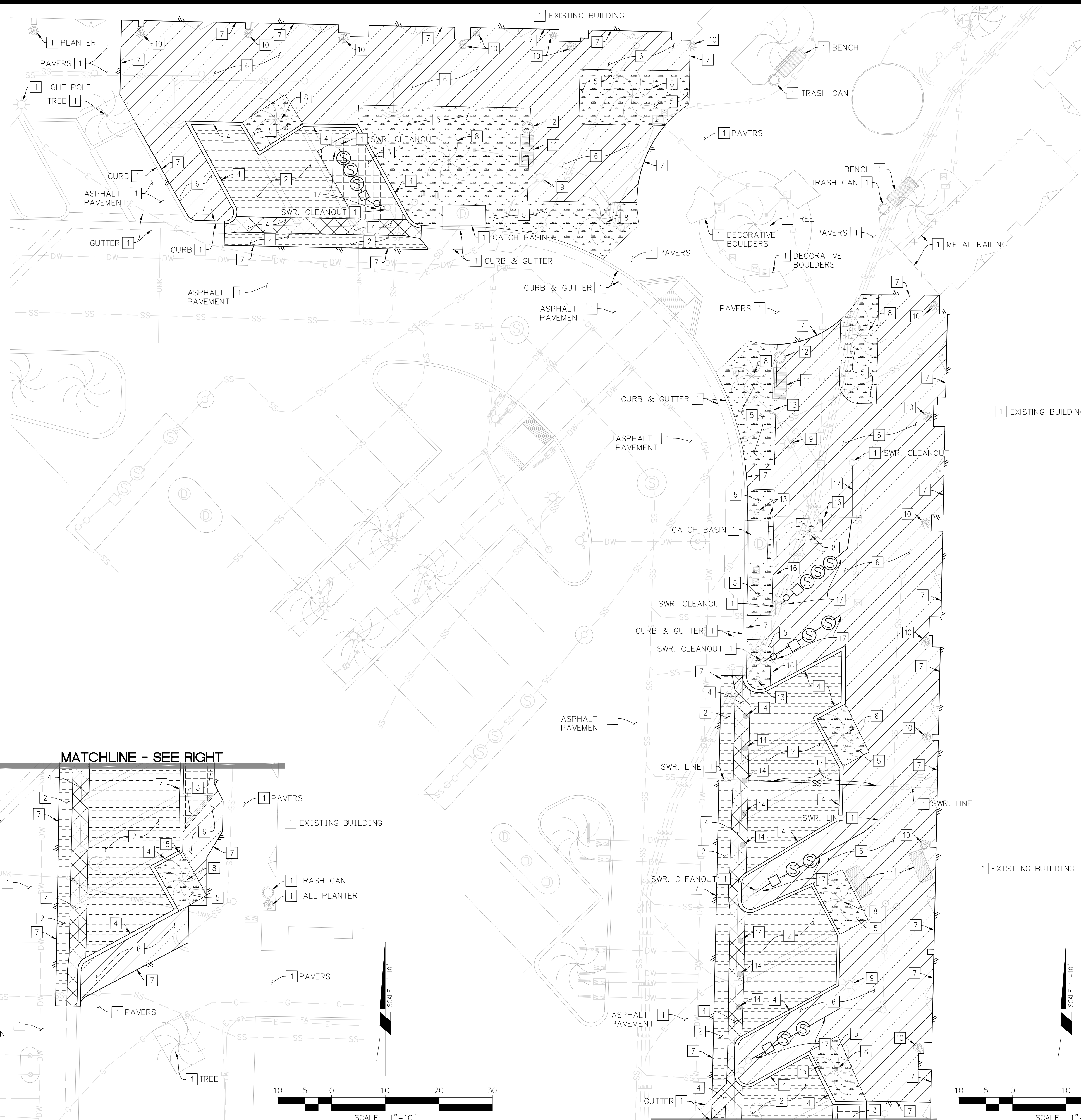


PLAN CHECKED BY:

CIVIL

TRAFFIC

LANDSCAPE



LEGEND

- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING LANDSCAPE
- REMOVE EXISTING PAVERS
- SAWCUT / LIMITS OF DEMOLITION

DEMOLITION NOTES

	UNIT	QTY
1 PROTECT IN PLACE AS NOTED	-	-
2 SAWCUT AND DISPOSE OF EXISTING ASPHALT PAVEMENT	SF	2,250
3 REMOVE AND DISPOSE OF EXISTING CONCRETE FLATWORK AND SIDEWALK	SF	210
4 REMOVE AND DISPOSE OF EXISTING CURB AND/OR GUTTER	SF	621
5 REMOVE AND DISPOSE OF EXISTING LANDSCAPE, INCLUDING PLANTS, DECORATIVE BOULDERS.	SF	1,840
6 REMOVE AND DISPOSE OF EXISTING PAVERS.	SF	5,830
7 SAWCUT / LIMITS OF DEMOLITION. PROTECT ADJACENT ASPHALT, CONCRETE, AND/OR PAVERS.	LF	660
8 REMOVE AND DISPOSE OF EXISTING TREES AND UP-LIGHTING (IF APPLICABLE).	EA	10
9 REMOVE EXISTING LIGHT POLE. DELIVER UNDAMAGED TO OWNER.	EA	3
10 REMOVE EXISTING TALL PLANTER. DELIVER UNDAMAGED TO OWNER.	EA	15
11 REMOVE EXISTING METAL BENCH. DELIVER UNDAMAGED TO OWNER.	EA	4
12 REMOVE EXISTING METAL TRASH CAN. DELIVER UNDAMAGED TO OWNER.	EA	2
13 REMOVE EXISTING TEMPORARY SHADE STRUCTURE, ASSOCIATED CANOPY, AND STRING LIGHTING. DELIVER UNDAMAGED TO OWNER.	LS	1
14 REMOVE EXISTING YELLOW TRAFFIC BOLLARDS. DELIVER UNDAMAGED TO OWNER.	EA	8
15 REMOVE EXISTING SIGNAGE. DELIVER UNDAMAGED TO OWNER.	EA	2
16 REMOVE EXISTING METAL RAILING. DELIVER UNDAMAGED TO OWNER.	LF	24
17 REMOVE AND DISPOSE OF EXISTING GREASE INTERCEPTORS AND SEWER LINES PER PLAN. SEE SHEET 04 FOR PROPOSED UTILITY PLAN DETAILS.	EA	6

NOTE: QUANTITIES ARE ESTIMATES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING THEIR OWN ESTIMATE FOR BID PURPOSES

EXISTING UTILITY REQUIREMENT:

THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER'S REPRESENTATIVE, MR. MARIO MORENO, PHONE: (760) 902-1138 TO LOCATE AND POTHOLE ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO DEMOLITION, NEW UTILITY CONSTRUCTION, AND BUILDING FOUNDATION TRENCHING WORK.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

MATCHLINE - SEE RIGHT

MATCHLINE - SEE LEFT

BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" CPD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB. ELEVATION = NGVD29
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL 1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK 224, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING: NORTH 86°47'32" WEST.

ENGINEER			REVISIONS			CITY	
MARK	BY	DATE				APPR.	DATE



Michael Baker INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760) 346-7481 MBAKERINTL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025
DATE: _____

CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS APPROVED BY: _____ DATE: _____		PLAN CHECKED BY: CIVIL _____ TRAFFIC _____ LANDSCAPE _____	
REVIEWED AND RECOMMENDED BY: _____ DATE: _____			

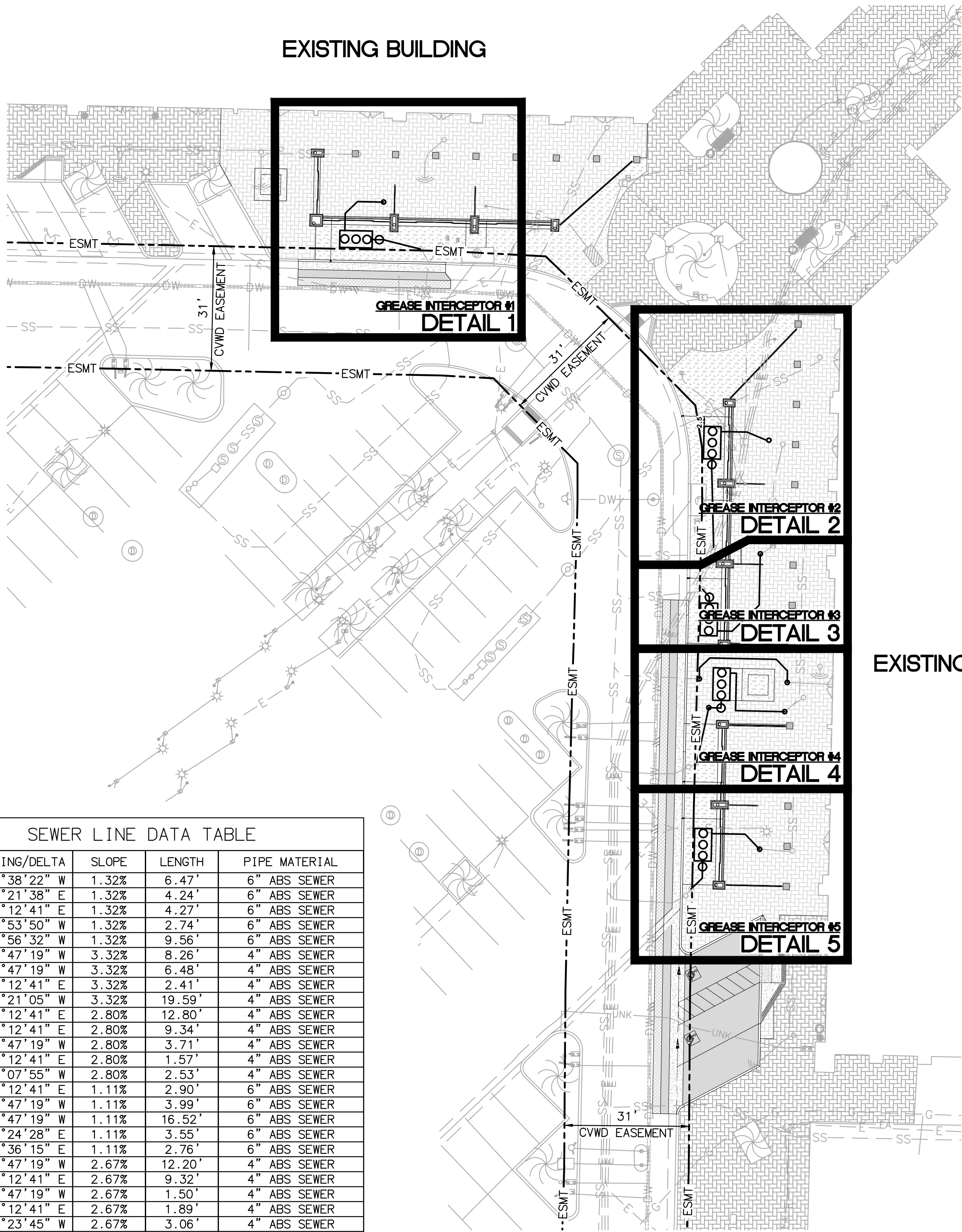


CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
DEMOLITION PLAN AND QUANTITIES
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 02
OF
SHEETS 07
CITY FILE NUMBER



EXISTING BUILDING



SEWER LINE DATA TABLE				
NO	BEARING/DELTA	SLOPE	LENGTH	PIPE MATERIAL
1	N 88°38'22" W	1.32%	6.47'	6" ABS SEWER
2	N 46°21'38" E	1.32%	4.24'	6" ABS SEWER
3	N 01°12'41" E	1.32%	4.27'	6" ABS SEWER
4	N 88°53'50" W	1.32%	2.74'	6" ABS SEWER
5	N 75°56'32" W	1.32%	9.56'	6" ABS SEWER
6	N 43°47'19" W	3.32%	8.26'	4" ABS SEWER
7	N 88°47'19" W	3.32%	6.48'	4" ABS SEWER
8	N 01°12'41" E	3.32%	2.41'	4" ABS SEWER
9	N 01°21'05" W	3.32%	19.59'	4" ABS SEWER
10	N 01°12'41" E	2.80%	12.80'	4" ABS SEWER
11	N 46°12'41" E	2.80%	9.34'	4" ABS SEWER
12	N 88°47'19" W	2.80%	3.71'	4" ABS SEWER
13	N 01°12'41" E	2.80%	1.57'	4" ABS SEWER
14	N 42°07'55" W	2.80%	2.53'	4" ABS SEWER
15	N 01°12'41" E	1.11%	2.90'	6" ABS SEWER
16	N 43°47'19" W	1.11%	3.99'	6" ABS SEWER
17	N 88°47'19" W	1.11%	16.52'	6" ABS SEWER
18	N 46°24'28" E	1.11%	3.55'	6" ABS SEWER
19	N 01°36'15" E	1.11%	2.76'	6" ABS SEWER
20	N 88°47'19" W	2.67%	12.20'	4" ABS SEWER
21	N 01°12'41" E	2.67%	9.32'	4" ABS SEWER
22	N 88°47'19" W	2.67%	1.50'	4" ABS SEWER
23	N 01°12'41" E	2.67%	1.89'	4" ABS SEWER
24	N 88°23'45" W	2.67%	3.06'	4" ABS SEWER
25	N 12°16'40" E	2.67%	13.98'	4" ABS SEWER
26	N 43°47'19" W	6.32%	5.17'	4" ABS SEWER
27	N 88°47'19" W	6.32%	8.33'	4" ABS SEWER
28	N 01°12'41" E	6.32%	4.28'	4" ABS SEWER
29	N 46°12'41" E	6.32%	3.89'	4" ABS SEWER

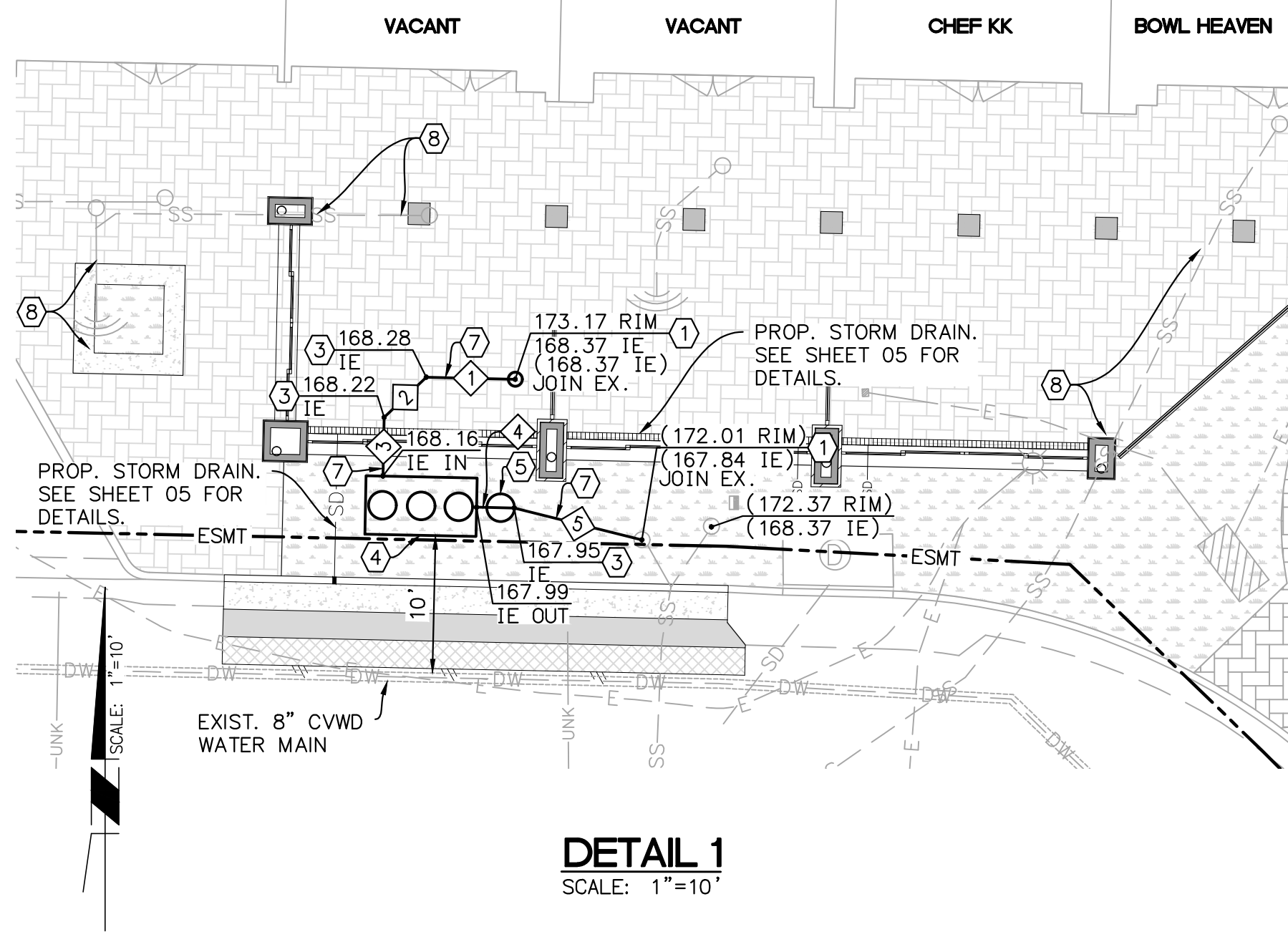
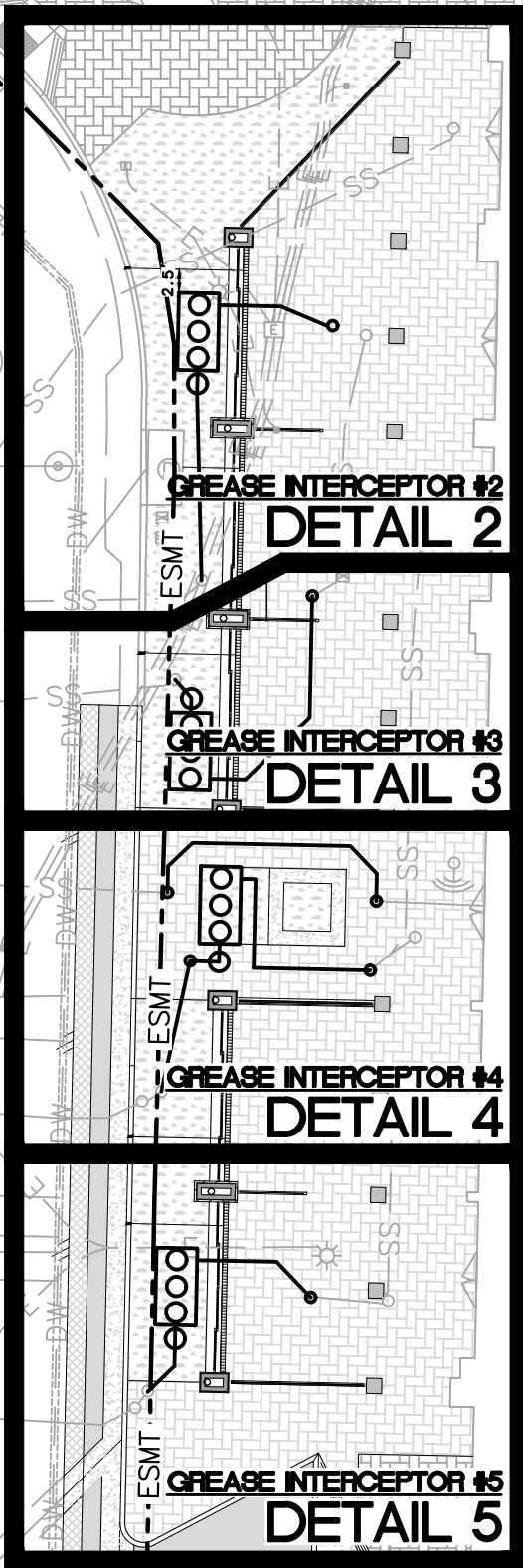
SHEET INDEX MAP
SCALE: 1"=20'

EXISTING UTILITY REQUIREMENT:

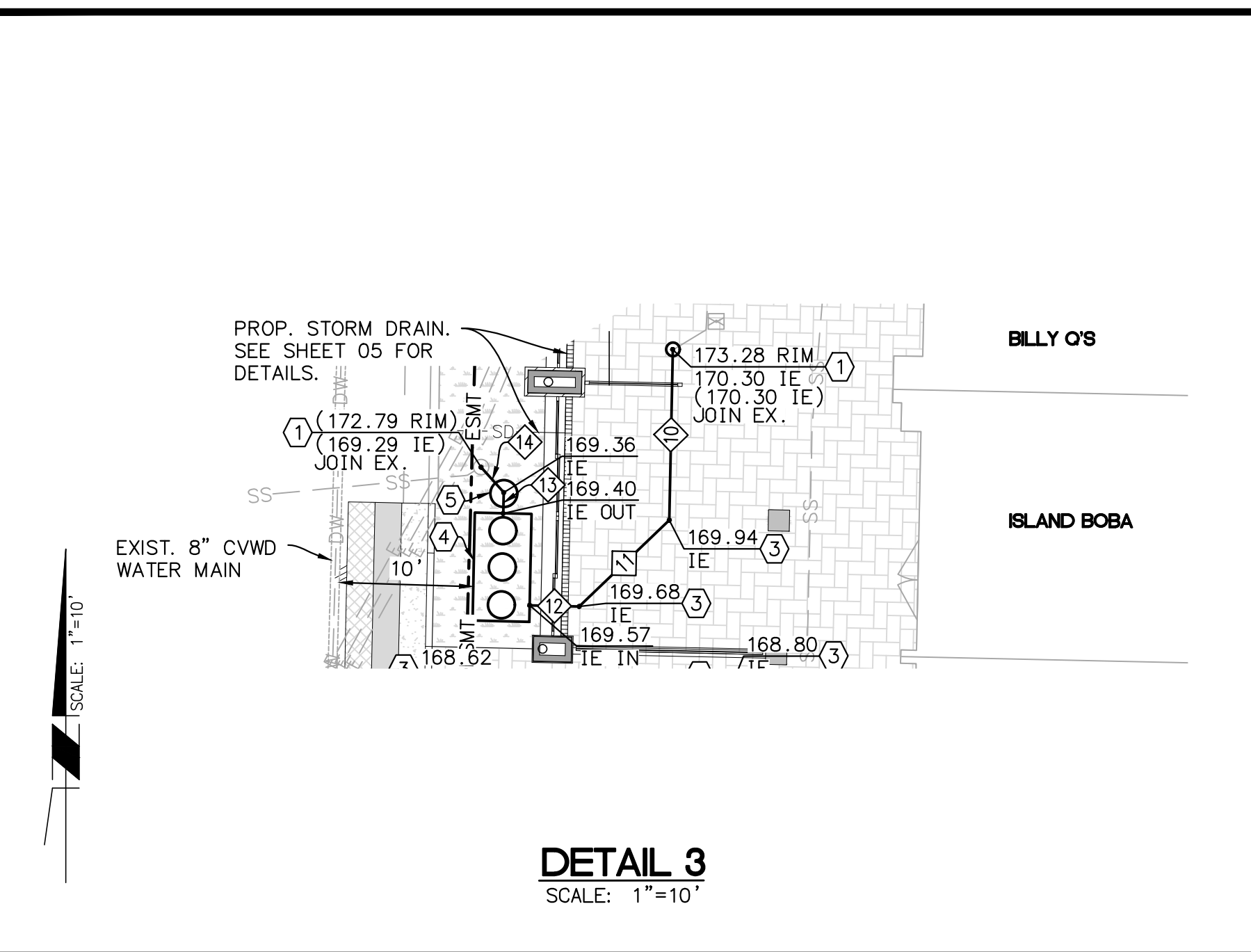
THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER'S REPRESENTATIVE, MR. MARIO MORENO, PHONE: (760) 902-1138 TO LOCATE AND POTHOLE ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO DEMOLITION, NEW UTILITY CONSTRUCTION, AND BUILDING FOUNDATION TRENCHING WORK.

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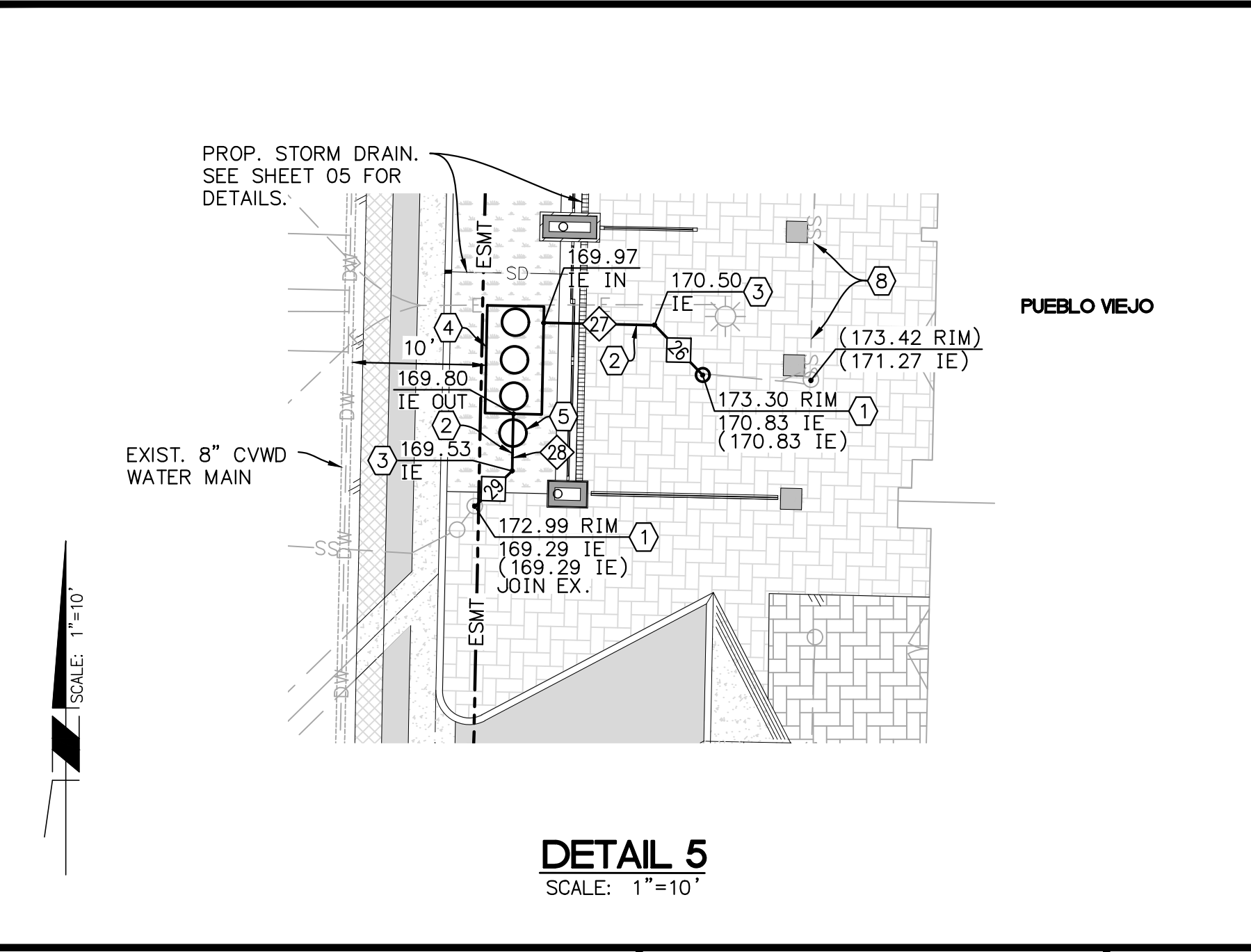
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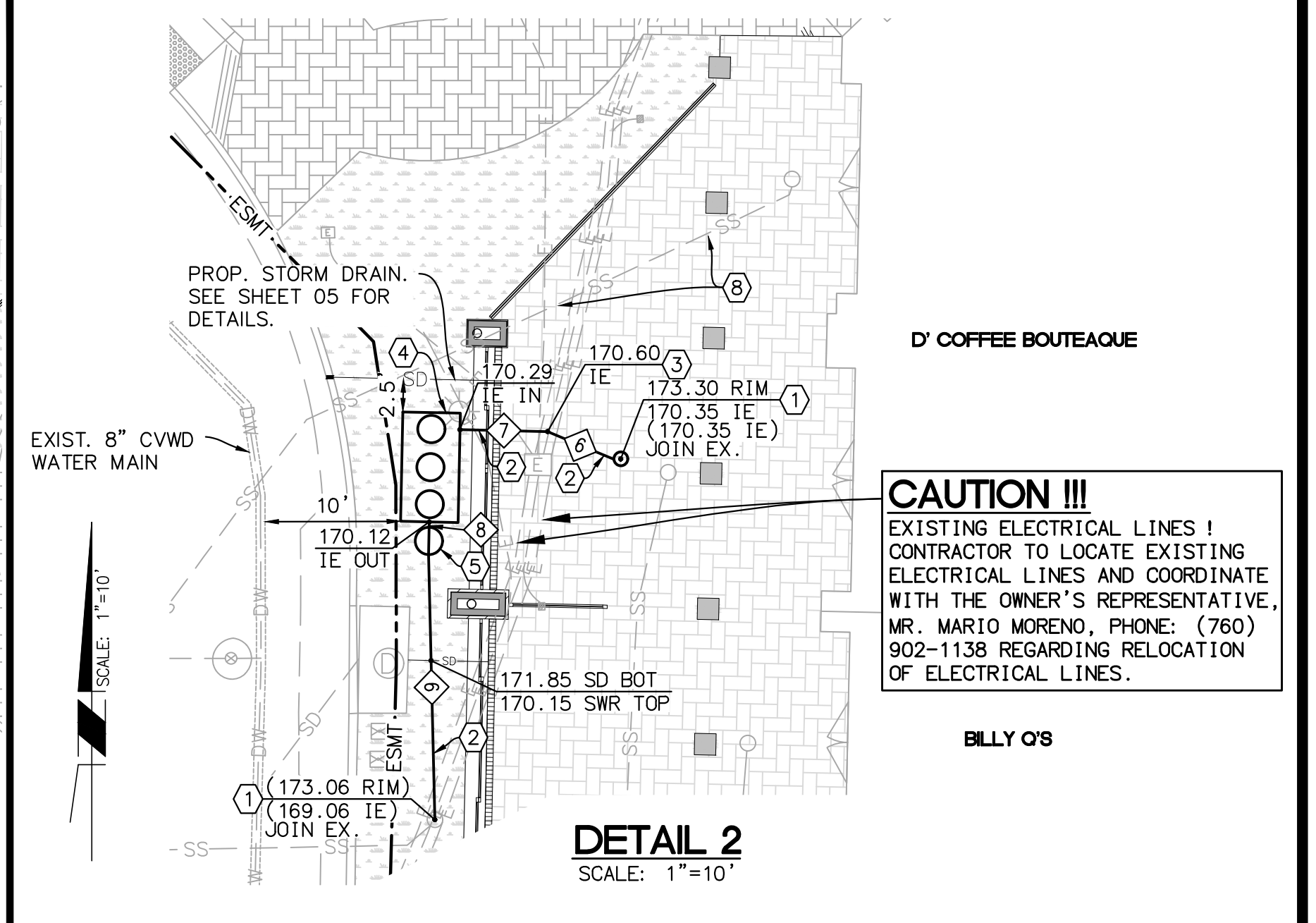
DETAIL 1
SCALE: 1"=10'



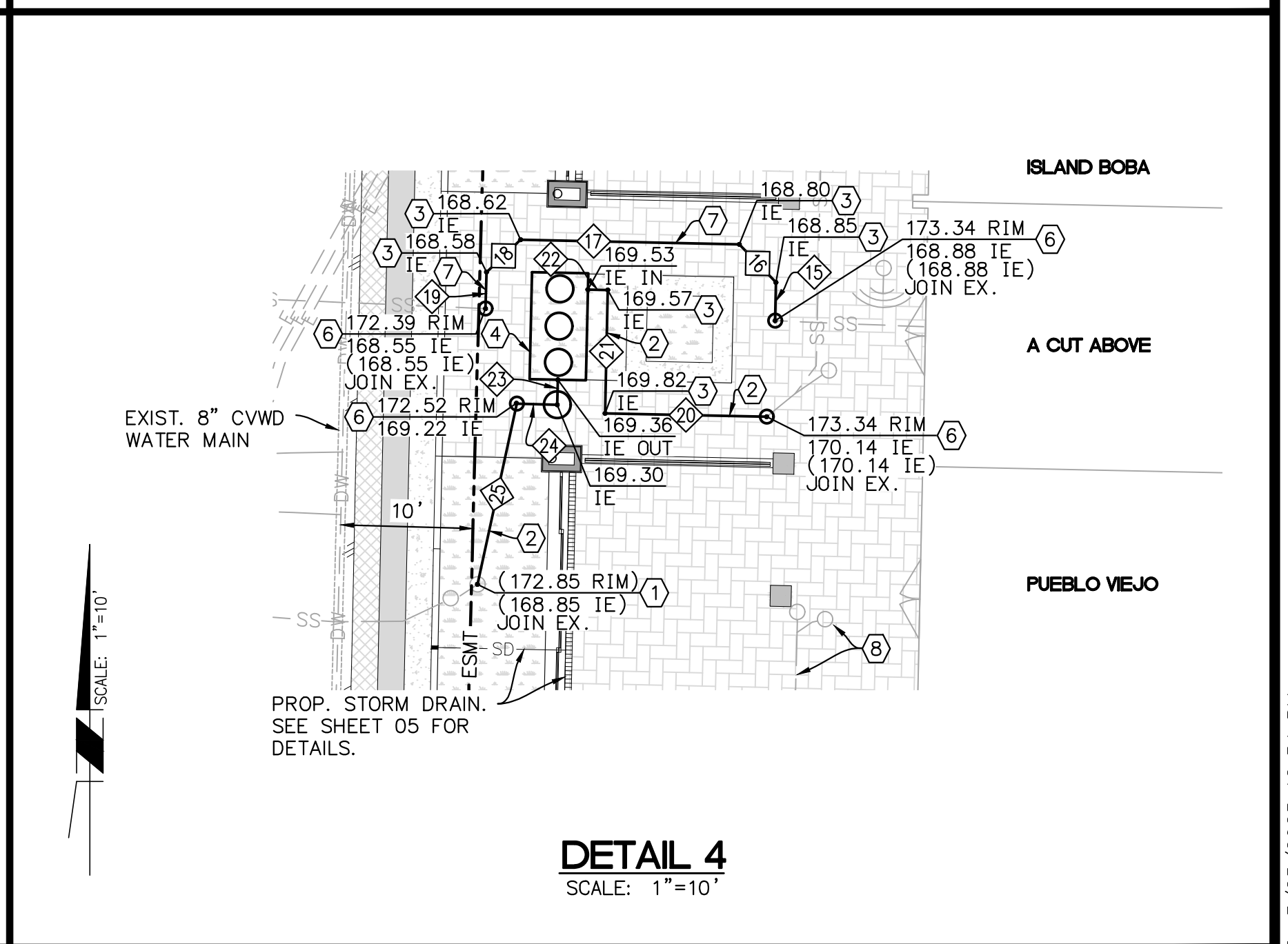
DETAIL 3
SCALE: 1"=10'



DETAIL 5
SCALE: 1"=10'



DETAIL 2
SCALE: 1"=10'



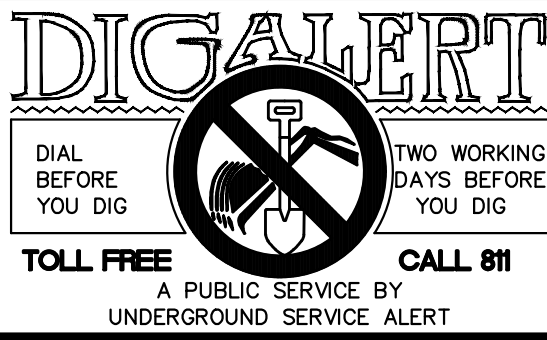
DETAIL 4
SCALE: 1"=10'

CONSTRUCTION NOTES

	UNIT	QTY
1) CONNECT TO EXISTING SEWER CLEAN-OUT. INVERT ELEVATION PER PLAN. ADJUST EXISTING RIM TO NEW PROPOSED FINISH GRADE.	EA	9
2) FURNISH AND INSTALL 4" ABS SEWER PIPE, LENGTH PER DATA TABLE HEREON. MINIMUM 2% PIPE SLOPE. INVERT ELEVATIONS PER PLAN. SEWER TRENCH PER CVWD STD. DWG. NO. S-7.	LF	131
3) FURNISH AND INSTALL 4" OR 6" ABS SEWER PIPE FITTINGS. INVERT ELEVATIONS PER PLAN.	EA	14
4) FURNISH AND INSTALL JENSEN PRECAST 750 GALLON, TRAFFIC RATED, 4" LAYOUT GRAVITY GREASE INTERCEPTOR. 24"E, 24"C, 24"E SINGLE BAFFLE. MODEL JP-750-ECE-G. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS. CONTRACTOR TO COORDINATE WITH, AND TO INSTALL UNDER DIRECT SUPERVISION OF CVWD.	EA	5
5) FURNISH AND INSTALL JENSEN PRECAST SAMPLE BOX WITH PIPE CONNECTORS. MODEL EV200. PROPOSED RIM COVER TO NEW PROPOSED FINISH GRADE. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS.	EA	5
6) FURNISH AND INSTALL 6" ABS SEWER CLEANOUT TO GRADE W/ COVER, CVWD STD. DWG. NO. S-6, MODIFIED MATERIAL.	EA	4
7) FURNISH AND INSTALL 6" ABS SEWER PIPE, LENGTH PER DATA TABLE HEREON. MINIMUM 1% PIPE SLOPE. INVERT ELEVATIONS PER PLAN. SEWER TRENCH PER CVWD STD. DWG. NO. S-7.	LF	57
8) CONTRACTOR TO VERIFY AND INSTALL IF NECESSARY SEWER LINE REROUTING PER STANDARD DETAIL ON SHEET 07. FURNISH AND INSTALL FOUR (4) 45° ABS WYES. MINIMUM 2% SLOPE, 4" REROUTE LINE. IF REROUTED PIPE IS LESS THAN 2%, USE 6" ABS SEWER PIPE AT MINIMUM 1% SLOPE WITH ECCENTRIC FLOW LINE CONNECTION FITTINGS TO EX. SEWER LINE.	LS	1

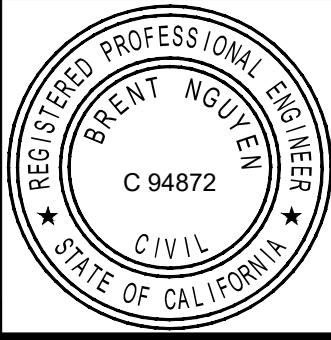
CONSTRUCTION PHASING REQUIREMENT:

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BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" OPD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., S.S. FT SOUTH OF SOUTHERLY ECR; 1.2 FT WEST OF CURB.
ELEVATION = NGVD29
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL 1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK 224, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING: NORTH 88°47'32" WEST.

ENGINEER			REVISIONS			CITY	
MARK	BY	DATE				APPR.	DATE



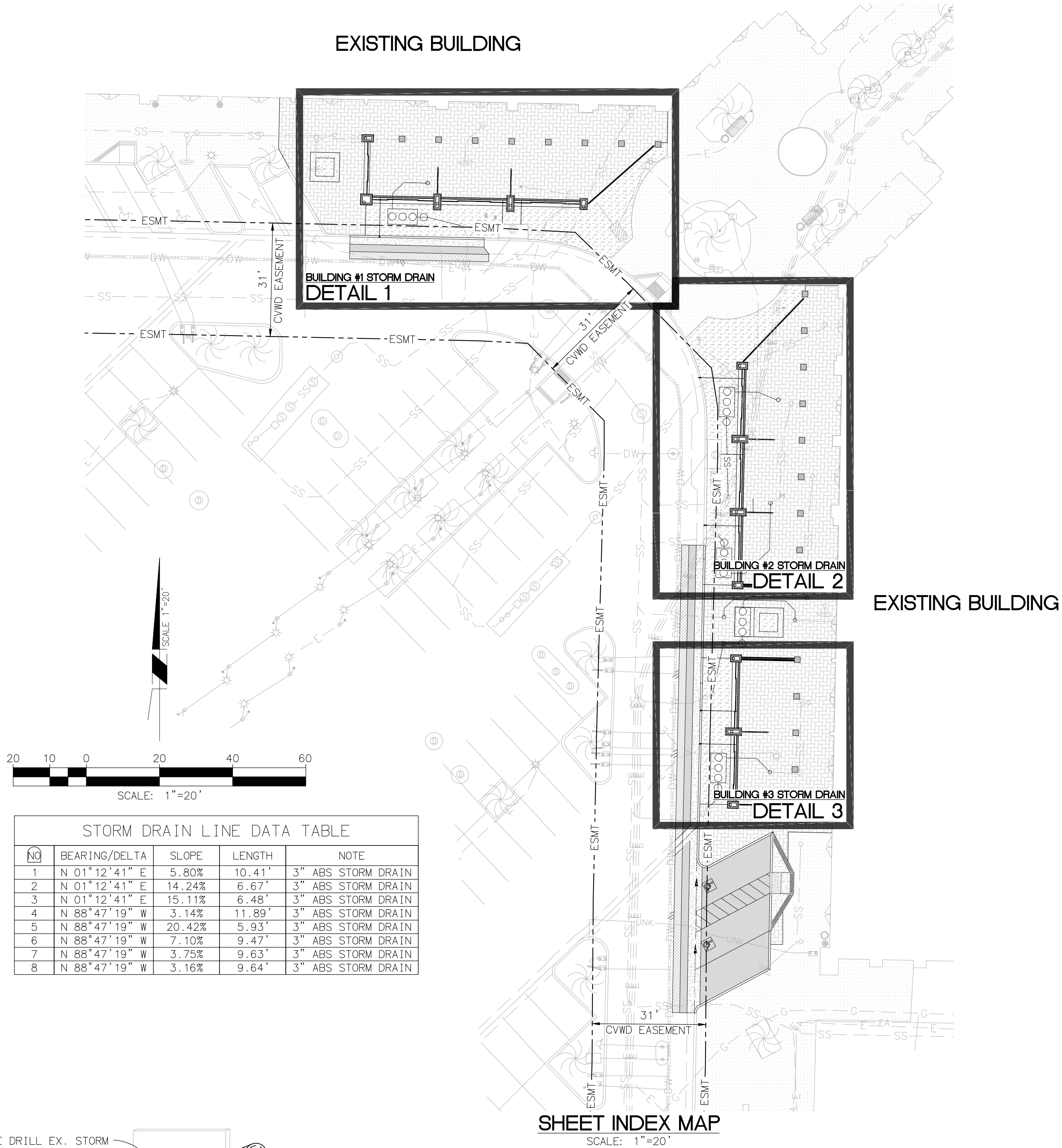
Michael Baker INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: _____ DATE: _____
REVIEWED AND RECOMMENDED BY: _____ DATE: _____



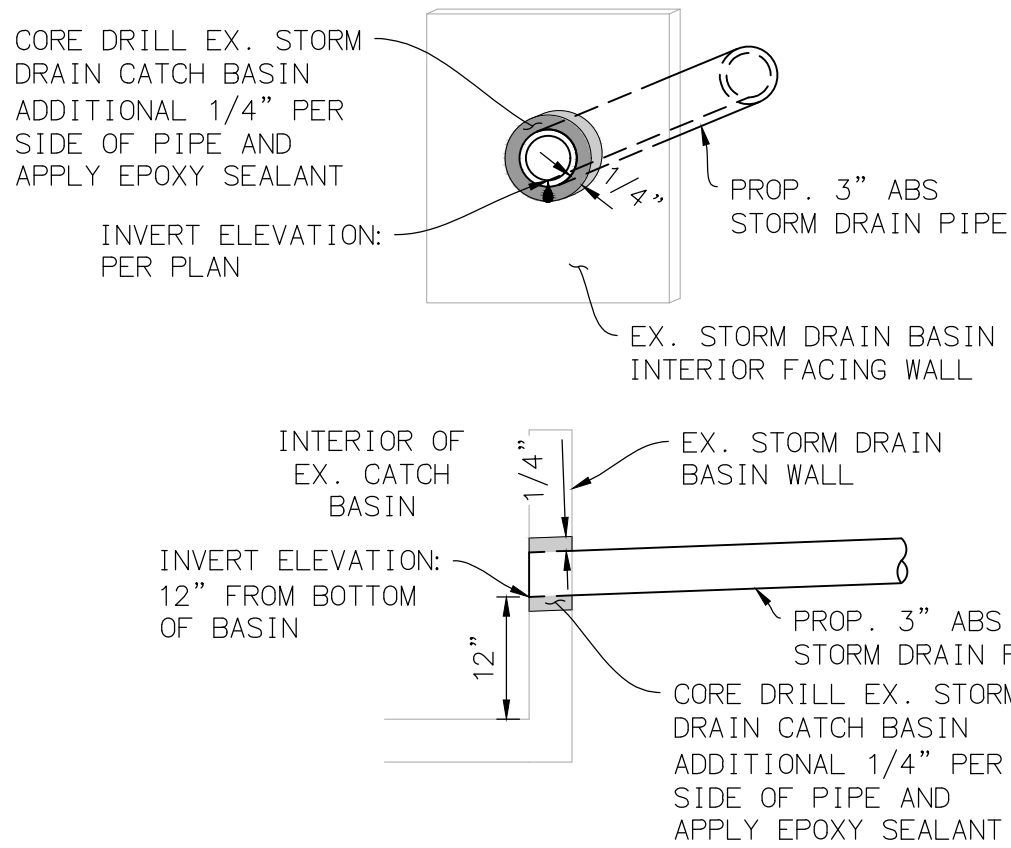
CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
PRIVATE UTILITY PLAN
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.
SHEET 04 OF SHEETS 07
CITY FILE NUMBER

EXISTING BUILDING



EXISTING BUILDING

STORM DRAIN LINE DATA TABLE					
NO	BEARING/DELTA	SLOPE	LENGTH	NOTE	
1	N 01°12'41" E	5.80%	10.41'	3" ABS STORM DRAIN	
2	N 01°12'41" E	14.24%	6.67'	3" ABS STORM DRAIN	
3	N 01°12'41" E	15.11%	6.48'	3" ABS STORM DRAIN	
4	N 88°47'19" W	3.14%	11.89'	3" ABS STORM DRAIN	
5	N 88°47'19" W	20.42%	5.93'	3" ABS STORM DRAIN	
6	N 88°47'19" W	7.10%	9.47'	3" ABS STORM DRAIN	
7	N 88°47'19" W	3.75%	9.63'	3" ABS STORM DRAIN	
8	N 88°47'19" W	3.16%	9.64'	3" ABS STORM DRAIN	



5 EX. STORM DRAIN CATCH BASIN CONNECTION

NOT TO SCALE

CONSTRUCTION NOTES

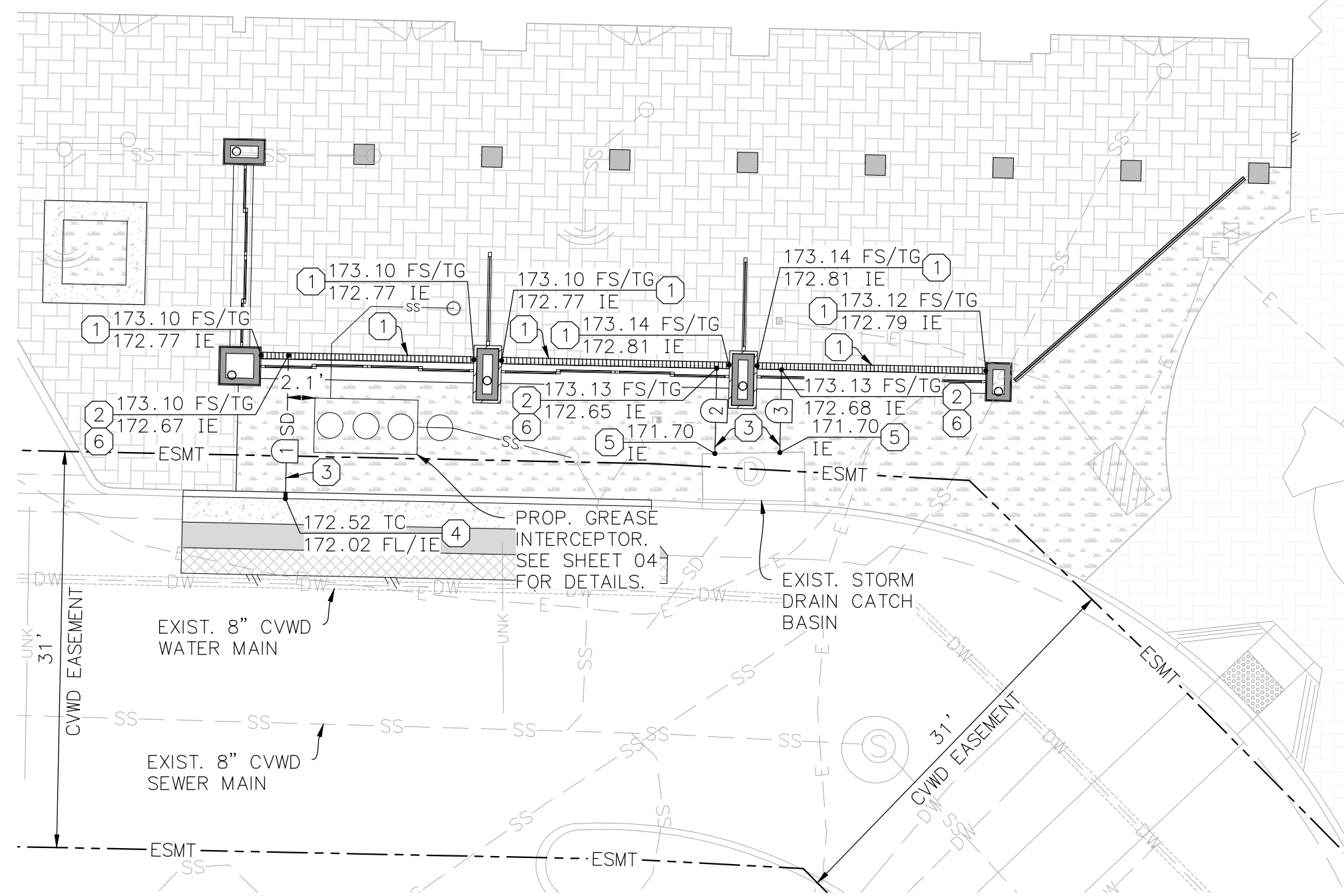
	UNIT	QTY
1 FURNISH AND INSTALL NDS DURASLOPE CHANNEL DRAIN. NO NEUTRALS. USE NDS DS-232 DUCTILE IRON CHANNEL DRAIN GRATE. TOP OF GRATE, FINISH SURFACE, AND INVERT ELEVATIONS PER PLAN.	LF	142
2 FURNISH AND INSTALL NDS DS-340 CHANNEL DRAIN IN-LINE CATCH BASIN. TOP OF GRATE, FINISH SURFACE, AND INVERT ELEVATIONS PER PLAN.	EA	8
3 FURNISH AND INSTALL 3" ABS STORM DRAIN PIPE AND FITTINGS. INVERT ELEVATIONS PER PLAN.	LF	71
4 CURB CORE EXISTING / PROPOSED CURB FOR STORM DRAIN PIPE OUTLET. INVERT ELEVATIONS PER PLAN.	EA	5
5 CONNECT TO EXISTING STORM DRAIN CATCH BASIN PER DETAIL HEREON. INVERT ELEVATIONS PER PLAN.	EA	3
6 FURNISH AND INSTALL PIPE SLEEVE FOR FOOTING CROSSING PER STRUCTURAL ENGINEER'S PLANS.	EA	8

EXISTING UTILITY REQUIREMENT:

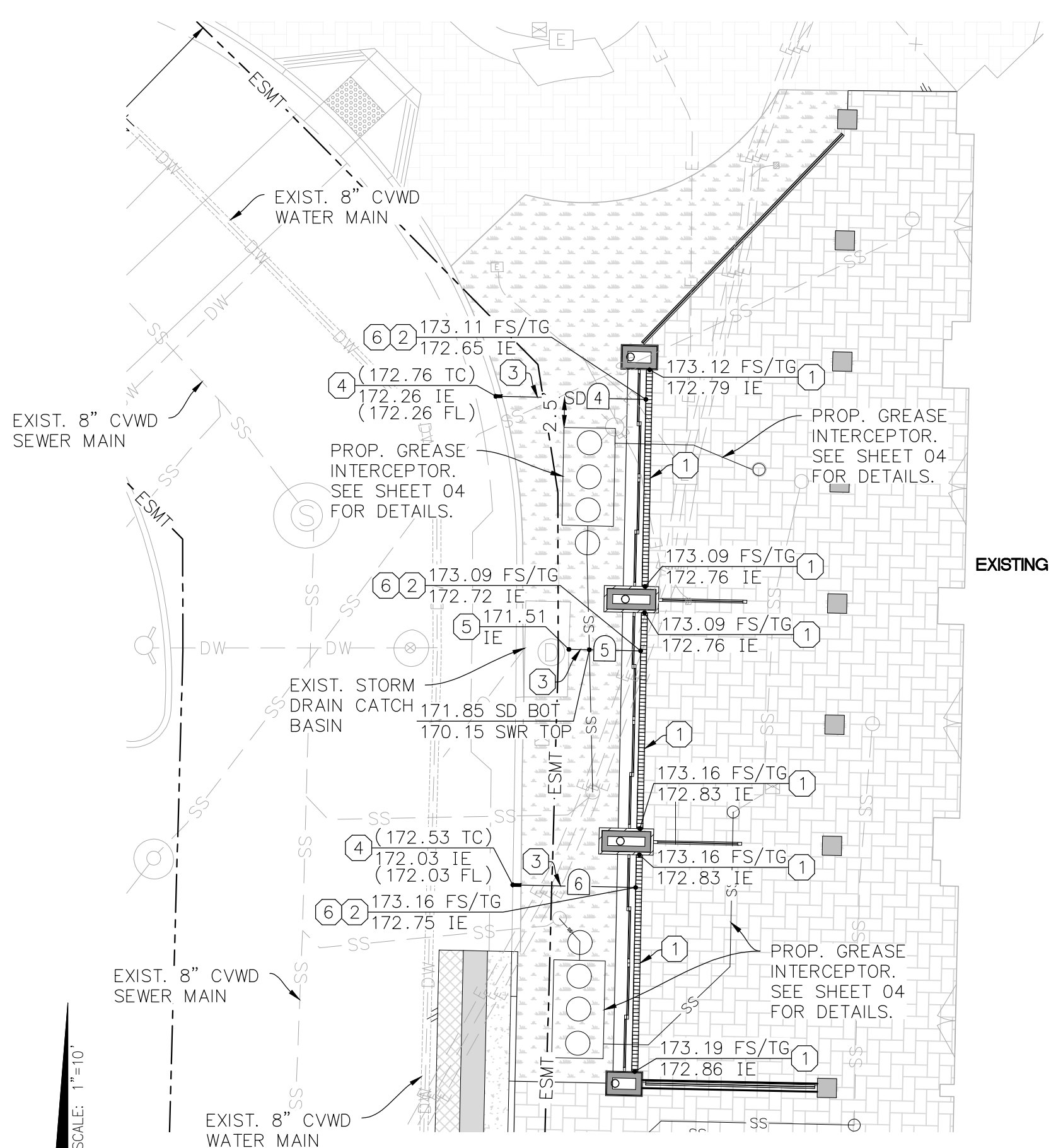
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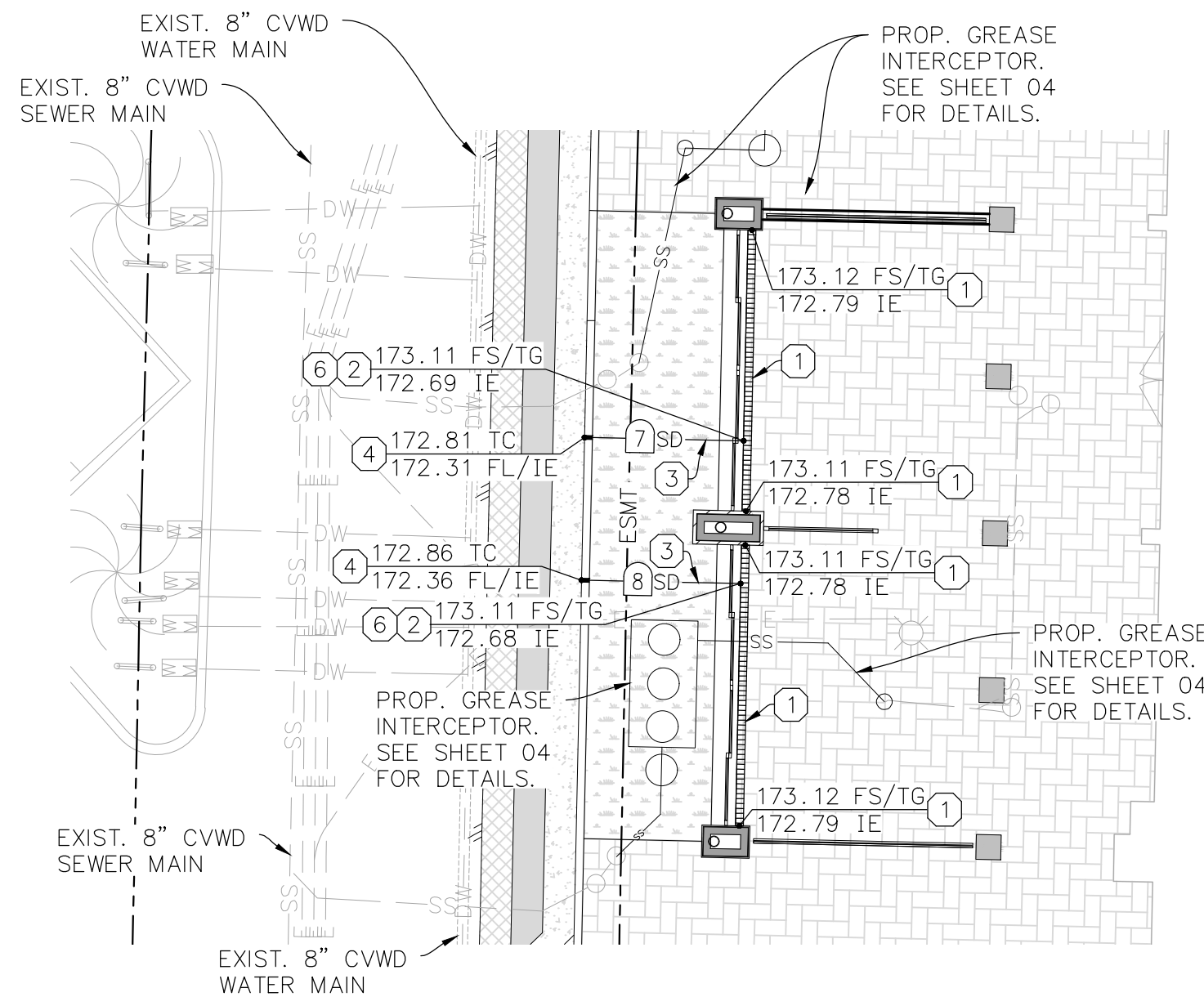
EXISTING BUILDING



EXISTING BUILDING



EXISTING BUILDING



EXISTING BUILDING



BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATE: NOV029
2" O.D. BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB. ELEVATION = NOV029
BASIS OF BEARINGS:
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ENGINEER			REVISIONS			CITY	
MARK	BY	DATE				APPR.	DATE



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PALM DESERT, CA 92211
PHONE: (760) 346-7481 MB@BKRINTL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

DATE: _____

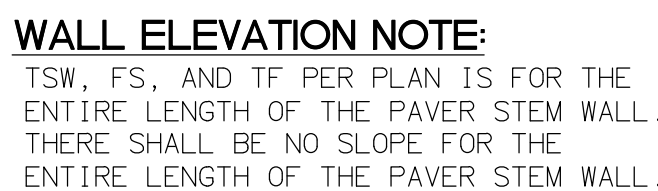
CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: _____
DATE: _____
REVIEWED AND RECOMMENDED BY: _____
DATE: _____

PLAN CHECKED BY: _____
CIVIL
TRAFFIC
LANDSCAPE



CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
PRIVATE STORM DRAIN PLAN
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET **05**
OF
SHEETS **07**
CITY FILE NUMBER

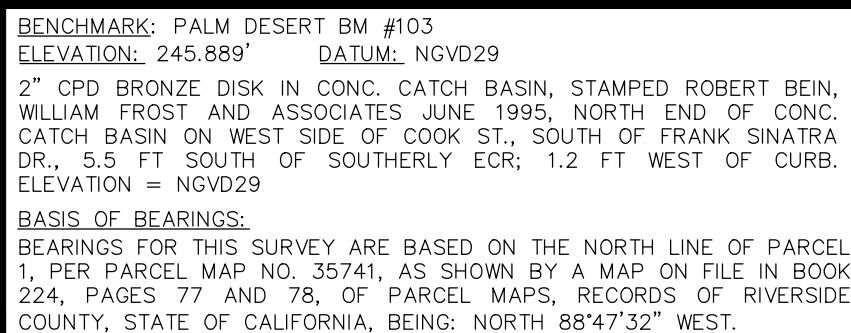
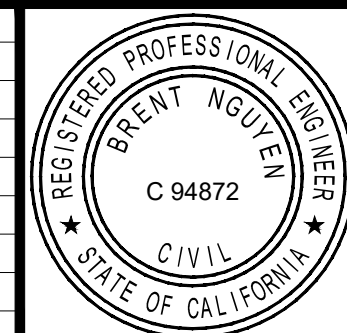


- | | |
|----|---|
| 1 | CONSTRUCT PEDESTRIAN CONCRETE PAVERS PER LANDSCAPE ARCHITECT PLANS. |
| 2 | LANDSCAPING PER LANDSCAPE ARCHITECT PLANS. |
| 3 | CONSTRUCT 4" A.C. PAVEMENT OVER 8.5" CLASS II AGGREGATE BASE PER GEOTECHNICAL REPORT. |
| 4 | PROPOSED GRIND AND OVERLAY. |
| 5 | JOIN / MATCH EXISTING SURFACES AND ELEVATIONS PER PLAN. |
| 6 | CONSTRUCT CURB AND GUTTER TYPE I PER CITY OF PALM DESERT STD. DRAWING NO. 102. |
| 11 | INSTALL ACCESSIBLE PARKING SPACE SIGNAGE AND MARKINGS PER DETAILS ON SHEET 06. |
| 12 | CONSTRUCT CURB - TYPE II PER CITY OF PALM DESERT STD. DRAWING NO. 103. |
| 14 | CONSTRUCT PAVER STEM WALL PER DETAIL ON SHEET 06. |
| 15 | INSTALL TRUNCATED DOMES PER DETAIL ON SHEET 06. |



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[illegible]

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PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

DATE: _____

REFNT NGUYEN RCF NO. 94R72 EXP. JUN. 30, 2025

CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS		PLAN CHECKED BY:
APPROVED BY:		
	DATE	CIVIL
		TRAFFIC
REVIEWED AND RECOMMENDED BY:	DATE	LANDSCAPE

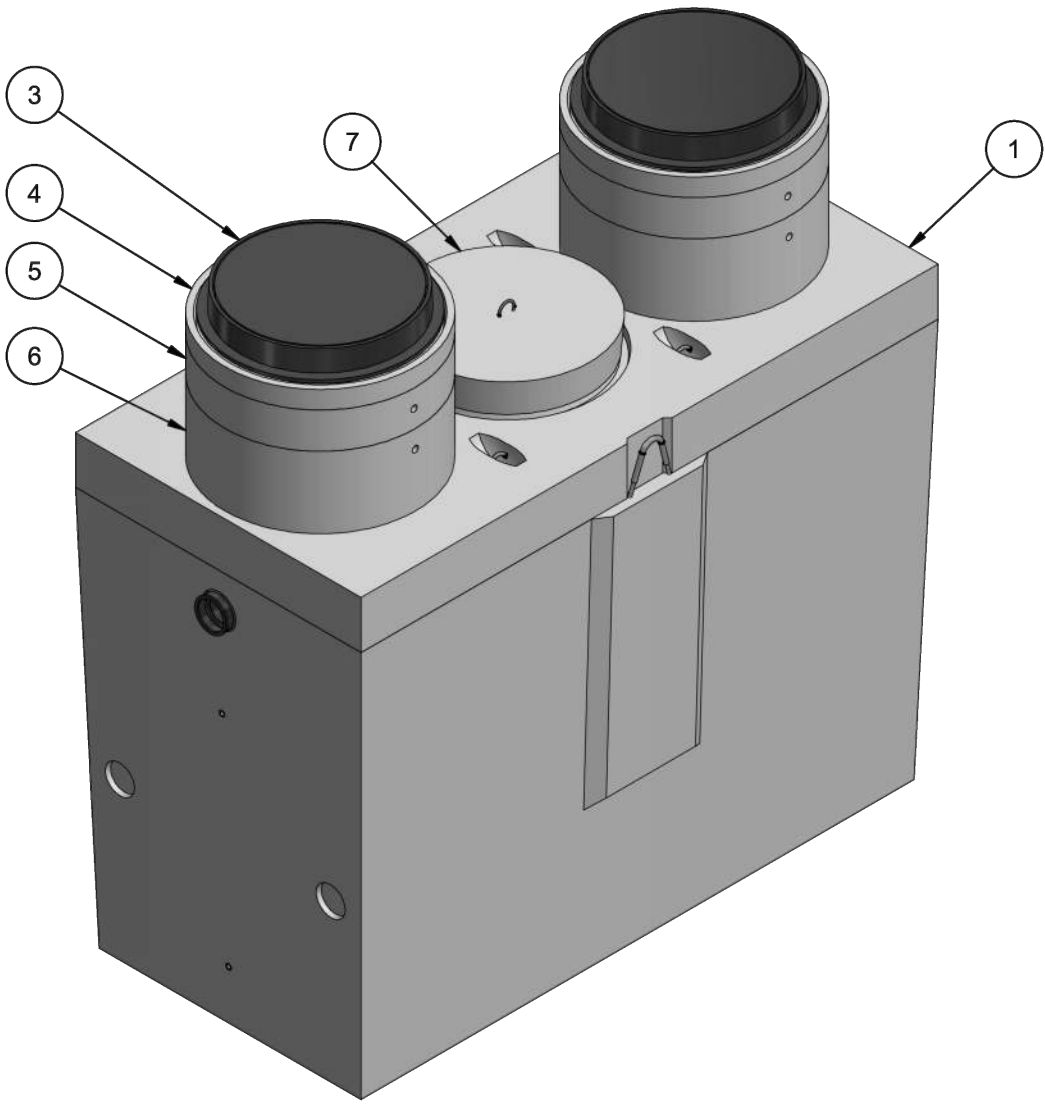


CITY OF PALM DESERT		SHEET	0
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS		OF	
SECTIONS AND DETAILS		SHEETS	0
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.		CITY FILE NUMBER	

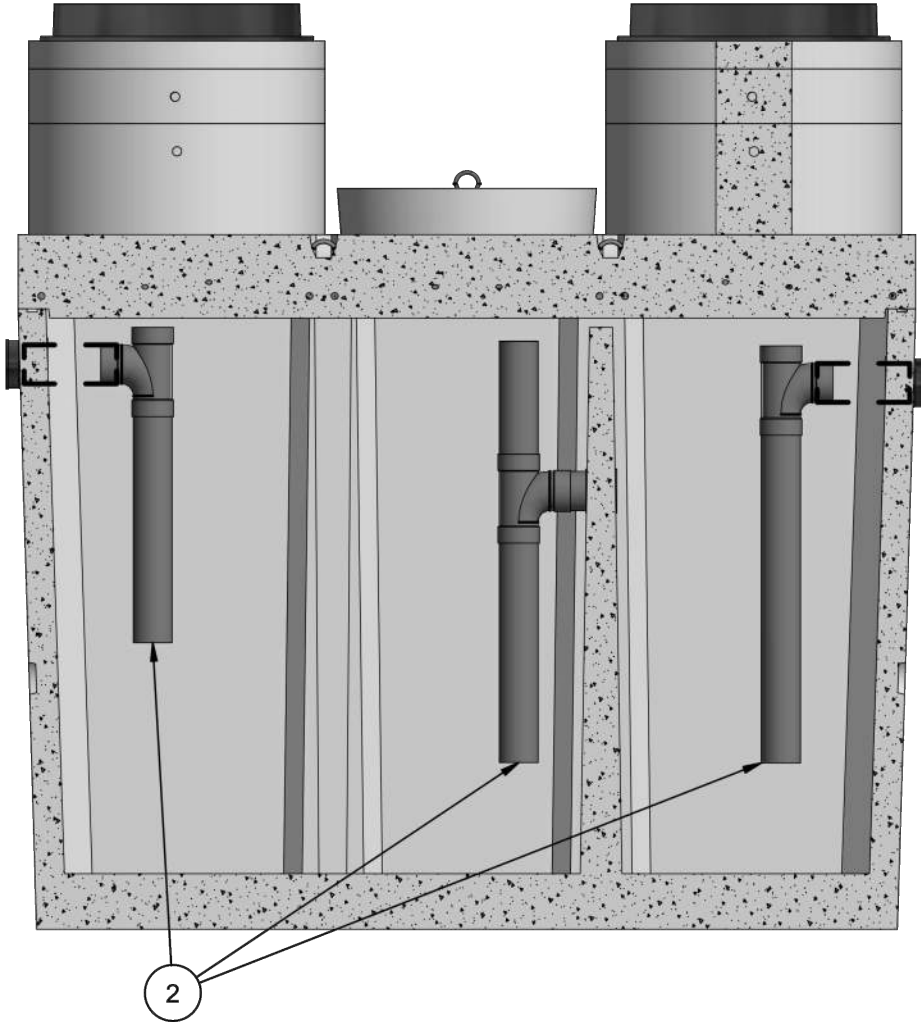
NOTES

- IN COMPLIANCE WITH UNIFORM PLUMBING CODE (UPC), INTERNATIONAL PLUMBING CODE (IPC), AND STRUCTURAL LOADING REQUIREMENTS OF ASTM INTERNATIONAL C1613.
- JENSEN PRECAST'S PRODUCT IS LISTED BY IAPMO R&T TO STANDARD Z1001.
- MODEL JP-750-ECE-G
- MINIMUM ONE (1) ACCESS OPENING PER COMPARTMENT REQUIRED (AS SHOWN). ADDITIONAL ACCESS CAN BE ADDED IN LIEU OF PLUG COVER WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- MUST BE INSTALLED PER "JENSEN PRECAST UNDERGROUND WASTEWATER PRECAST CONCRETE TANK INSTALLATION PROCEDURE" WHICH CAN BE FOUND AT <https://www.jensenprecast.com/Tank-Installation-Procedure-d2106.pdf>. THIS PROCEDURE ADDRESSES REQUIRED EXCAVATION, SITE PREPARATION, INSTALLATION, VENTILATION, AND WATER/VACUUM TESTING

BILL OF MATERIALS				
ITEM	QTY	PART NUMBER	DESCRIPTION	WEIGHT (LBS)
1	1	200018837	Tank JP 750 Gallon 4 Inch Assembly 24"E, 24"C, 24"E Single Baffle	10209
2	1	200048771	200030253 Plumbing - JP 750 4 Inch Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle	10
3	JOB SPECIFIC	100005850	CI RINGCOVER 24DIA B-5105-02/B-5105-R2 ASTM A48 CL35B CP O-RING GASKET OSI JENSEN/INTERCEPT	196
4	JOB SPECIFIC	100001524	Grade Ring D2432x3	87
5	JOB SPECIFIC	100001525	Grade Ring D2432x6	180
6	JOB SPECIFIC	100001526	Grade Ring D2432x12	365
7	JOB SPECIFIC	100012046	Plug Cover D2428x6 Slab Top	300



ISO LAYOUT



SECTION

MODEL:
JP-750-ECE-G

REVISION HISTORY			
REV	DESCRIPTION	DATE	BY
A	DRAWING CREATED	10/4/2019	J HILLMAN
B	TOP SLAB LIFTING AND PLUMBING UPDATED	2/4/2021	C Keller
C	PRODUCT WEIGHT UPDATE	4/29/2021	BGD
D	ACCESSORIES UPDATED	6/29/2022	E FINE

DESCRIPTION:
Tank JP 750 Gallon 4 Inch Layout Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle

LAYOUT REVIEW			
PART NUMBER:	200030253	DRAWN BY:	E. Fine
CREATED:	1/31/2019	MODIFIED:	6/29/2022

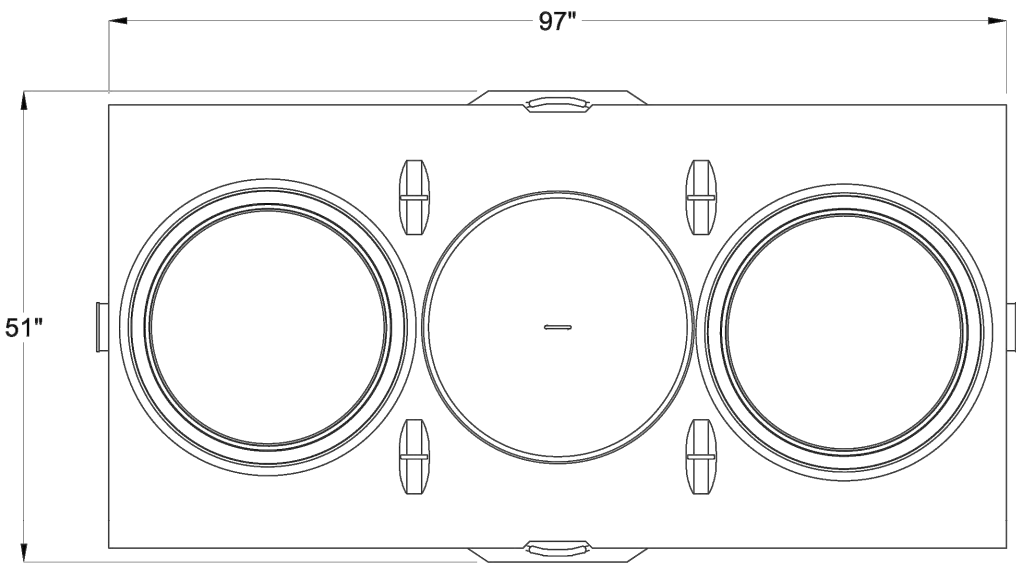
REV: D-2

SHEET: 1 OF 2

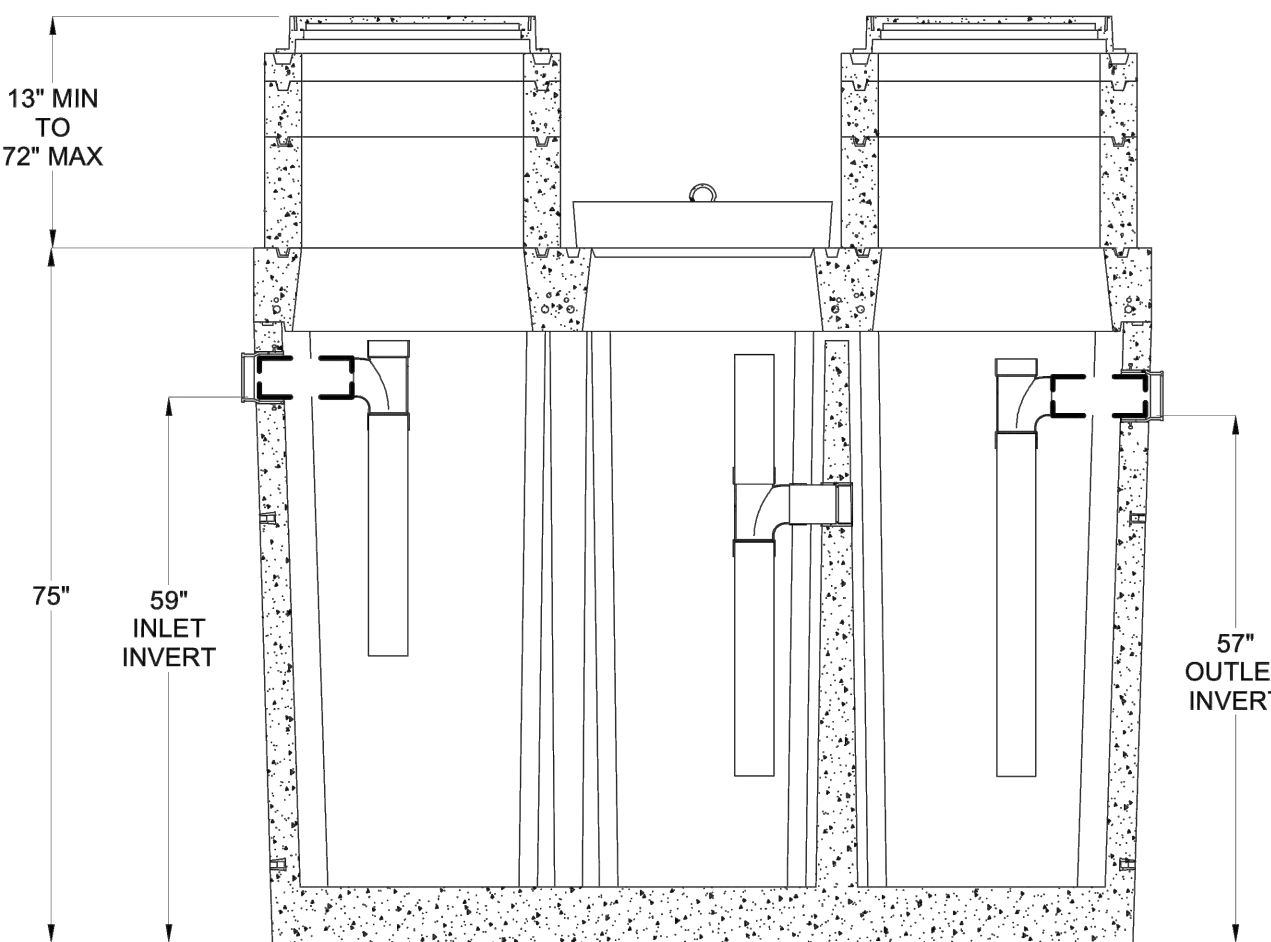
BURY DEPTH:		1.1' - 6.0' to Top	
WATER LEVEL:	Below Structure	WEIGHT:	12175.61 Lbs
DESIGN SPEC:	ASTM C890,ACI 318	LOADING SPEC:	A-16 (AASHTO HS20-44)
REINFORCEMENT TYPE:		LIFTING TYPE:	



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PLAN VIEW



CROSS SECTION

BURY DEPTH:		1.1' - 6.0' to Top	
WATER LEVEL:	Below Structure	WEIGHT:	12175.61 Lbs
DESIGN SPEC:	ASTM C890,ACI 318	LOADING SPEC:	A-16 (AASHTO HS20-44)
REINFORCEMENT TYPE:		LIFTING TYPE:	



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DESCRIPTION:
Tank JP 750 Gallon 4 Inch Layout Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle

LAYOUT DRAWING			
PART NUMBER:	200030253	DRAWN BY:	E. Fine
CREATED:	1/31/2019	MODIFIED:	6/29/2022

REV: D-2

SHEET: 2 OF 2



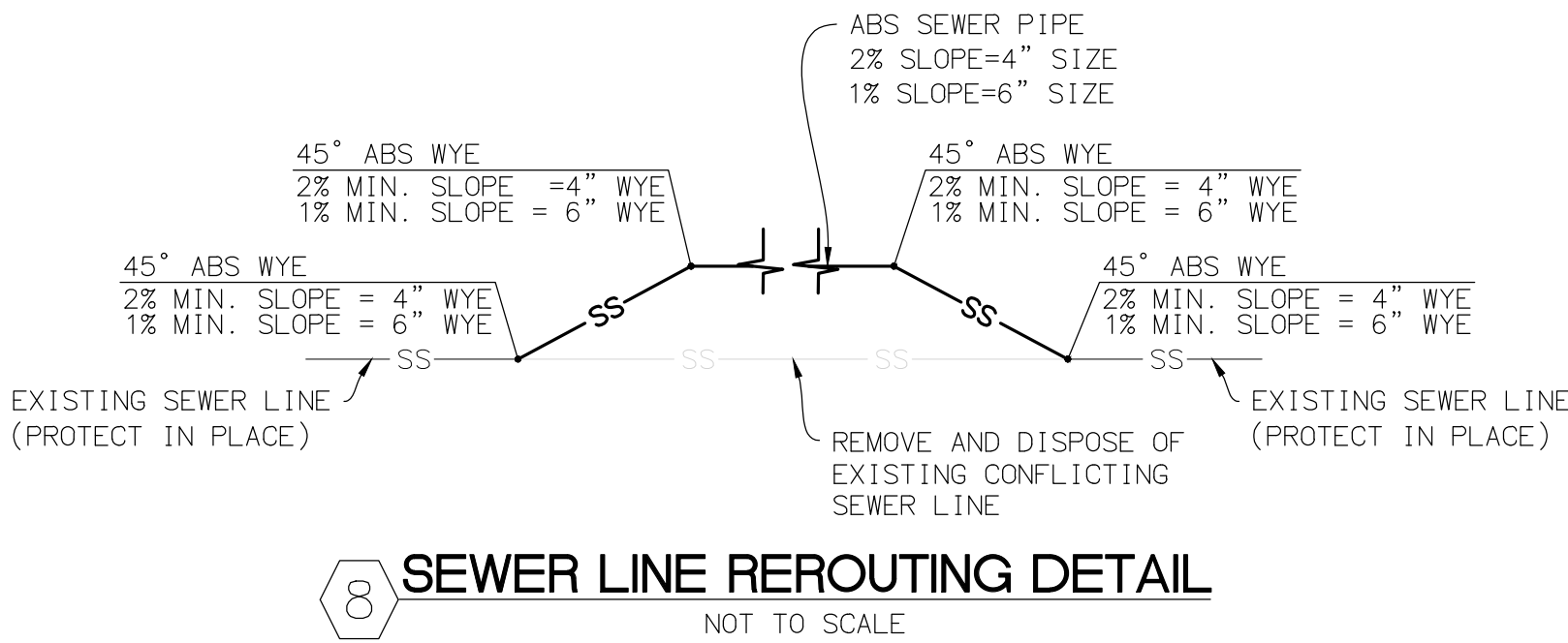
BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" CPD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES, JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., S.S. FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB, ELEVATION = NGVD29
BASIS OF BEARINGS:
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ENGINEER			REVISIONS			CITY		
MARK	BY	DATE				APPR.	DATE	



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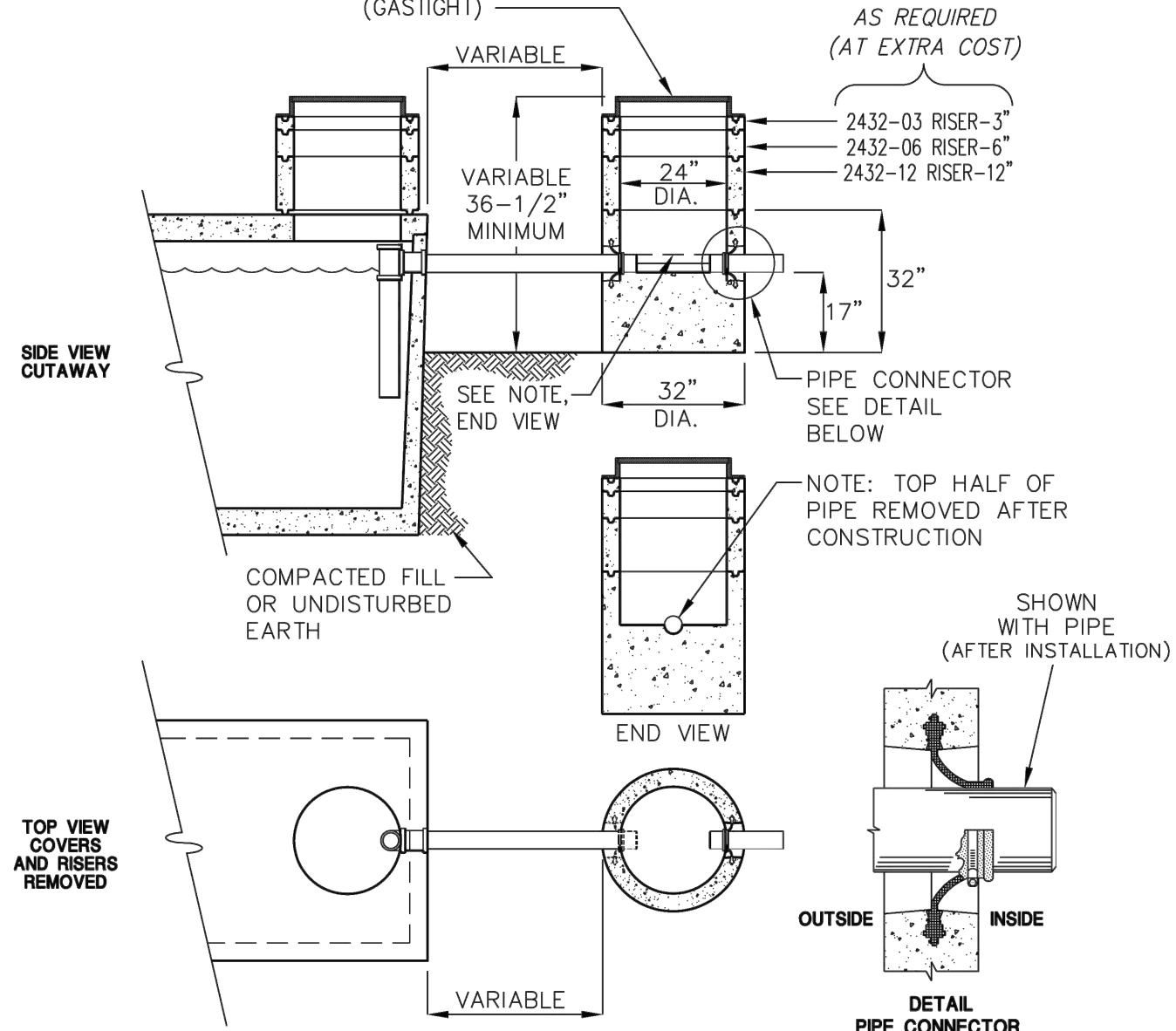


SEWER LINE REROUTING DETAIL

NOT TO SCALE

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SAMPLE BOX WITH PIPE CONNECTORS MODEL EV200



WEIGHT: 1680 LBS.
BOX DESIGN LOAD: H-20 TRAFFIC
SAMPLE BOX MUST BE PLACED ON SUITABLE BASE OF COMPACTED SOIL OR UNDISTURBED EARTH IN TRAFFIC CONDITION. FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

PIPE CONNECTOR CAST INTEGRALLY IN WALL. WILL ACCEPT PIPE O.D. (INCHES)
MIN. 4.25
MAX. 6.25
SEE PIPE CONNECTOR PAGE FOR ADDITIONAL INFORMATION



CONSTRUCTION NOTES

- FURNISH AND INSTALL JENSEN PRECAST 750 GALLON, TRAFFIC RATED, 4" LAYOUT GRAVITY GREASE INTERCEPTOR, 24"E, 24"C, 24"E SINGLE BAFFLE, MODEL JP-750-ECE-G. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS. CONTRACTOR TO COORDINATE WITH, AND TO INSTALL UNDER DIRECT SUPERVISION OF CVWD.
- FURNISH AND INSTALL JENSEN PRECAST SAMPLE BOX WITH PIPE CONNECTORS, MODEL EV200. PROPOSED RIM COVER TO NEW PROPOSED FINISH GRADE. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS.
- CONTRACTOR TO VERIFY AND INSTALL IF NECESSARY SEWER LINE REROUTING PER STANDARD DETAIL ON SHEET 07. FURNISH AND INSTALL FOUR (4) 45° ABS WYES. MINIMUM 2% SLOPE, 4" REROUTE LINE. IF REROUTED PIPE IS LESS THAN 2%, USE 6" ABS SEWER PIPE AT MINIMUM 1% SLOPE WITH ECCENTRIC FLOW LINE CONNECTION FITTINGS TO EX. SEWER LINE.

N.A.P.
PARCEL 12
4.256 AC.

N.A.P.
PARCEL 1
0.511 AC.

PARCEL 1
2.762 A.C.

PARCEL 1
2.762 A.C.

PARCEL 2
2.567 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 3
0.688 AC.

N.A.P.
PARCEL 5
0.925 AC.

N.A.P.
PARCEL 4
0.513 AC.

SEE TOP RIGHT FOR CONTINUATION

SETBACKS

NOTE: CITY OF PALM DESERT HAS
COMMERCIAL BUILDING SETBACKS
FROM PROPERTY LINES AT 0'.

GROSS AND NET ACREAGE OF PARCEL(S)

PARCEL 1
- GROSS ACREAGE: 2.762 AC.
- NET ACREAGE: 2.762 AC.

PARCEL 2
- GROSS ACREAGE: 2.567 AC.
- NET ACREAGE: 2.567 AC.

LANDSCAPE PERCENTAGE

(IN AND ADJACENT TO THE PARKING AREA)

PARCEL 1
- 0.472 AC. = 17.1% OF PARCEL 1

PARCEL 2
- 0.457 AC. = 17.8% OF PARCEL 2

LOT COVERAGE

PERCENTAGE OF LAND COVERED BY BUILDING(S):

PARCEL 1
- EXISTING NORTH BUILDING: 17,546 S.F.
- PROPOSED NORTH PATIO STRUCTURE: 1,079 S.F.

TOTAL: 18,625 S.F. = 0.427 AC. = 15.5%

PARCEL 2
- EXISTING EAST BUILDING: 17,546 S.F.
- PROPOSED CENTRAL PATIO STRUCTURE: 1,079 S.F.
- SOUTH PATIO STRUCTURE: 622 S.F.

TOTAL: 19,247 S.F. = 0.442 AC. = 17.2%

APN

694-190-049 AND 694-190-050

LEGEND

— PARCEL LINES
- - - ADA PATH OF TRAVEL
- - - STREET CENTERLINE
- - - STREET RIGHT OF WAY

GERALD FORD DRIVE

COOK STREET

SEE CENTER BOTTOM FOR CONTINUATION

N.A.P.
PARCEL 5
0.925 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 4
0.513 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 7
0.427 AC.

N.A.P.
PARCEL 6
1.467 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 8
0.573 AC.

N.A.P.
PARCEL 9
2.933 AC.

COOK STREET

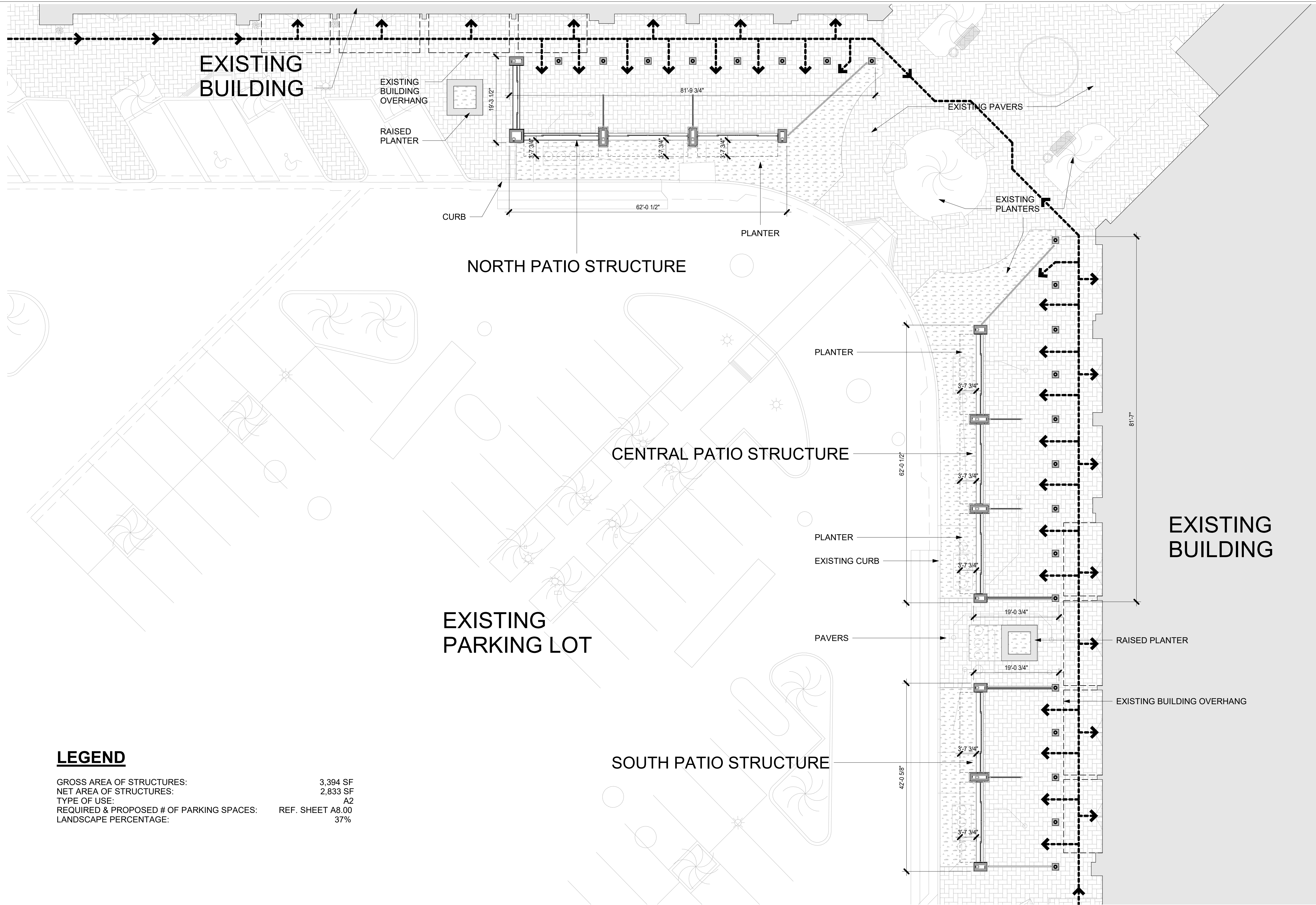
Michael Baker
INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM

DATE: 3/28/2025
DRAWN BY: BN
DESIGN BY: BN
CHECK BY: RV

CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
SITE PLAN EXHIBIT
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 01
OF
SHEETS 01

H:\DATA\204450\CADD\LAND EXHIBITS\204450-SITE-PLAN-EXHIBIT.DWG VAUGHN, RICH 3/28/2025 10:18 AM

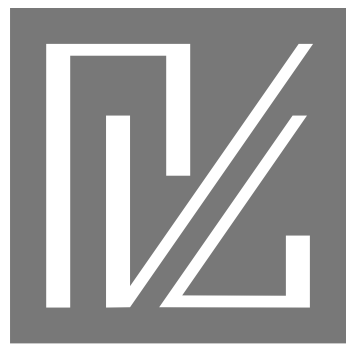
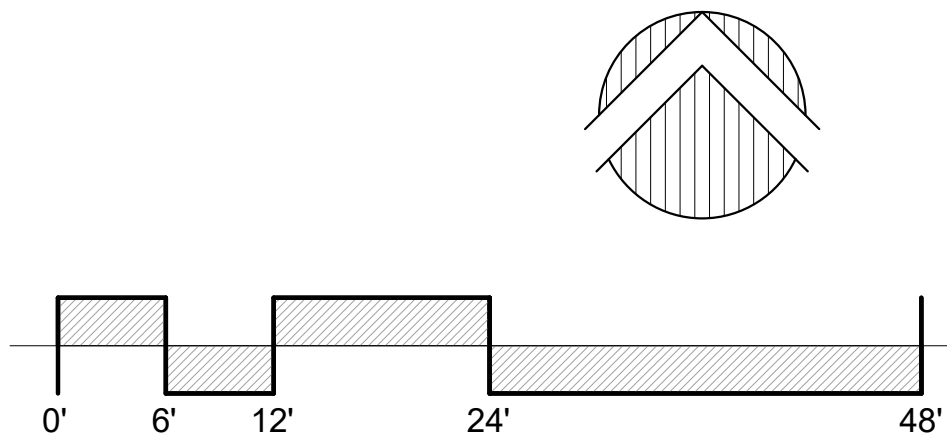


LEGEND

GROSS AREA OF STRUCTURES:	3,394 SF
NET AREA OF STRUCTURES:	2,833 SF
TYPE OF USE:	A2
REQUIRED & PROPOSED # OF PARKING SPACES:	REF. SHEET A8.00
LANDSCAPE PERCENTAGE:	37%

UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA

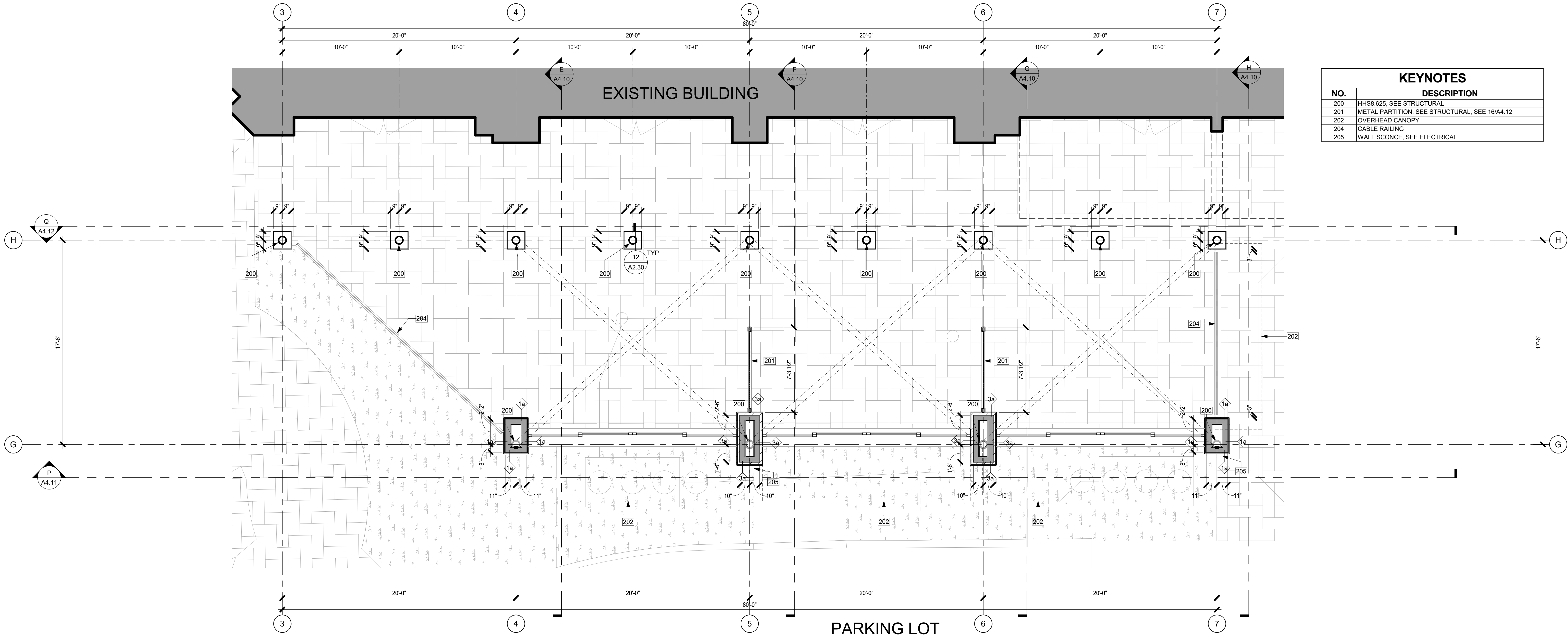


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SITE PLAN

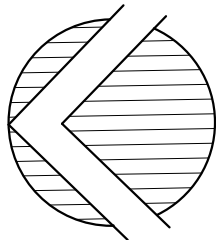
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Sheet: **A101**

Issue Date
222012



KEYNOTES	
NO.	DESCRIPTION
200	HHS8.625, SEE STRUCTURAL
201	METAL PARTITION, SEE STRUCTURAL, SEE 16/A4.12
202	OVERHEAD CANOPY
204	CABLE RAILING
205	WALL SCONCE, SEE ELECTRICAL

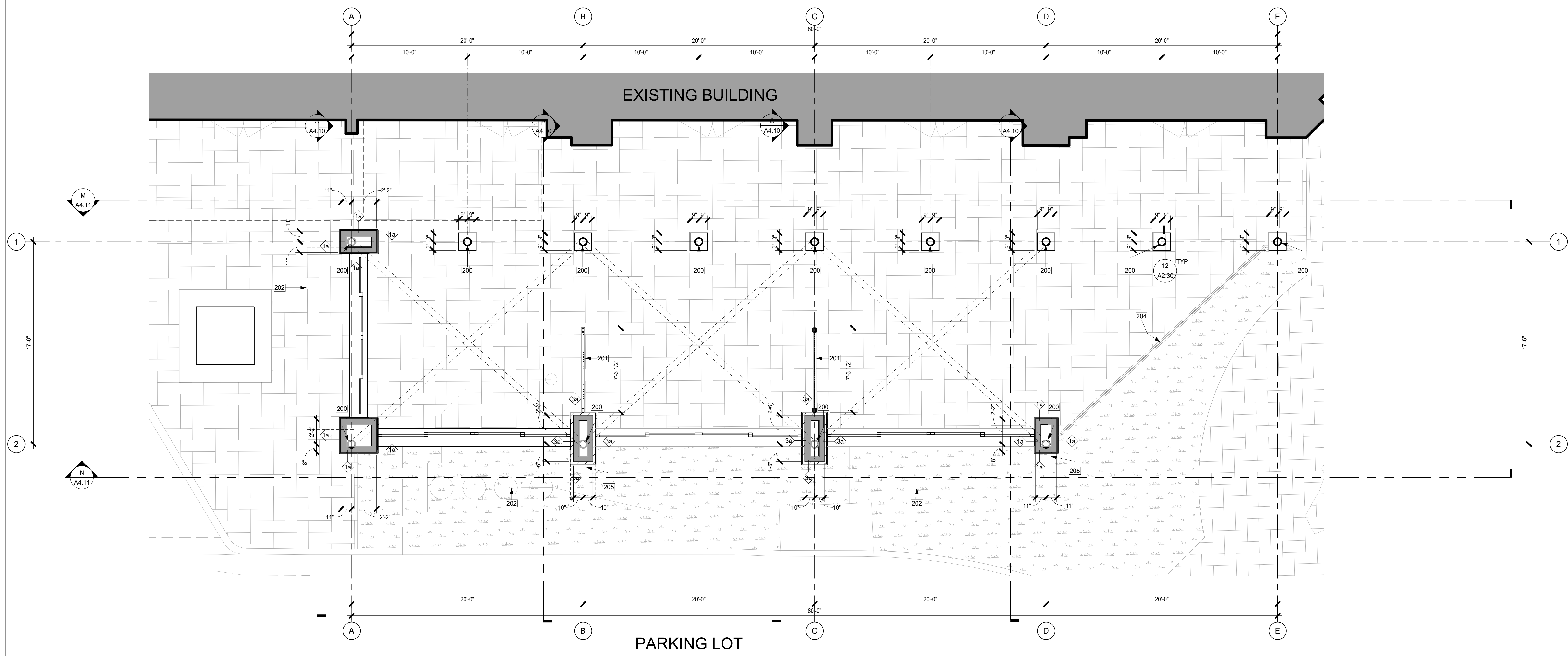
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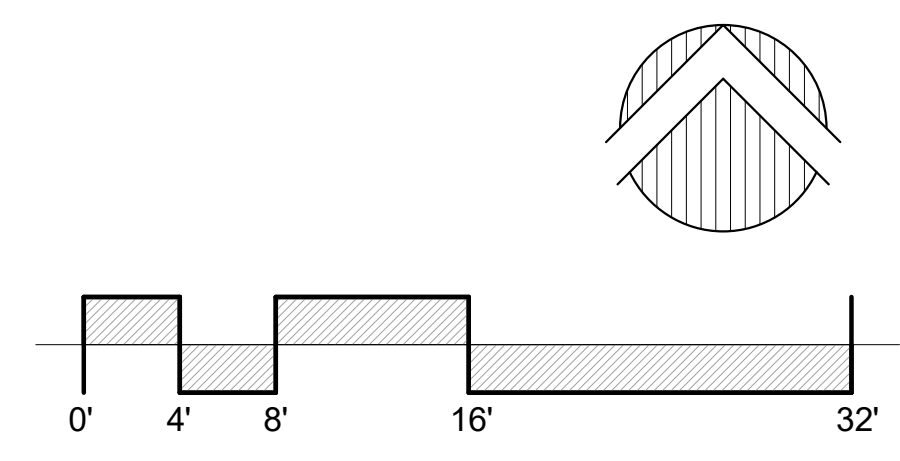
CENTRAL PATIO
FLOOR PLAN
Scale: 1/4" = 1'-0"
Sheet: A201

Issue Date
222012



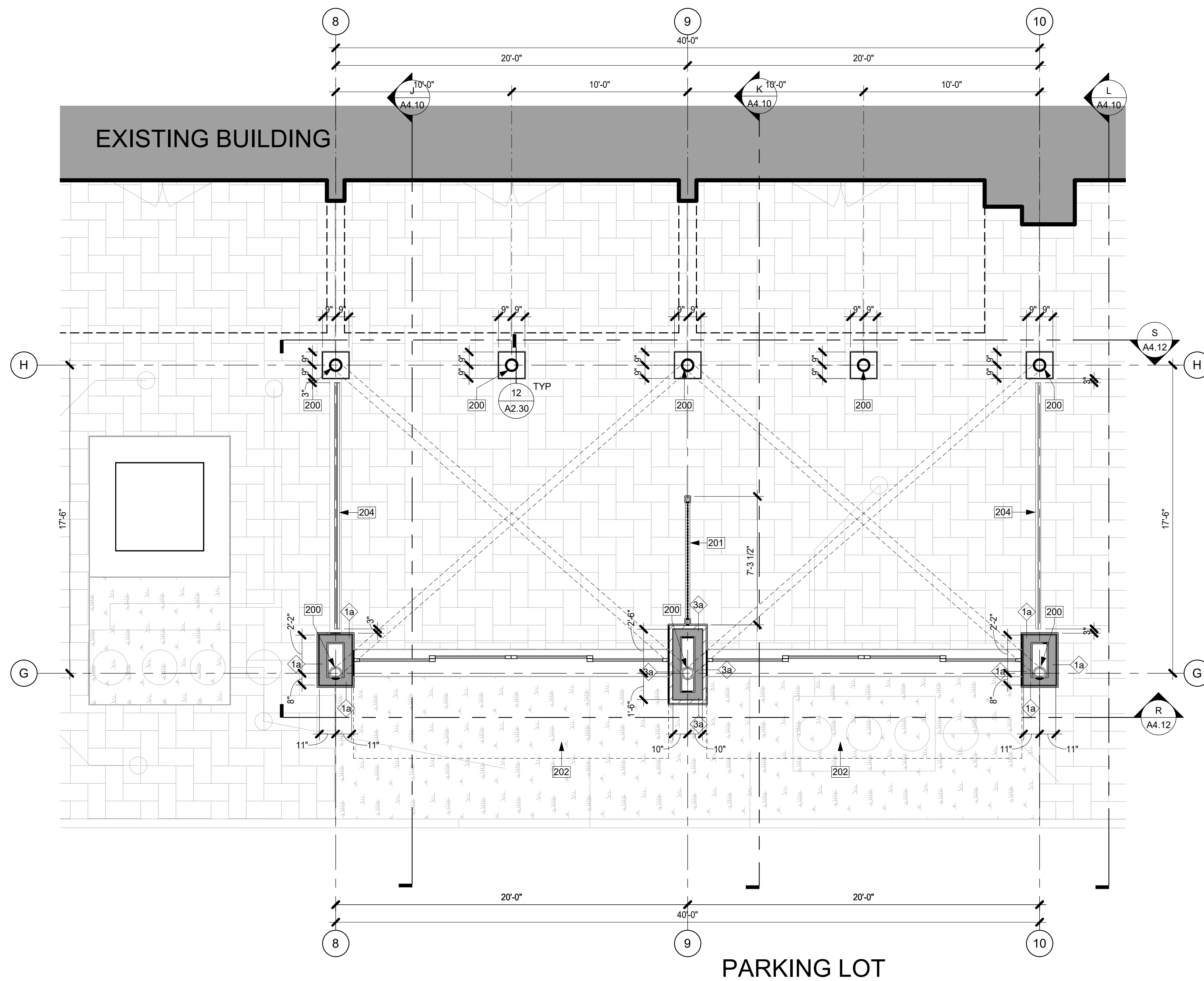
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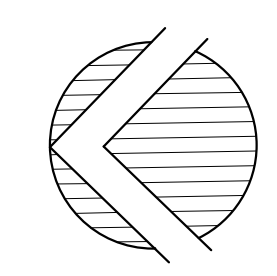
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NORTH PATIO
FLOOR PLAN
Scale: 1/4" = 1'-0"
Sheet: **A202**
Issue Date: 2/22/2012



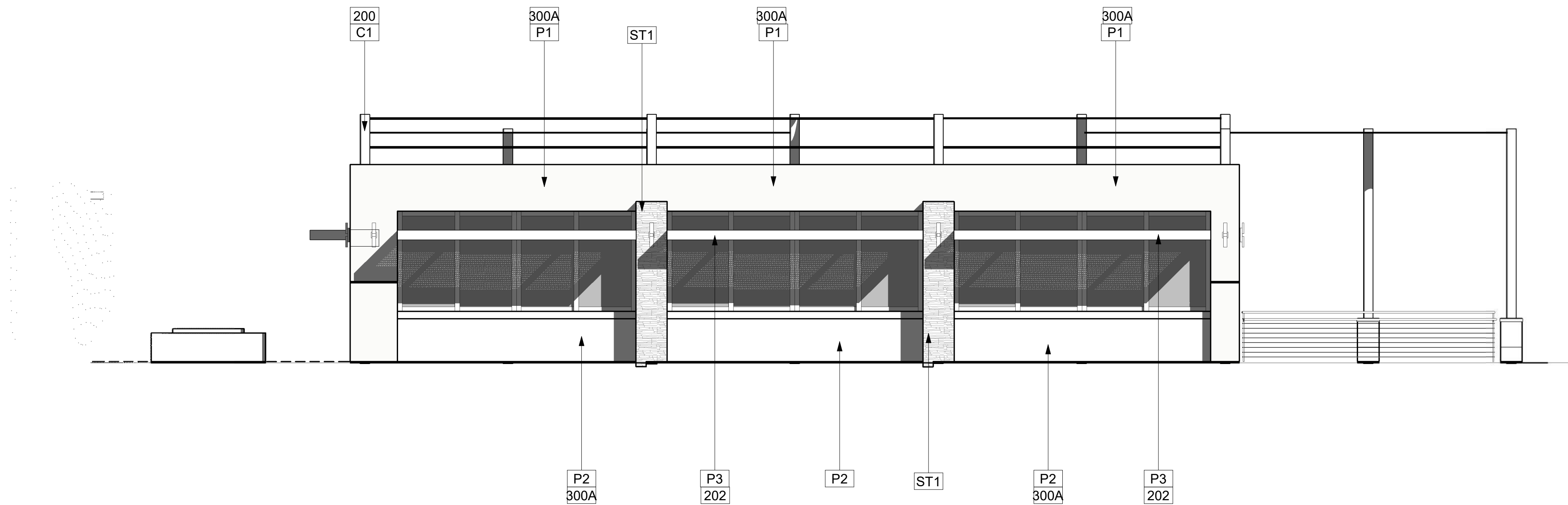
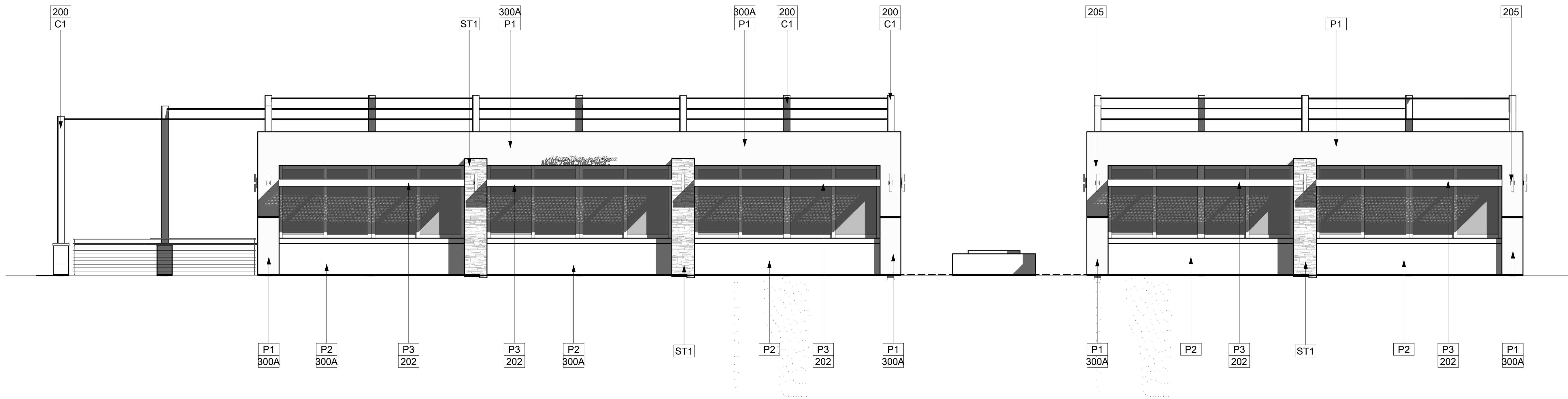
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**SOUTH PATIO
FLOOR PLAN**
Scale: 1/4" = 1'-0"
Sheet: **A203**
Issue Date: 2/20/12

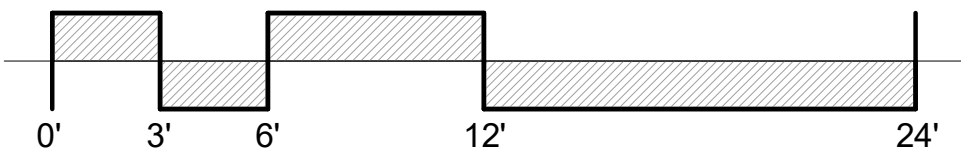


KEYNOTES	
NO.	DESCRIPTION
200	HHS8.625, SEE STRUCTURAL
202	OVERHEAD CANOPY
205	WALL SCONCE, SEE ELECTRICAL
300A	7/8" (3 COAT) EXTERIOR CEMENT PLASTER OVER METAL LATH, OMEGA FLEX FINE FINISH, COLOR: SEE PAINT SCHEDULE
C1	
ST1	STACKED STONE TO MATCH EXISTING

PAINT LEGEND	
NO.	DESCRIPTION
P1	MFR: DUNN EDWARDS, COLOR: DE6260 WISHFUL WHITE
P2	MFR: DUNN EDWARDS, COLOR: DE1631 COCOA POWDER
P3	MFR: PPG, COLOR: PPG 1007-7 BARK

UNIVERSITY VILLAGE PATIO STRUCTURES

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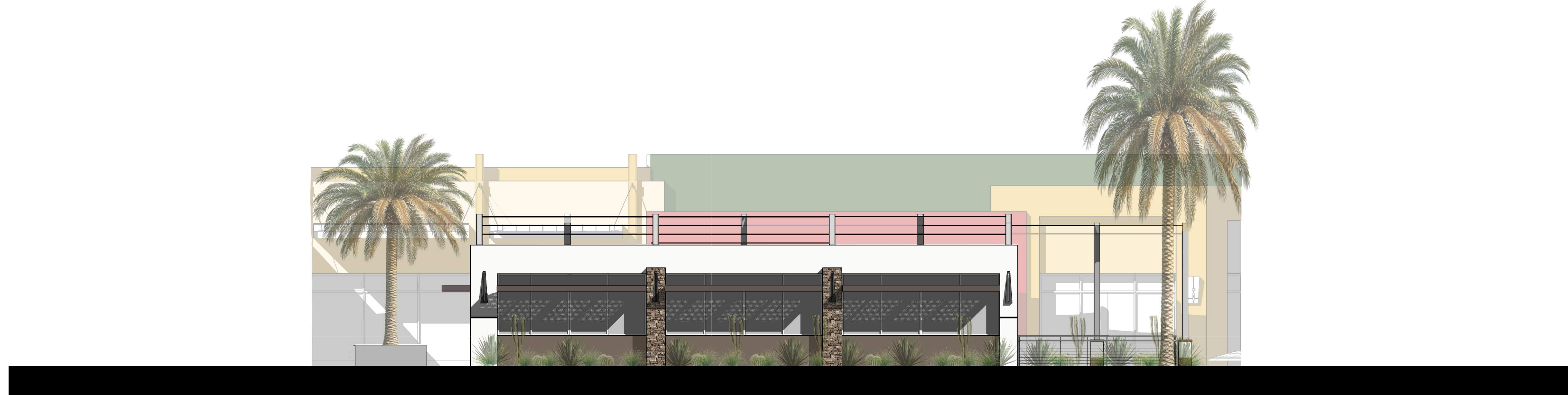
ELEVATIONS

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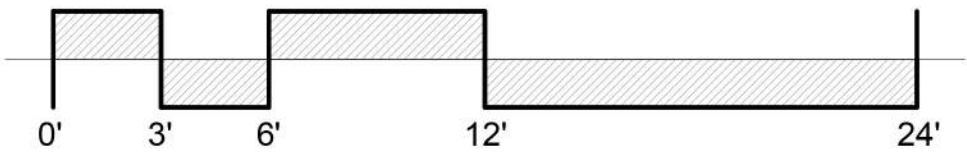
A301

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222012



UNIVERSITY VILLAGE SHADING

PALM DESERT, CA



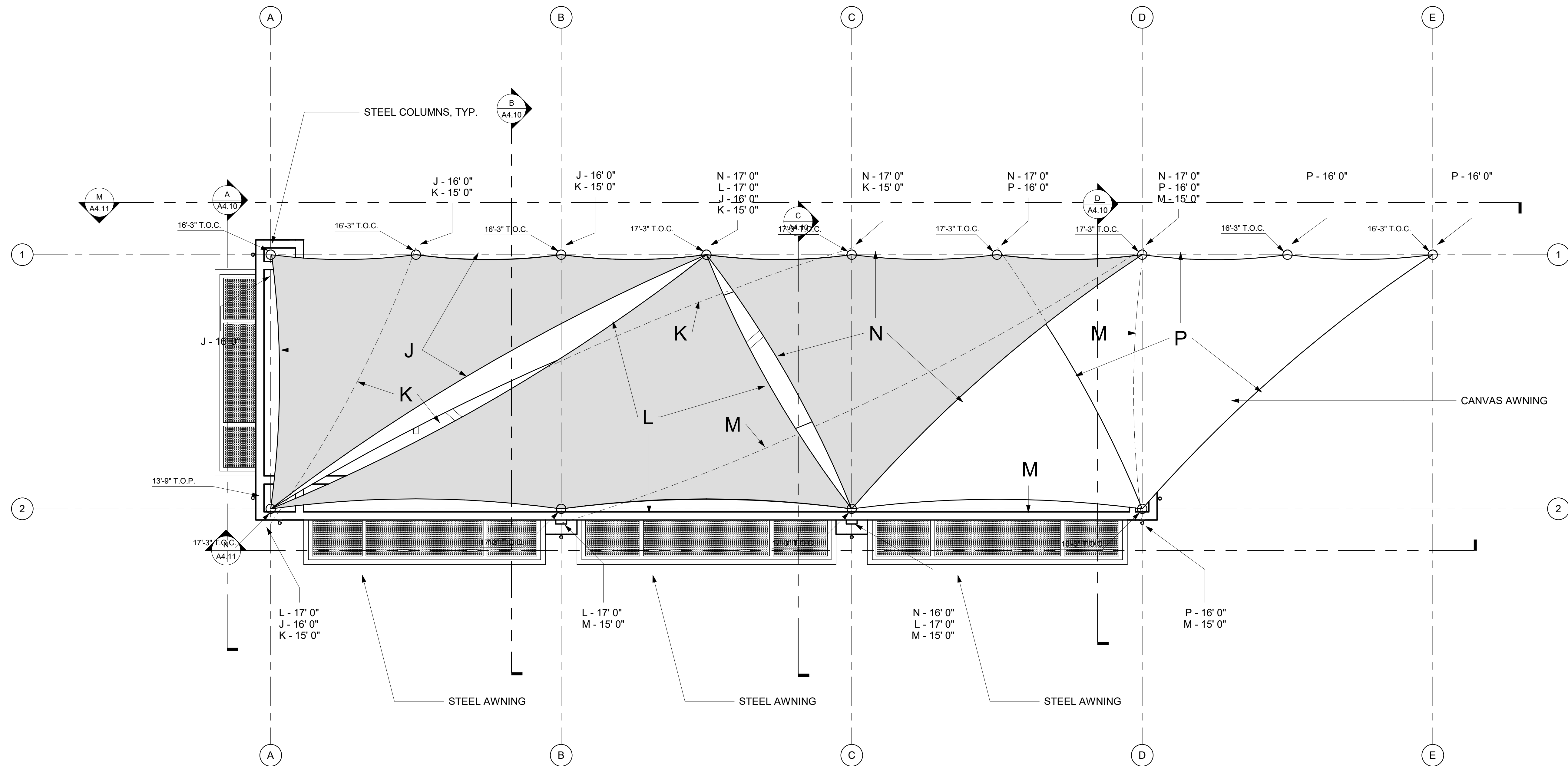
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COLORED
ELEVATIONS

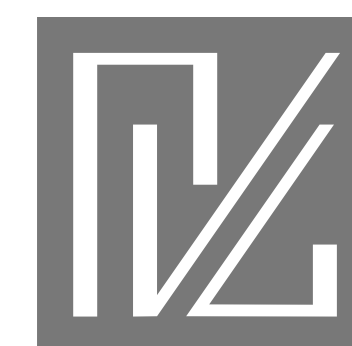
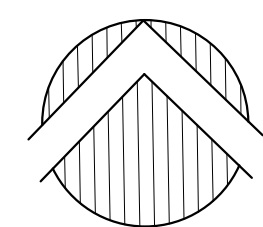
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Sheet: **A302**



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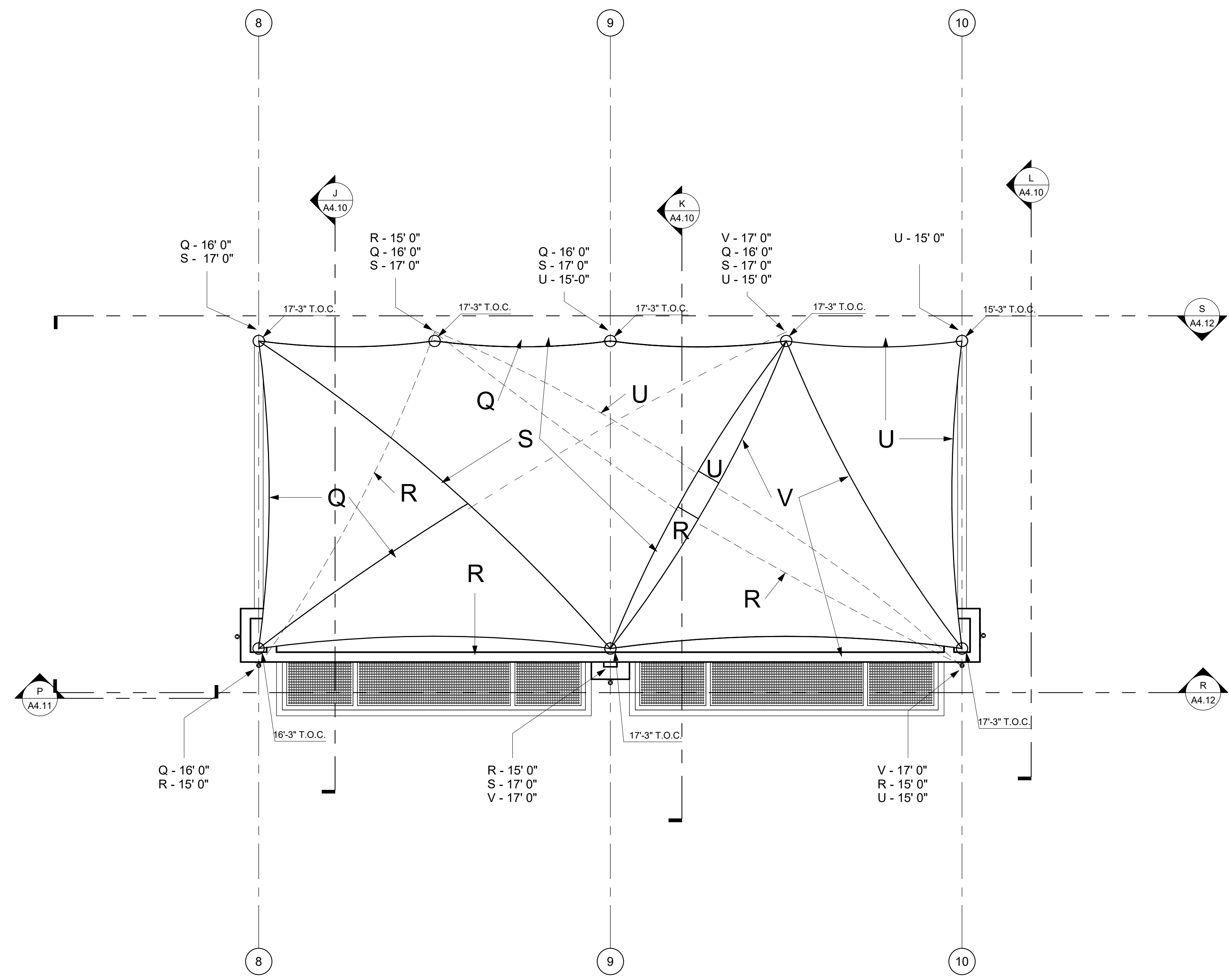
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NORTH PATIO ROOF PLAN

Scale: 1/4" = 1'-0"

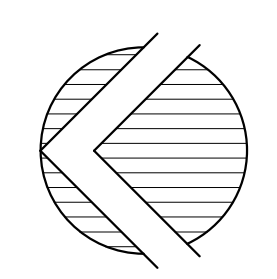
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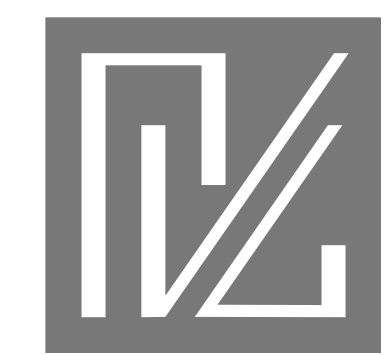
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SOUTH PATIO
ROOF PLAN
Scale: 1/4" = 1'-0"
Sheet: **A403**

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3D VIEWS

Scale:
Sheet:

A501

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3D VIEWS

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3D VIEWS

Scale:

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A503

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3D VIEWS

Scale:
Sheet: A505



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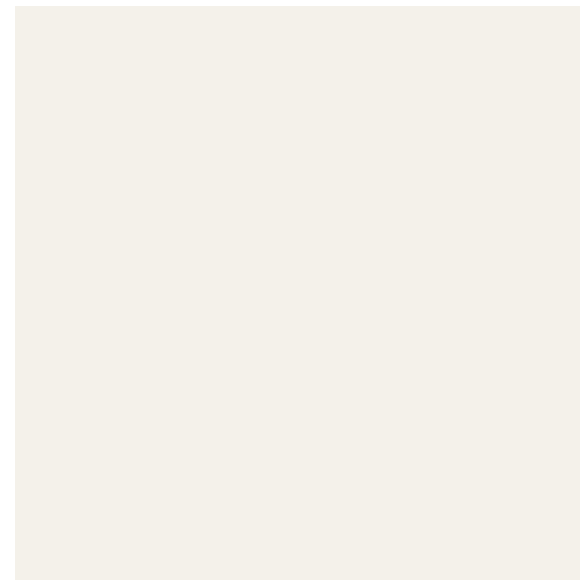
3D VIEWS

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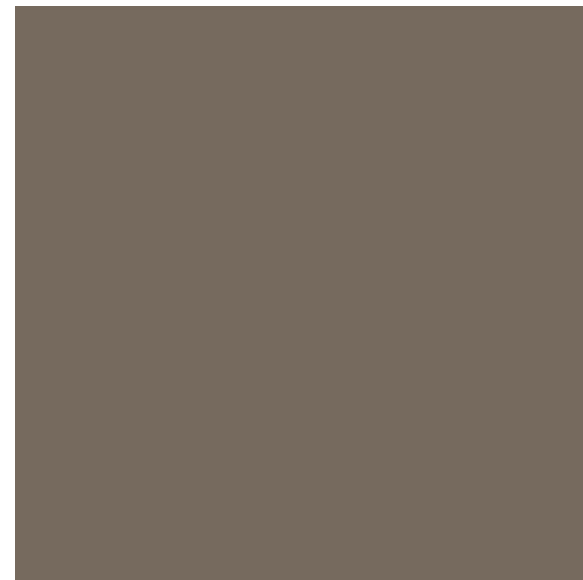
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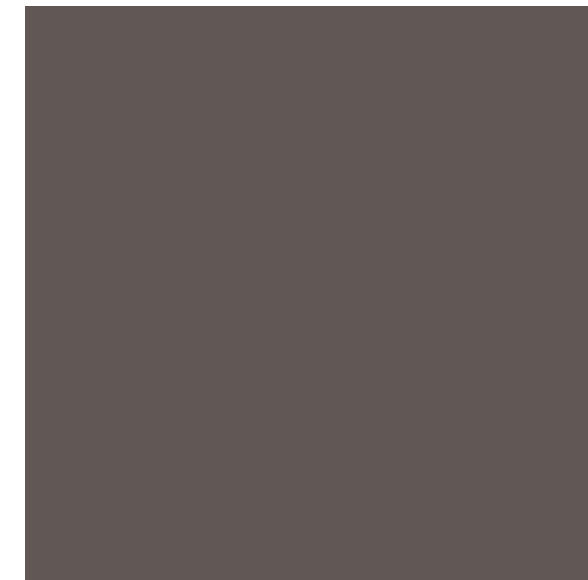
Issue Date
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P1: PLASTER WALLS
MFN: DUNN EDWARDS
COLOR: DE6260 WISHFUL WHITE



P2: PLASTER WALLS
MFN: DUNN EDWARDS
COLOR: DET631 COCOA POWDER



P3: METAL AWNINGS
MFN: PPG INDUSTRIES
COLOR: PPG 1007-7 BARK



ST1: STACKED STONE
MATCH EXISTING

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MATERIAL BOARD

Scale: 12" = 1'-0"

Sheet: A601

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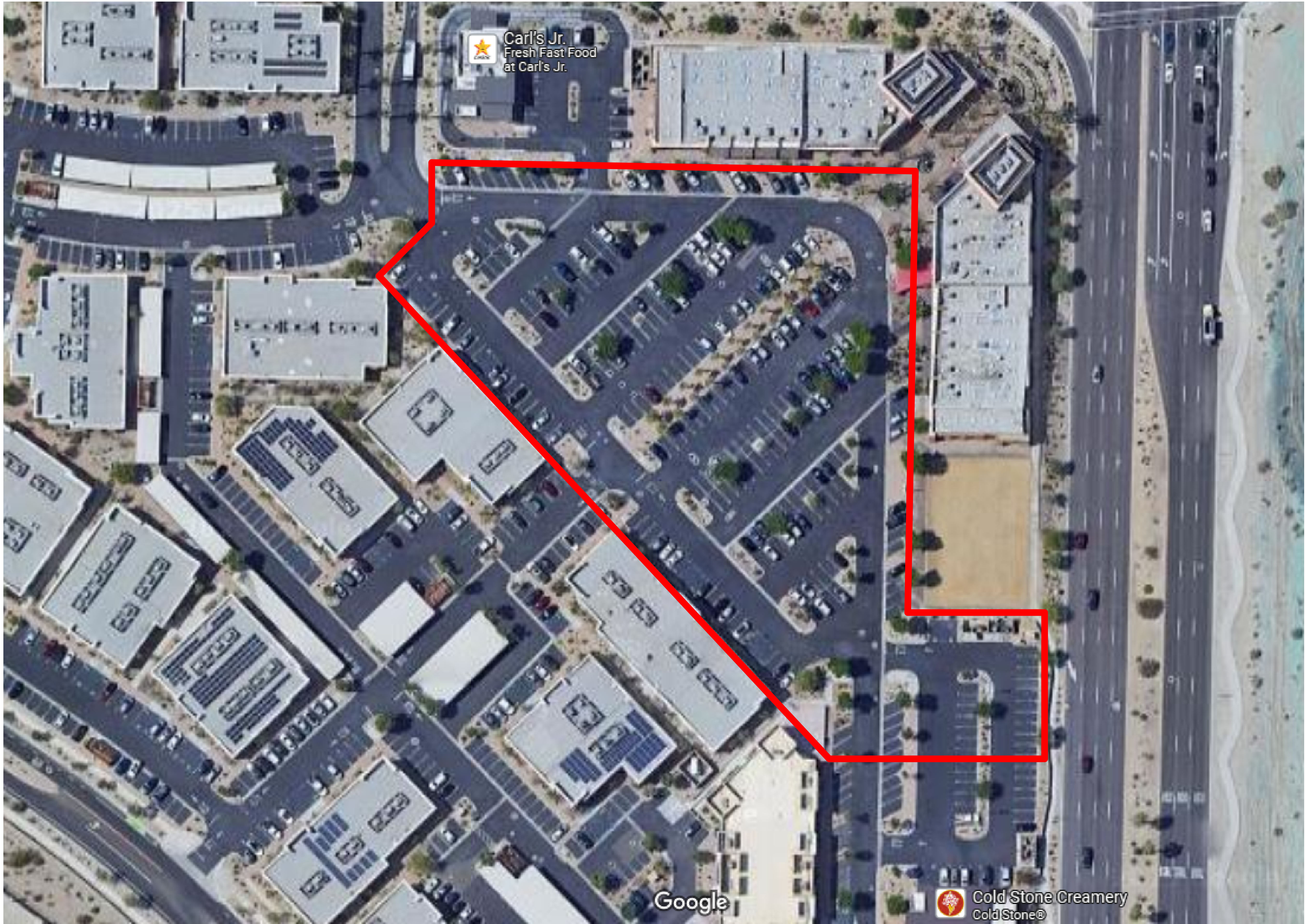
SEATING PLAN

Scale: NTS

Sheet:

A700

Issue Date
222012



PARKING STUDY

TOTAL EXISTING SPACES: 284
TOTAL EXISTING ADA SPACES: 14

TOTAL PROPOSED SPACES: 279
TOTAL PROPOSED ADA SPACES: 14

TOTAL REQUIRED PARKING SPACES
(8 PER 1000 SF): 18,512 SF/1000 SF
(PER PDMC) 18.512 X 8 =
149 REQUIRED SPACES

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PARKING STUDY

Scale: _____
Sheet: **A800**

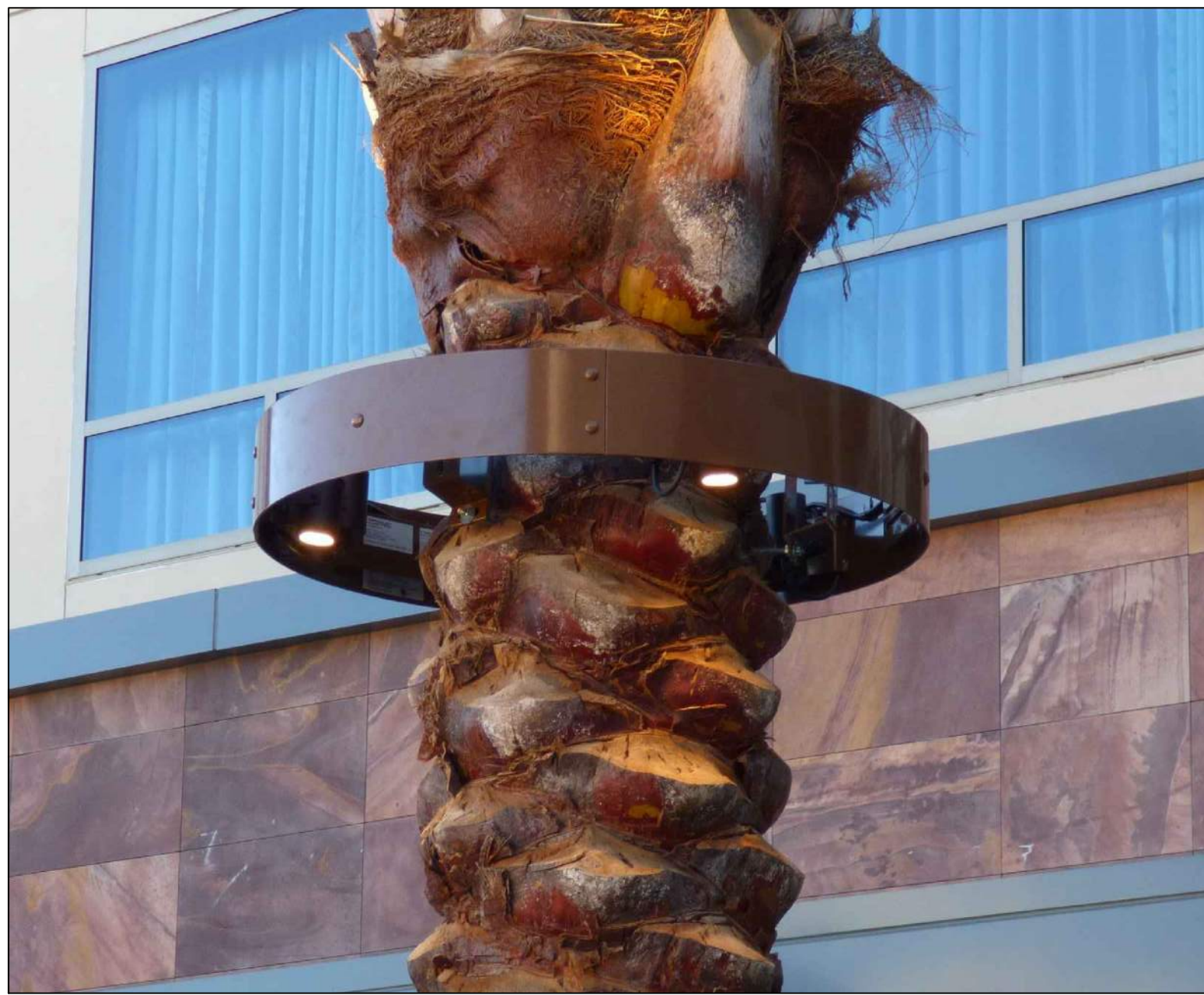
Issue Date
2/22/2012

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
TREES				
	Chamaerops humilis Mediterranean Fan Palm	24"box	M (5)	2
	Phoenix dactylifera Date Palm	20' B.T.H. minimum	M (5)	2
	Phoenix dactylifera Date Palm - EXISTING	EXISTING		2
SHRUBS				
	Agave angustifolia 'Marginata' Variegated Caribbean Century Plant	15 gal	L (2)	10
	Agave parryi truncata Artichoke Parry's Agave	5 gal	L (2)	17
	Agave victoriae-reginae Queen Victoria Agave	5 gal	L (2)	20
	Aloe ferox Bitter Tree Aloe	15 gal	L (2)	16
	Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	5 gal	M (5)	7
	Echinocactus grusonii Golden Barrel Cactus	5 gal	L (2)	26
	Euphorbia resinifera Resin Spurge	15 gal	L (2)	22
	Evolvulus glomeratus 'Blue Daze' Brazilian Dwarf Morning Glory	5 gal	M (5)	15
	Lantana x 'New Gold' New Gold Lantana	1 gal	M (5)	17
	Pachycereus marginatus Mexican Fence Post Cactus	15 gal	L (2)	3
	Pedilanthus macrocarpus Lady's Slipper	5 gal	L (2)	6
	Russelia brittoniana Mexican Petunia	5 gal	M (5)	19
	Russelia equisetiformis Firecracker Plant	5 gal	M (5)	7

REFERENCE NOTES SCHEDULE

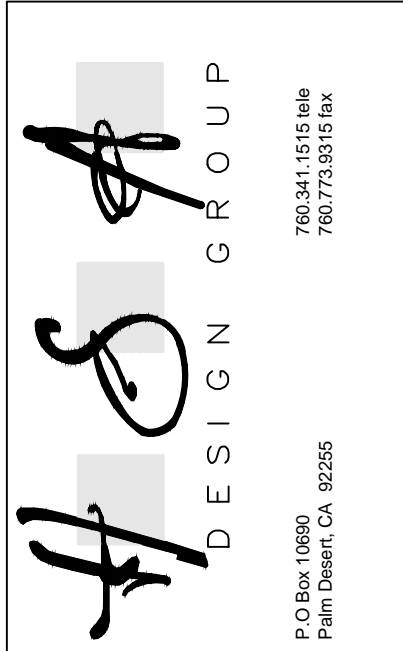
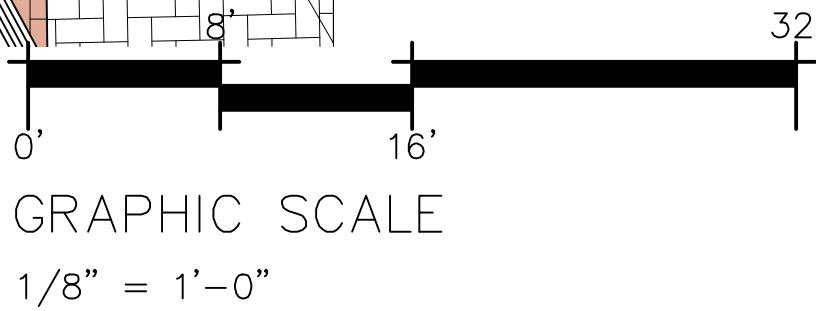
SYMBOL	DESCRIPTION	QTY
	DECOMPOSED GRANITE	17.7 cy
	PEDESTRIAN PAVERS - MATCH TO EXISTING PAVERS	6,752 sf
	CONCRETE BANDS	78 sf



TWO (2) EXISTING DATE PALMS AND TWO (2) NEWLY PROPOSED DATE PALMS TO HAVE BRADLEY LIGHTING "STELLA" LED PALM RING LIGHTS INSTALLED

ALL BUILDING AND FACADE LIGHTING TO BE COORDINATED PER ARCHITECT'S PLANS

IRRIGATION NOTE:
ALL NEW PLANTING TO IRRIGATED WITH POINT SOURCE DRIP EMITTERS CONNECTED TO THE EXISTING IRRIGATION SYSTEM, AND CONTROLLED WITH AN ET BASED CONTROLLER.



UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

no.	revisions	date	by
1			
2			
3			
4			
5			

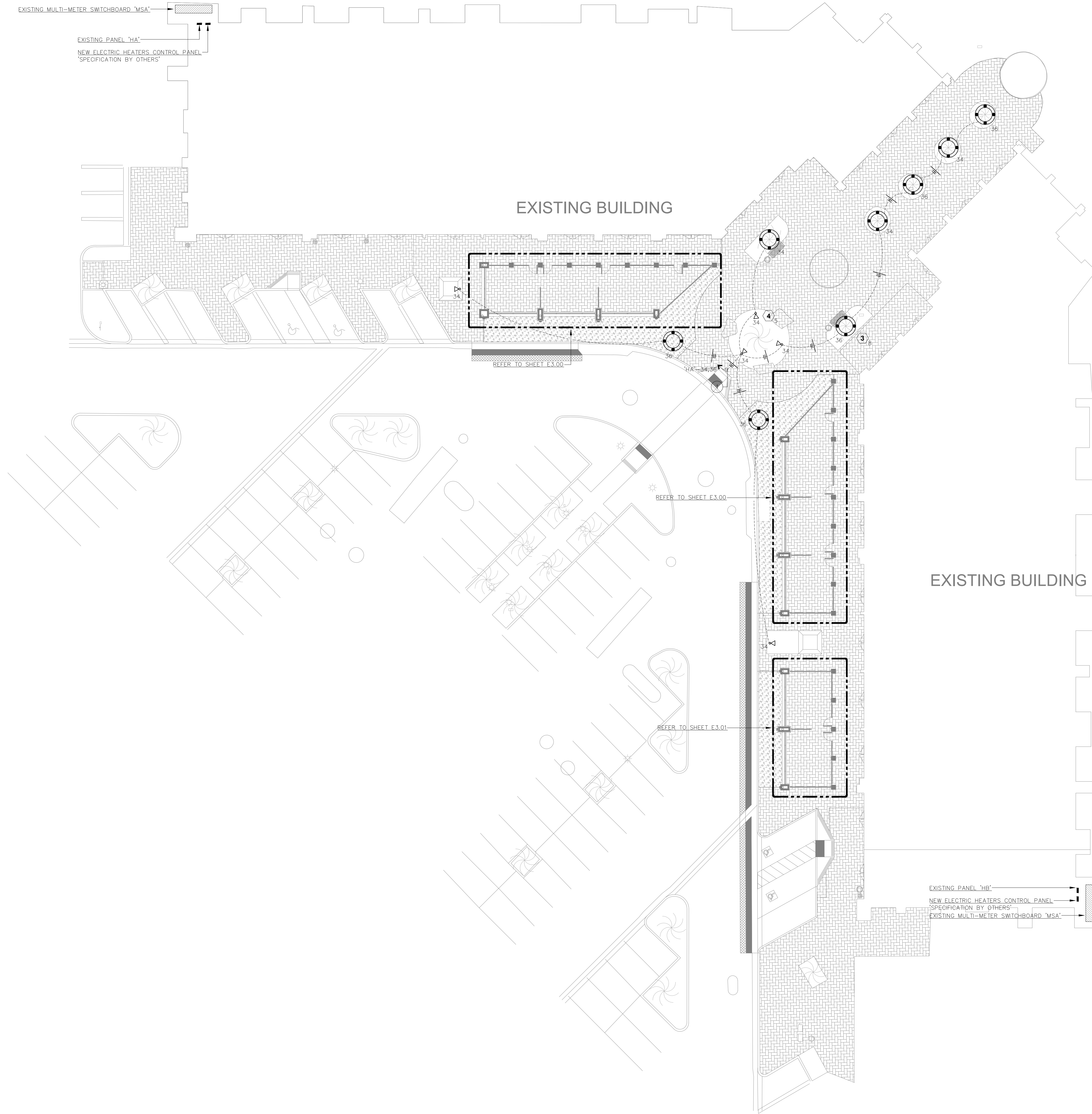
Scale: 1/8"=1'-0"
Date: MARCH 28, 2025
Drawn By: CRS
Approved By:

UNIVERSITY VILLAGE
PRELIMINARY PLANTING PLAN

North

Job No. _____

Sheet No. **L1.1**
of _____



KEYED NOTES

- 1 CIRCUIT THROUGH NEW EXTERIOR LIGHTING TIME CLOCK LOCATED AT BUILDING MAIN ELECTRICAL ROOM.

APPROVED STAMP

No.	Description	Date

PATIO STRUCTURES
FOR
UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

ELECTRICAL SITE PLAN

Scale: As indicated

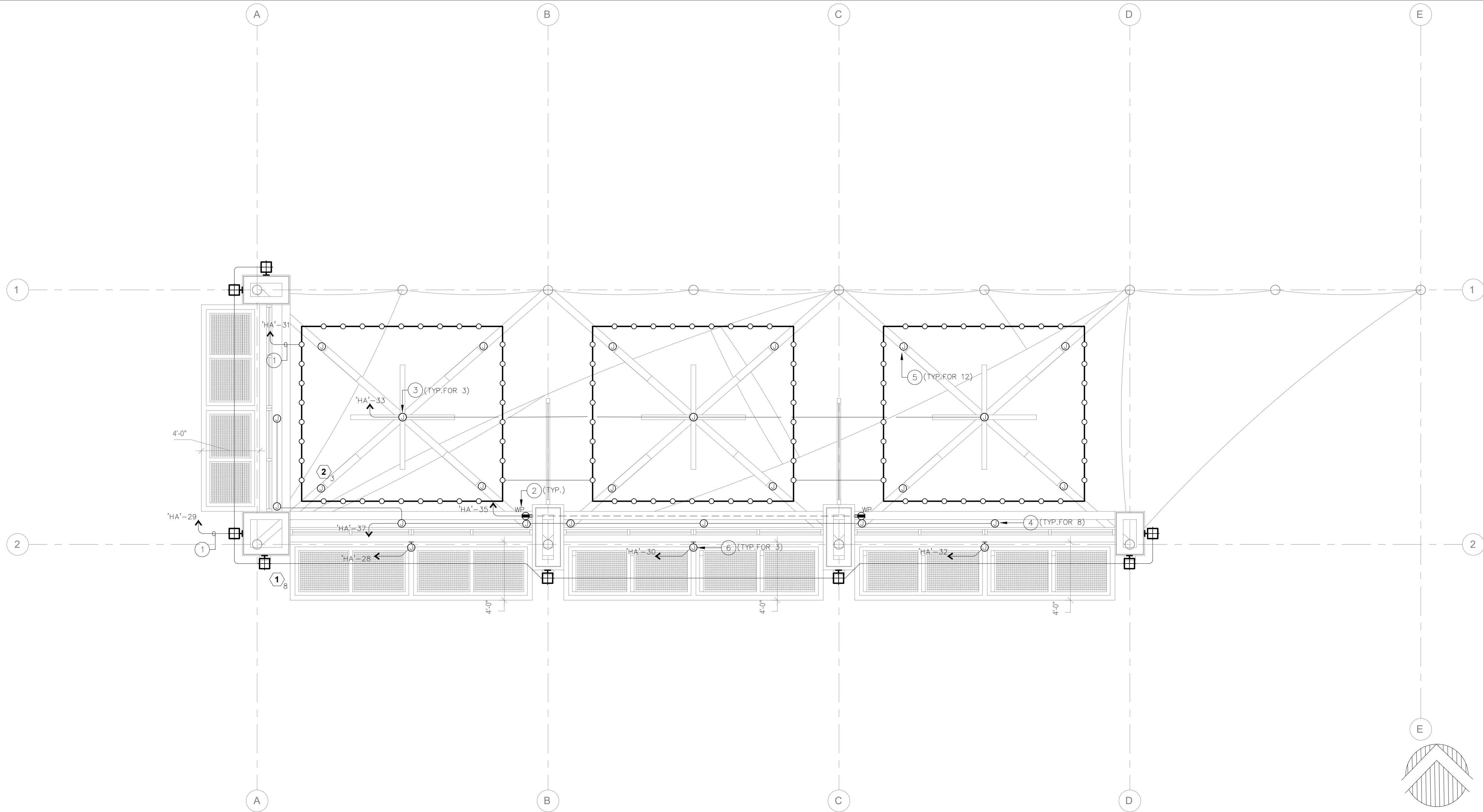
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DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number 222012	
Date	Issue Date

Project Status

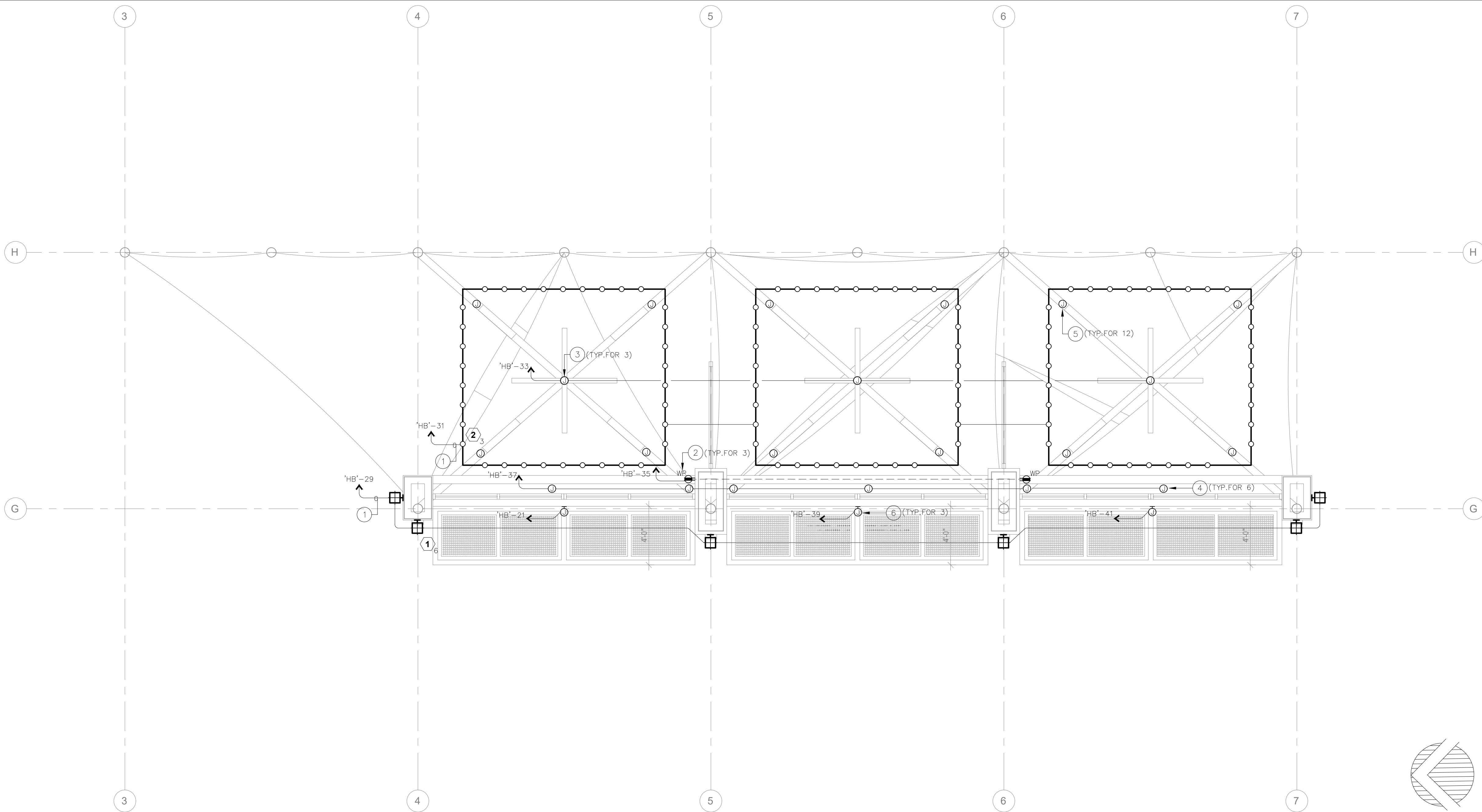
E2.00



NORTH PATIO ELECTRICAL PLAN

SCALE:
1/4"=1'-0"

2

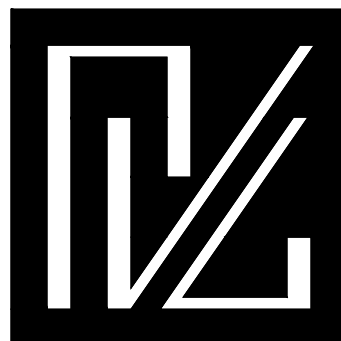


CENTRAL PATIO ELECTRICAL PLAN

SCALE:
1/4"=1'-0"

1

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800-437-3304

GENERAL NOTES

- ALL ELECTRICAL WIRING AT CANOPY STRUCTURE SHALL RUN AND BE HIDDEN INSIDE THE STRUCTURE COLUMNS AND BEAMS. NO EXPOSED WIRING SHALL BE ALLOWED.

KEYED NOTES

- CIRCUIT THROUGH NEW EXTERIOR LIGHTING TIME CLOCK LOCATED AT BUILDING MAIN ELECTRICAL ROOM.
- WEATHER PROOF GFCI RATED POWER RECEPTACLE WITH KEY LOCK COVER.
- JUNCTION BOX FOR FINAL CONNECTION TO OUTDOOR PADDLE FAN. COORDINATE FINAL MOUNTING PRIOR TO ELECTRICAL ROUGH-IN.
- JUNCTION BOX FOR FINAL CONNECTION TO MOTORIZED SHADE POCKET. COORDINATE FINAL CONNECTION REQUIREMENT PRIOR TO ELECTRICAL ROUGH-IN.
- JUNCTION BOX FOR FINAL CONNECTION TO ELECTRIC HEATER: MANUFACTURER 'INFRAHEAT', MODEL 'W-SERIES', 1,500 WATTS, 120 VOLT. PROVIDE 2 #10 CU. 1 #10 CU. E.G. 3/4" CONDUIT FROM JUNCTION BOX TO CONTROL PANEL LOCATED AT NEAREST BUILDING MAIN ELECTRICAL ROOM.
- FLUSH MOUNTED JUNCTION BOX FOR FINAL CONNECTION TO TENANT SIGNAGE.

APPROVED STAMP

No.	Description	Date

PATIO STRUCTURES
FOR
UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

ELECTRICAL PLAN

Scale: As indicated

INSTRUMENTS OF SERVICE

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DAVID G. PREST, AIA C-8690

JOHN J. VUKSIC, AIA C-19210

JOHN T. GREENWOOD, C-38012

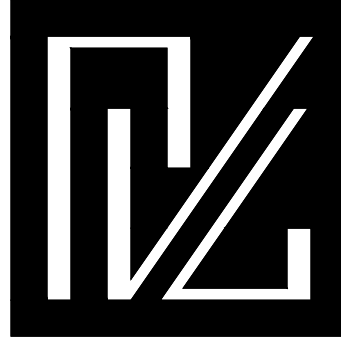
Project Number 222012

Date Issue Date

Project Status

E3.00





R7 CONSULTING
ELECTRICAL, MECHANICAL & PLUMBING
ENGINEERING + LIGHTING DESIGN
61 PALM DESERT + SAN DIEGO
800-437-3304

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