

RH - PALM DESERT GALLERY

73100 El Paseo, Suites 3-10 Palm Desert, CA 92260

01/31/2025 PLANNING RESUBMISSION



GENERAL NOTES

- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON PDF FILES PROVIDED BY THE OWNER AND SURVEY DATED: 10/15/2024 AND PREPARED BY: FOUST ARCHITECTURE, INC. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES, UTILITIES, AND ARCHITECTURAL PLANS WITH ALL ENGINEERING PLANS. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES IMMEDIATELY IN WRITING.
- ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES.
- ALL MATERIAL UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.
- GENERAL CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY BE REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE THE BUILDING OFFICIAL WITH A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH ENERGY CONSERVATION STANDARDS UPON FINAL BUILDING DEPARTMENT INSPECTIONS (WHERE REQUIRED).
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOSS OF AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EMERGENCY EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- ALL DETAILS, SECTIONS, AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL, AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE NOTED. THE DETAILS ON THE DRAWINGS SHALL BE USED WHEREVER APPLICABLE, UNLESS OTHERWISE NOTED. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT'S AND ENGINEER'S FIELD REPRESENTATIVES SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL AS BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. LOCATIONS NOTED ON ARCHITECTURAL PLANS SUPERSEDE LOCATIONS SHOWN ON OTHER CONSULTANT DRAWINGS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.

- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. SUBCONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
- COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- CONTRACTOR TO VERIFY INTEGRITY OF EXISTING CONDITIONS, INCLUDING ALL STRUCTURAL ELEMENTS, AFTER COMPLETION OF DEMOLITION AND NOTIFY THE OWNER'S AND LANDLORDS REPRESENTATIVE IMMEDIATELY OF ANY DAMAGES AND/OR INSTABILITY.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS & PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- UTILITY SERVICES: CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFIRM LOCATIONS OF ALL UTILITIES AND NOTIFY ALL PERSONS WORKING ON THE SITE OF EXISTING UTILITIES. CONTRACTOR SHALL LOCATE AND IDENTIFY ACTIVE UTILITY SERVICE AND TEMPORARILY DEACTIVATE THEM WHEN THEY CONSTITUTE A HAZARD. LOCATION OF GAS, ELECTRIC, AND WATER METERS TO CONFORM TO UTILITY COMPANY REQUIREMENTS.
- PROTECT THE EXISTING CONSTRUCTION FINISHES, ADJACENT PROPERTY, PLANTINGS AND TREES, PROTECT THE WORK FROM RAIN AND OTHER NATURAL ELEMENTS, REPAIR, REFINISH, OR REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION.

PARCEL MAP



PERMITS

DEFERRED APPROVAL PERMITS

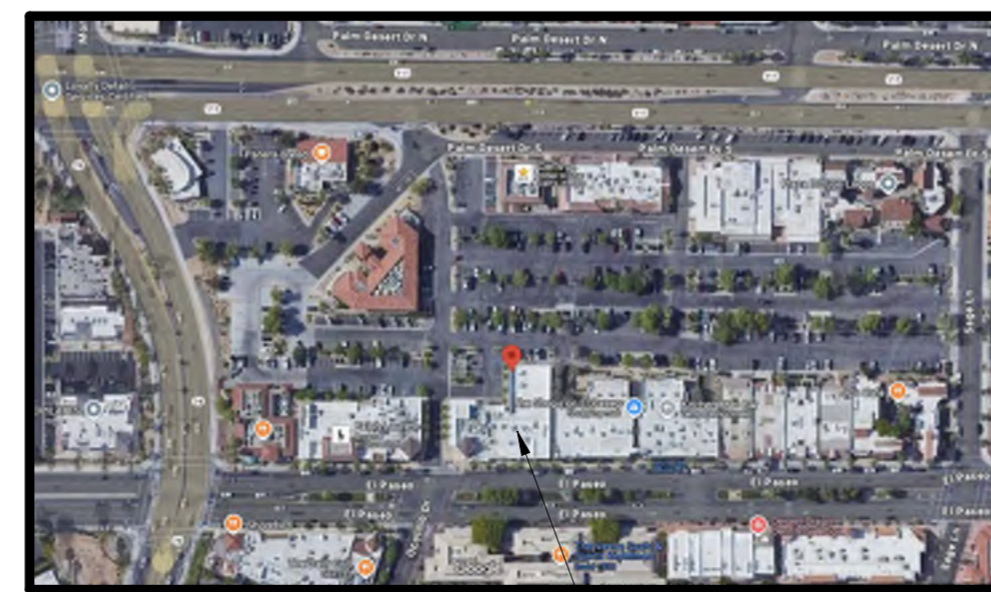
- FIRE SPRINKLER SYSTEM:** IS NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.
- FIRE ALARM:** IS NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.
- EXTERIOR SIGNAGE:** IS NOT WITHIN THE SCOPE OF THIS PERMIT. SUBMIT DRAWINGS TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES PRIOR TO INSTALLATION.

SITE MAP



REMODELING SCOPE

VICINITY MAP



PROJECT LOCATION - SEE SITE MAP
73100 El Paseo Drive Palm Desert, CA

PROJECT DIRECTORY

- TENANT:**
Restoration Hardware
15 Koch Rd
Corte Madera, Ca 94925
T: 415.996.4714
Contact: Michael Resneck
Email: mresneck@rh.com
- OWNER:**
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El Paseo, Suite 200
Palm Desert, CA 92260
T: 706.341.4888
Contact: David Fletcher
E-mail: dfletcher@chartwellproperties.net
- ARCHITECT:**
Foust Architecture, Inc.
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San Francisco, CA 94112
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Contact: Brian Foust
E-mail: brian@foustarchitecture.com
- LIGHTING DESIGNER:**
RKV Design
5670 Melrose Ave, Suite 3, #311
Los Angeles Ca, 90038
T: 310.924.2185
Contact: Rebecca Hidalgo
E-mail: rebecca@rkv-design.com
- MEP ENGINEER:**
MECCI, INC
14496 N. SHELDON RD, STE 260
Plymouth, MI, 48170
T: 734.454.5516
Contact: Jordan Koenig
E-mail: jkoening@mecci.com
- CONTRACTOR:**
TBD:
T:
Contact:
E-mail:

PALM DESERT MUNICIPAL CODE REQUIREMENTS

Palm Desert Municipal Code requirements:

- A. Approved temporary sanitary facilities are required (H&S 5416).
- B. Contractor and/or owner shall provide a trash bin (PDMC 8.16).
- C. Building Materials or Debris Storage shall be on the property of the permit. (PDMC 8.70).
- D. The public right-of-way shall always be maintained in a clean condition. (PDMC 8.20).
- E. Address numerals shall comply with PDMC 15.28.
- F. Each general engineering contractor, general building contractor, and swimming pool contractor shall furnish the city with a list of each subcontractor under his control or direction, AND each subcontractor shall have obtained a business license before the final inspection of a building or structure shall be given by the building and safety department. (PDMC §5.06.010).
- G. Construction Hours (PDMC 9.24):
OCTOBER 1st THRU APRIL 30th:
Monday – Friday: 7:00 a.m. - 5:30 p.m.
Saturday - 8:00 a.m. - 5:00 p.m.
Sunday - NOT ALLOWED
MAY 1st THRU SEPTEMBER 30th:
Monday – Friday: 5:30 a.m. - 7:00 p.m.
Saturday 8:00 a.m. - 5:00 p.m.
Sunday - NOT ALLOWED
- Government Code Holidays - NOT ALLOWED -

**Violation of the above work hours is a citable offense under PDMC 9.24.070.

SCOPE OF WORK

PROJECT CONSISTS OF THE FOLLOWING:

EXTERIOR WORK: - EXISTING FRONT AND REAR STOREFRONT FRAME SYSTEM & WALLS TO BE DEMO & NEW TO BE CONSTRUCT AT SAME LOCATION. NEW PAINTED EXTERIOR WALL FINISH, NEW PAINTED FINISH ON (N) EXTERIOR LIGHTING, EXISTING AWNING TO BE DEMOLISHED AND (N) AWNING, (N) LANDSCAPE & HARDSCAPE TO BE PROVIDED

INTERIOR WORK: - UNDER SEPARATE PERMIT.

PROJECT DATA

PARCEL AREA: 33,977 SQ. FT.
ZONING: D - (DOWNTOWN DISTRICT)
OCCUPANCY: M
CONSTRUCTION TYPE: TYPE V

AREA CALCULATIONS

GROSS FLOOR AREA: EXISTING
BUILDING 14,330 SQ.FT. NO CHANGE TO EXISTING SQ.FT.
TENANT 10,543 SQ.FT. NO CHANGE TO EXISTING SQ.FT.

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ENERGY CODE (CEC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
PALM DESERT MUNICIPAL CODE

Client:

RH

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73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:

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Stamps:



Agency Approvals:

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	PLANNING SUBMITTAL	12/20/2024
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

Sheet Title:

COVER SHEET

AP0.0

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ABBREVIATIONS

ABV ABOVE
AFF ABOVE FINISH FLOOR
AL, ALUM ALUMINUM
ANOD ANODIZED
ARCH ARCHITECT
BD BOARD
BDRM BEDROOM
BLDG BUILDING
BLKG BLOCKING
BLW BELOW
BTWN BETWEEN
BO BOTTOM OF
BOH BACK OF HOUSE
CAB CABINET
CALCS CALCULATIONS
CBC CALIFORNIA BUILDING CODE
CL CENTERLINE
CLG CEILING
CH CEILING HEIGHT
CLR CLEAR
COL COLUMN
CONC CONCRETE
CONSTR CONSTRUCTION
CONT CONTINUOUS
COORD COORDINATE
C/C CENTER TO CENTER
DF DOUGLAS FIR
DIA DIAMETER
DIM DIMENSION
EA EACH
ELEV ELEVATION
EQ EQUAL
(E) EXISTING
EXT EXTERIOR
FD FLOOR DRAIN
FLG FINISH FLOOR
FLUOR FLUORESCENT
FO FINISHED OPENING
FRMG FRAMING
FRF FIRE RESISTIVE TREATED
GC GENERAL CONTRACTOR
GL GLASS
GSM GALVANIZED SHEET METAL
GYP BD GYPSUM BOARD
HDF HIGH DENSITY FIBERBOARD
HT HEIGHT
HORIZ HORIZONTAL
HM HOLLOW METAL
HR HOUR
HVAC HEATING, VENTILATION, AIR CONDITIONING
INCAND INCANDESCENT
INCL INTERIOR
INT INTERIOR
L LEVEL
LED LIGHT EMITTING DIODE LIGHT
FIXTURE
MAX MAXIMUM
MDF MEDIUM DENSITY FIBERBOARD
MECH MECHANICAL
MFG MANUFACTURER
MISC MISCELLANEOUS
MIN MINIMUM
MTL METAL
MTR UTILITY METER
(N) NEW
NA NOT APPLICABLE
NIC NOT IN CONTRACT
NS NOT SPECIFIED
NTS NOT TO SCALE
OC ON CENTER
OPNG OPENING
P PAINT
PL PLATE
PLEX PLEXIGLASS
PLYWD PLYWOOD
PREFIN PREFINISHED
PM PROJECT MANAGER
PT PRESSURE TREATED
RAD RADIUS
RCP REFLECTED CEILING PLAN
REGS REGULATIONS
REF REFERENCE
REQD REQUIRED
RO ROUGH OPENING
SC SOLID CORE
SECT SECTION
SHT SHEET
SHWR SHOWER
SIM SIMILAR
STC SOUND TRANSMISSION
COEFFICIENT
SQUARE SQUARE FEET
SF SQUARE FEET
STL STEEL
STRUCT STRUCTURE
TRAN TRANSON
TEMP TEMPERATURE
TEMP GL TEMPERED GLASS
THRU THROUGH
TOP OF
TYP TYPICAL
UNLESS OTHERWISE NOTED
VCB VOLUME CONTROL
VERT VERTICAL
VG VERTICAL GRAIN
VIF VERIFY IN FIELD
WI WITH
WC WATER CLOSET
WO WALL OPENING
W/O WITHOUT
WD WOOD

SYMBOL LEGEND

GRID LINE
ELEVATION MARK
SECTION DESIGNATION
BUILDING SECTION MARK
SHEET NUMBER WHERE SECTION APPEARS
EXTERIOR ELEVATION MARK
NORTH ARROW
ROOM NAME/NUMBER
WINDOW TYPE SYMBOL - REF. WINDOW SCHEDULE
DOOR TAG
FLOOR ELEVATION TAG
SPOT ELEVATION TAG
LINEAR LIGHT FIXTURE
CASEWORK LIGHT FIXTURE
FAN COIL UNIT - HVAC
ACCESS PANEL
SUPPLY DIFFUSER
EXHAUST
DECORATIVE CHANDELIER LIGHT FIXTURE
SPOT LIGHT FIXTURE
STROBE SPEAKER
CCTV - CAMERA
WAP - WIRELESS ACCESS POINT
EM - EMERGENCY LIGHT
AUDIO SPEAKER
FIRE SPRINKLER
N.I.C. NOT IN CONTRACT
NORTH MARK

SHEET INDEX

Table with columns: SHEET #, SHEET TITLE, PLANNING SET, PLANNING REV 1. Includes categories like ARCHITECTURAL, LANDSCAPE, and LIGHTING.

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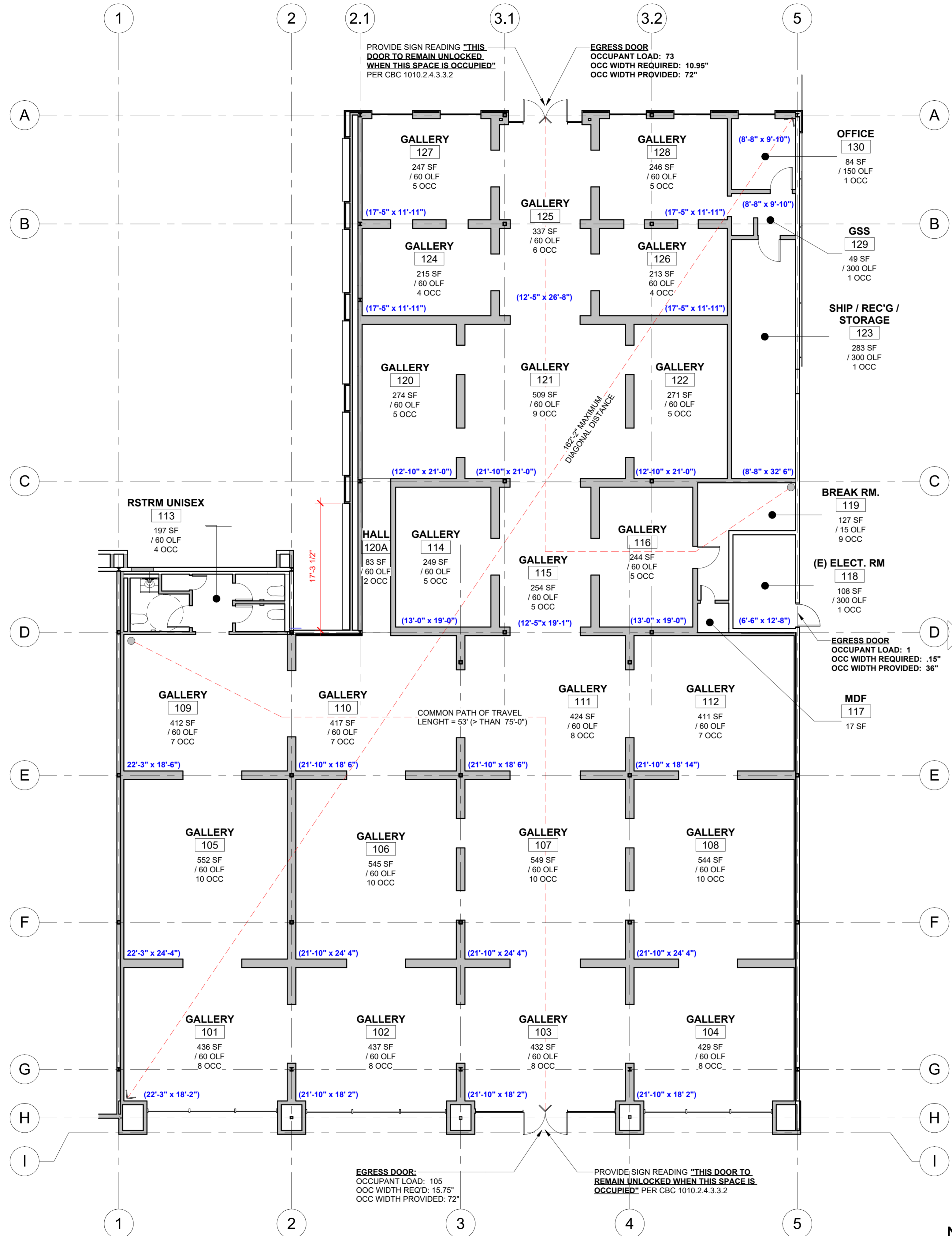
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Date: 08/28/2024
Project No: 2405
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Sheet Title:

SHEET INDEX, SYMBOLS,
LEGENDS & ABBREVIATIONS

AP0.0a



BUILDING CODE ANALYSIS:

THIS ANALYSIS IS A SUMMARY BASED ON THE APPLICABLE FEATURES OF THE 2022 TITLE 24, CALIFORNIA CODE OF REGULATIONS, CALIFORNIA BUILDING CODE AND ANY LOCAL AMENDMENTS. THE FOLLOWING INFORMATION INCLUDES REFERENCES TO PORTIONS OF THE CODE WHICH AFFECT THE DESIGN OF THE PROJECT. THE ARTICLES, SECTIONS, PARAGRAPHS AND TABLES WHICH ARE QUOTED/PARAPHRASED ARE NOT NECESSARILY PRESENTED IN THEIR ENTIRETY. SEE THE CODE FOR FURTHER REQUIREMENTS AND ELABORATIONS. SEE COVER SHEET A0.0 FOR GENERAL BUILDING DESCRIPTION.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

CONSTRUCTION TYPE	V	SECTION 602.5
PRIMARY USE GROUP	M	SECTION 309
GROSS SQ. FT.	10,543 SQ. FT.	
T.I. SCOPE SQ. FT.	10,543 SQ. FT.	
SPRINKLER SYSTEM	YES (NEW PROPOSED)	

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE BLDG. AREA	M 36,000 SQ. FT.	TABLE 506.2
ALLOWABLE BLDG. HEIGHT	M 60'-0"	TABLE 504.3
ALLOWABLE BLDG. STORES/AREA	M 1 STORY	TABLE 504.4
PROPOSED BLDG. AREA	M 10,543 SQ. FT.	
PROPOSED BLDG. HEIGHT	M +23'-0" A.F.F. AT HIGHT POINT	
PROPOSED BLDG. STORIES	M 1 STORY	

CHAPTER 6 - TYPES OF CONSTRUCTION

BUILDING ELEMENT	REQ. FIRE RATING (HOURS)	SECTION 602
STRUCTURAL FRAME	0	TABLE 601
BEARING WALLS - EXT	0	TABLE 601
BEARING WALLS - INT	0	TABLE 601
NON BEARING WALLS	0	TABLE 601
FLOOR CONSTRUCTION	0	TABLE 601
ROOF CONSTRUCTION	0	TABLE 601
EXT. WALLS <5' SEPARATION	2	TABLE 602
EXT. WALLS <10' SEPARATION	1	TABLE 602
EXT. WALLS <30' SEPARATION	1	TABLE 602
EXT. WALLS >30' SEPARATION	0	TABLE 602

CHAPTER 10 - MEANS OF EGRESS

USES: GROSS AREA / LOAD FACTOR / OCCUPANTS:

BUSINESS (B):	86 / 150 = 1 OCCUPANTS	TABLE 1004.5
MERCANTILE (M):	8,910 / 60 = 149 OCCUPANTS	TABLE 1004.5
SHIPPING & REC. / EQUIP. RM:	408 / 300 = 2 OCCUPANTS	TABLE 1004.5
BREAK ROOM (ASSEMBLY):	127 / 15 = 9 OCCUPANTS	TABLE 1004.5
TOTAL OCCUPANT LOAD:	161 OCCUPANTS	

TOTAL # OF EXITS REQUIRED:	2	SECTION 1006.3.3
EGRESS WIDTH PER OCC.:	15 x 161 OCC = 24.15" WIDTH REQ'D w/ SPRKLR.	SECTION 1005.3.2
MIN. DIST. BETWEEN EXITS:	1/3 DIAGO. DIST. OF BLDG. w/ SPRKLR.	SECTION 1007.1.1
MAX. DIAGONAL DISTANCE:	162' 2"	
MIN. DIST. BETWEEN EXITS:	162'-2" / 3 = 54'-1"	
ACTUAL DIST. BETWEEN EXITS:	135' 7"	
EXIT ACCESS TRAVEL DISTANCE:	250'-0" w/ SPRKLR.	SECTION 1017.2

CHAPTER 11 - ACCESSIBILITY:

BUILDING AND FACILITIES ARE DESIGNED AND CONSTRUCTED TO BE IN ACCORDANCE WITH CBC CHAPTER 11B. SEE ACCESSIBILITY SHEET FOR DETAIL REQUIREMENTS.

Client:



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APN 627-192-014

Architect:



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CODE ANALYSIS

AP0.0b

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FRONT BUILDING - DAY



FRONT VIEW - NIGHT

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RENDERINGS

AP0.1

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REAR OF BUILDING - DAY



WEST SIDE OF BUILDING - DAY



REAR OF BUILDING - PERSPECTIVE VIEW



REAR ENTRY - SIDE VIEW

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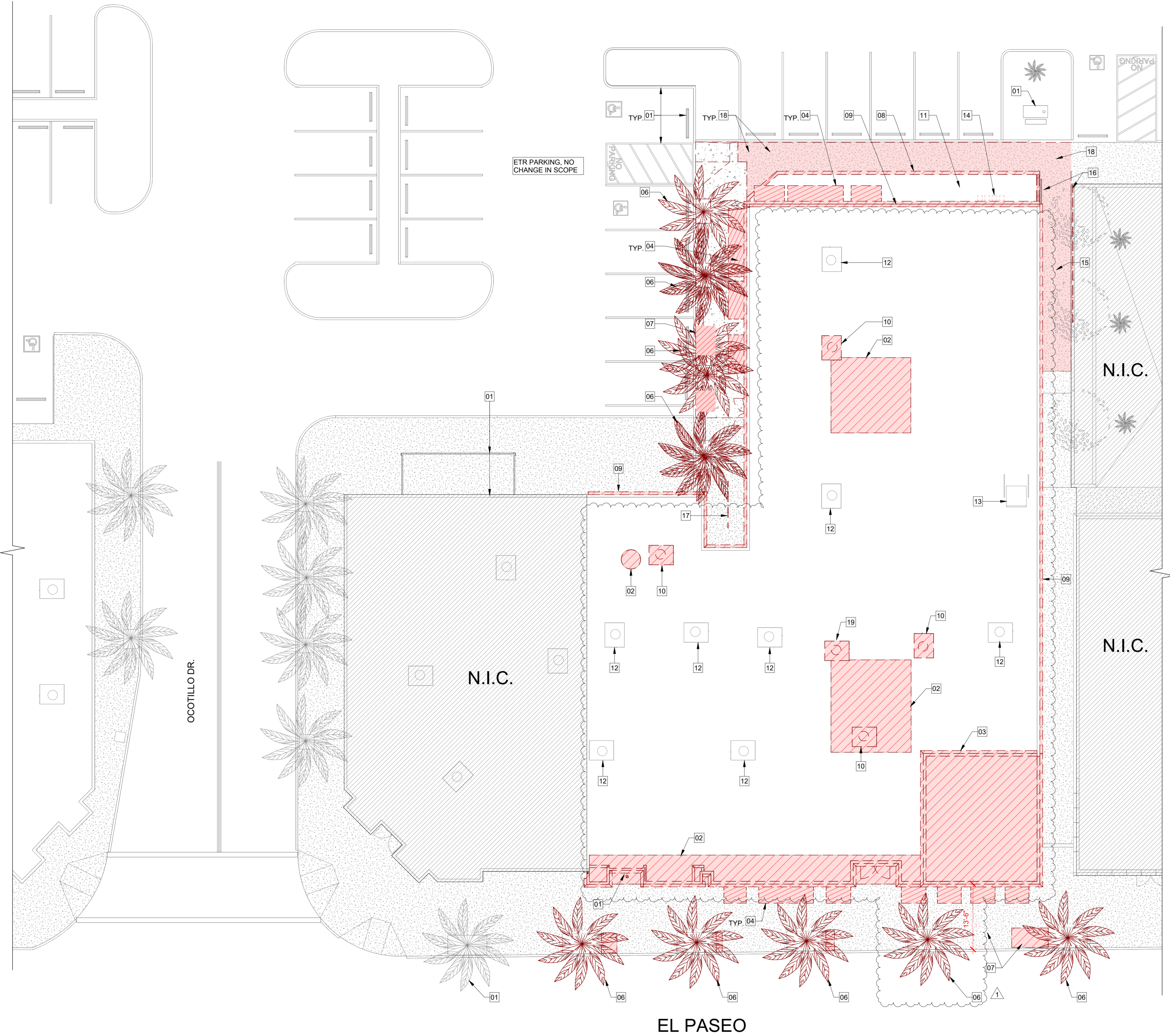
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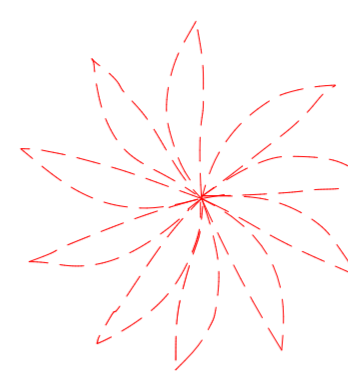
RENDERINGS

AP0.2

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LEGEND:

-  DEMOLITION / REMOVE
-  DEMO / RELOCATE PALM TREE

DEMOLITION KEYNOTES:

01. EXISTING TO REMAIN.
02. (E) ROOF AND FRAMING TO BE DEMO (PARTIAL), PREPARE AREA TO RECEIVE (N) CONSTRUCTION.
03. (E) PARAPET TOWER WALL AND ROOF TO BE DEMO, PREPARE AREA TO RECEIVE (N) ROOF & FRAMING.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WALL, CORNICE AND STEPPED ROOF AREA TO BE DEMO, PREPARE AREA TO RECEIVE (N) WALL & ROOF, TYP.
06. (E) PALM TREE TO BE REMOVE, TYP. (SEE LANDSCAPE DWG).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC & PAVERS. PATCH TO MATCH (E) CONDITIONS (WHERE INDICATED), RELOCATE PALM TREES PER PLAN, TYP. (S.L.D.)
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) CORNICE AT PARAPET TO BE DEMO, (SEE ELEVATIONS)
10. (E) HVAC UNIT TO BE REMOVE, RETAIN TO RELOCATE (S.M.D.)
11. (E) LANDSCAPE TO BE DEMO, TYP
12. (E) ROOF AND MECHANICAL UNITS TO REMAIN.
13. (E) ROOF ACCESS HATCH TO REMAIN.
14. (E) IRRIGATION BOXES TO BE REMOVED, RETAIN TO RELOCATED.
15. (E) RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) RAMP (S.L.D.)
16. (E) HAND RAIL TO BE DEMO.
17. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE. (SEE PLAN)
18. (E) CONC SIDEWALK TO BE DEMO, PREPARE TO RECEIVE (N) CONC. (S.L.D.)
19. (E) HVAC UNIT TO BE DEMO, (S.M.D.)

1 SITE PLAN - DEMO
3/32" = 1'-0"

Client:



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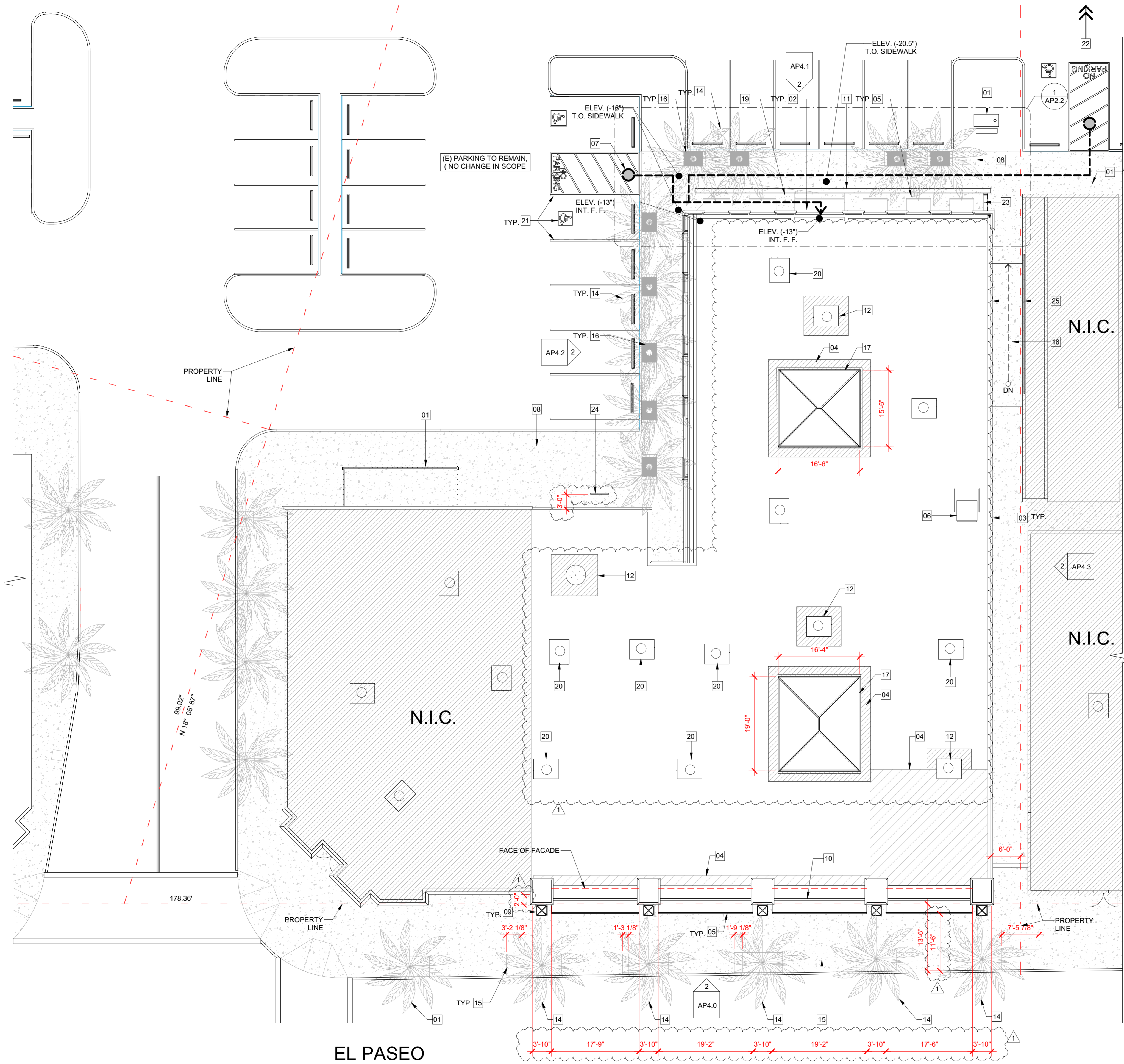
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Sheet Title:

SITE PLAN - DEMO

AP1.0

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1 SITE PLAN - PROPOSED
3/32" = 1'-0"

GENERAL NOTE:

- 1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- 2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- 3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- 4. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- 5. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- 6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.

PLAN KEYNOTES:

- 01. EXISTING TO REMAIN.
- 02. (N) WALL, (SEE ELEV.).
- 03. (N) CORNICE @ WALL PARAPET, TYP. (WHERE INDICATED, SEE ELEV.).
- 04. (N) ROOF & FRAME TO MATCH (E) CONDITION.
- 05. (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV.).
- 06. (E) ROOF ACCESS HATCH TO REMAIN.
- 07. (E) ACCESSIBLE ROUTE FROM PARKING TO ENTRY.
- 08. (N) SIDEWALK, (SEE LANDSCAPE DWGS.).
- 09. (N) LIGHT FIXTURE WALL MOUNTED (S.L.D. & ELEV.).
- 10. (E) ROOF PARAPET TO BE MODIFIED TO ACCOMMODATE (N) PILASTERS. AT FRONT & REAR OF BUILDING, (SEE ROOF PLAN, SHT. AP3.1).
- 11. (N) METAL PLANTERS, (SEE LANDSCAPE DWGS.).
- 12. (E) HVAC RTU RELOCATED.
- 13. (N) EXTERIOR LIGHTING, (SEE ELEV. & LIGHTING DWGS.).
- 14. (N) PALM TREES, (SEE LANDSCAPE DWGS.), TYP.
- 15. (N) SIDEWALK & PAVERS (WHERE INDICATED), (WHERE INDICATED), RELOCATE PALM TREES PER PLAN, TYP. (S.L.D.).
- 16. (N) METAL GRATE (3'-0"x5'-0", TYP.) AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
- 17. (N) SKYLIGHT, (SEE ROOF PLANS, SHT. AP3.0 & AP3.1).
- 18. (N) CONC RAMP, (SEE LANDSCAPE DWGS.).
- 19. (N) SLOPED WALKWAY MAX SLOPE OF 1:20, PER CBC 11B-403.3.
- 20. (E) ROOF AND MECHANICAL UNITS TO REMAIN.
- 21. (E) ACCESSIBLE STALL & ACCESS AISLE TO REMAIN.
- 22. (LOCATION OF TRAH ENCLOSURE IN PARKING MEDIAN BEYOND. SEE VICINITY MAP, SHEET A0.0 FOR LOCATION).
- 23. (N) STAIR, (SEE LANDSCAPE DWGS.).
- 24. (E) BIKE RACK RELOCATED.
- 25. (N) RAMP HANDRAIL (SEE LANDSCAPE DWGS.).

BIKE PARKING CALCULATION:

REFERENCE PALM DESERT MUNICIPAL CODE SECTION 25.46.060:
 TOTAL EXISTING PARKING STALLS 37
 MIN BIKE PARKING SPACES REQ: 5% OF TFOAL REQUIRED PARKING STALLS 37 STALLS X .05 = 1.85 OR MINIMUM OF 2 BIKE PARKING STALLED REQUIRED WITH 200 FEET OF BUILDING ENTRANCE

Client:



Project Title:

RH PALM DESERT GALLERY

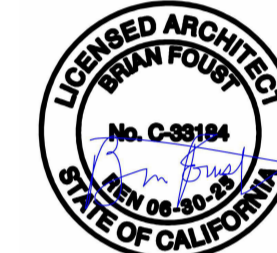
73100 El Paseo, Suites 3-10
 Palm Desert CA, 92260
 APN 627-192-014

Architect:



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Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author:

C.G.

Date:

08/28/2024

Project No.

2405

Scale:

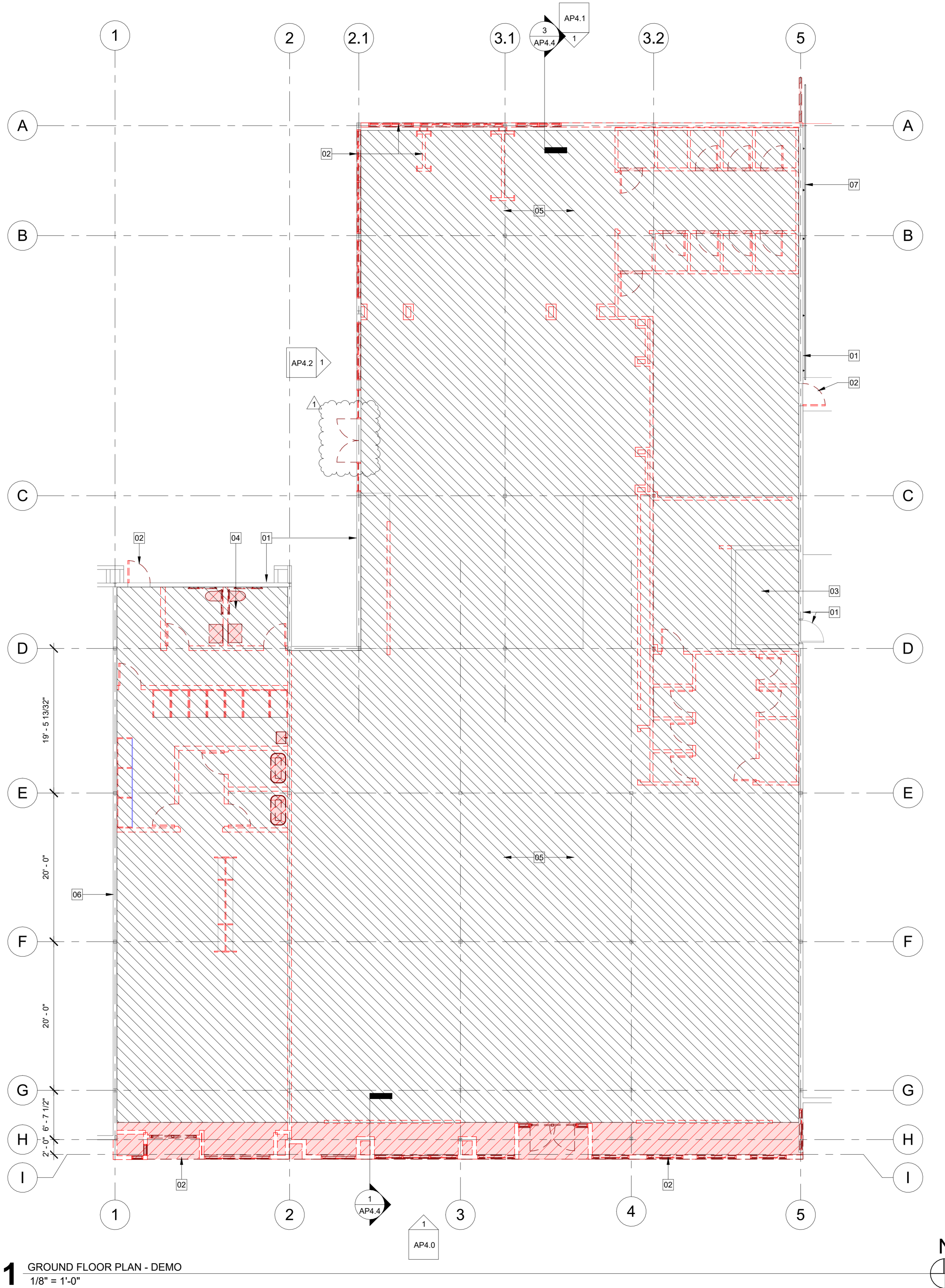
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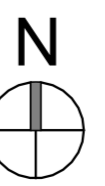
SITE PLAN - PROPOSED



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1 GROUND FLOOR PLAN - DEMO
1/8" = 1'-0"



LEGEND:

- DEMOLITION / REMOVE
- EXISTING TO REMAIN
- UNDER SEPARATE PERMIT

GENERAL PLAN NOTES:

1. DEMOLITION DRAWINGS MAY NOT SHOW ENTIRE SCOPE. CONTRACTOR IS TO REMOVE ALL EXISTING CONSTRUCTION AND SYSTEMS TO FACILITATE CONSTRUCTION OF NEW SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
4. CONTRACTOR SHALL PHASE DEMOLITION IN ACCORDANCE WITH AN OWNER APPROVED CONSTRUCTION SCHEDULE.
5. CONTRACTOR SHALL REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING WORK TO REMAIN. DAMAGE TO EXISTING WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACINGS AND SHORING. BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
8. CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF THE SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. OPERATIONS SHALL NOT BE RESUMED UNTIL SAFETY IS RESTORED.
9. CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
10. CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS, GRADE BEAMS AND SUPPORTING STRUCTURAL MEMBERS TO REMAIN. COORDINATE WITH STRUCTURAL DWGS. WHEN APPLICABLE.
11. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTIES DURING DEMOLITION & CONSTRUCTION. IN THE EVENT OF DAMAGE TO NEIGHBORING PROPERTIES, CONTRACTOR SHALL IMMEDIATELY CEASE ALL OPERATIONS AND NOTIFY THE ARCHITECT & OWNER. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
12. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK AND LEAVE THE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT AND OWNER.
13. ALL DEMOLITION DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL APPLICABLE CODES AND CITY REQUIREMENTS.
14. CAP OFF ANY EXISTING UTILITY NOT USED. DISCONNECT UTILITIES WITHIN DEMOLITION AREA IN COORDINATION WITH THE REQUIREMENTS OF THE NEW WORK. PROVIDE NOTIFICATION AND OBTAIN APPROVALS FROM UTILITY COMPANIES AS REQUIRED.
15. INSPECTION FOR DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS IS UNDER SEPARATE CONTRACT BY OTHERS.
16. ALL ELECTRICAL TO BE RELOCATED ABOVE NEW CEILING. REWIRE TO MINIMIZE J-BOXES WITHIN NEW UNITS WITHIN WORK AREA.

DEMO KEYNOTES:

01. (E) WALL TO REMAIN
02. (E) WALL, DOOR AND WINDOW TO BE DEMOLISHED
03. (E) ELECTRICAL ROOM TO REMAIN
04. (E) TOILET ROOMS TO BE DEMOLISHED
05. DEMOLISH ALL INTERIOR FINISHES (WALL, FLOORING AND CEILING), LIGHTING, PLUMBING, ELECTRICAL, AND MECHANICAL, PREP FOR NEW FINISHES.
06. (E) TENANT DEMISING WALL TO REMAIN
07. (E) RAMP HANDRAIL TO BE DEMO PREPARE AREA TO RECEIVE (NEW) HANDRAIL.

NOTE: FOR KEYNOTES AND ADD'L INFO. SEE AP1.0

Client:



Project Title:

RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:



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Stamps:



Agency Approvals:

No	Issue Description	Date
	PLANNING SUBMITTAL	12/20/2024
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

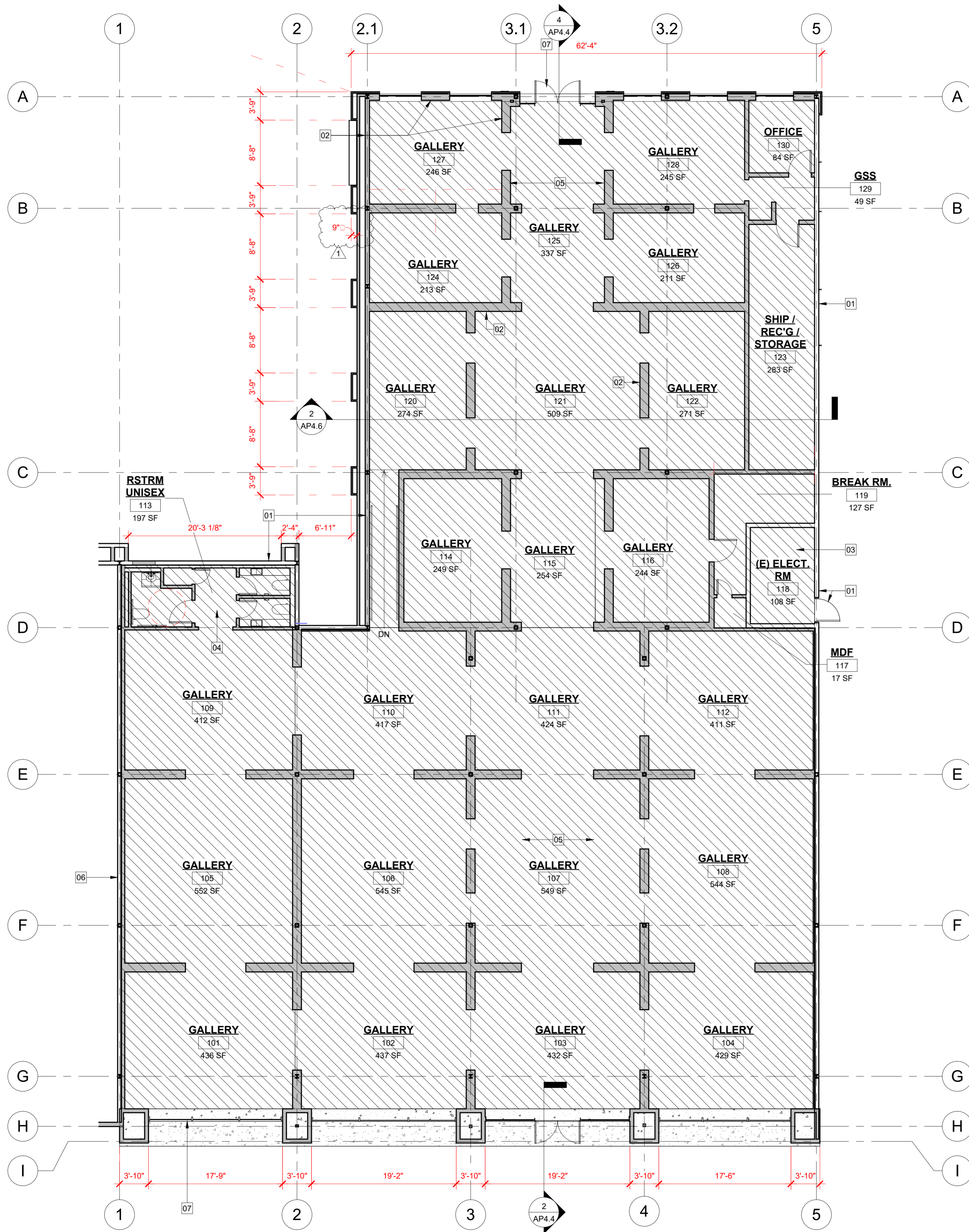
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Sheet Title:

FLOOR PLAN - DEMO

AP2.0

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LEGEND:

- EXISTING TO REMAIN
- NEW WALL, DOOR OR WINDOW
- UNDER SEPARATE PERMIT

GENERAL NOTE:

- ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.

FLOOR PLAN KEYNOTES:

- (E) WALL TO REMAIN.
- (N) WALLS, DOOR OR WINDOW
- (E) ELECTRICAL ROOM TO REMAIN
- (N) TOILET ROOMS
- PROVIDE ALL NEW INTERIOR FINISHES (WALL, FLOORING AND CEILING), LIGHTING, PLUMBING, ELECTRICAL, AND MECHANICAL.
- (E) TENANT DEMISING WALL TO REMAIN
- (N) EXTERIOR FACADE WALL
- (N) AWINGS

NOTE: FOR KEYNOTES AND ADD'L INFO. SEE AP2.2

1 FLOOR PLAN - PROPOSED
1/8" = 1'-0"

Client:



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Author: C.G.
 Date: 08/28/2024
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 Sheet Title:

FLOOR PLAN - PROPOSED

AP2.1

Client:

RH

Project Title:

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73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:

FA

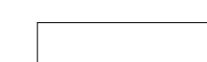

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LEGEND:

-  EXISTING TO REMAIN
-  NEW WALL, DOOR OR WINDOW

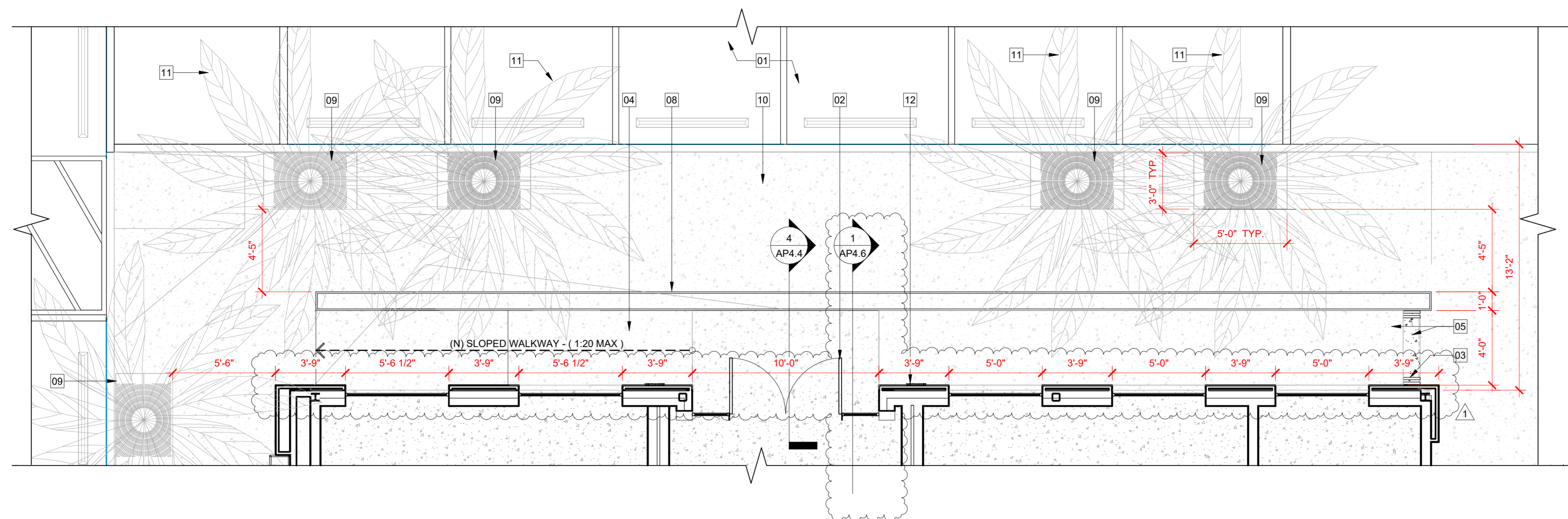
GENERAL NOTE:

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
5. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
7. SIGNAGE UNDER SEPARATE PERMIT.

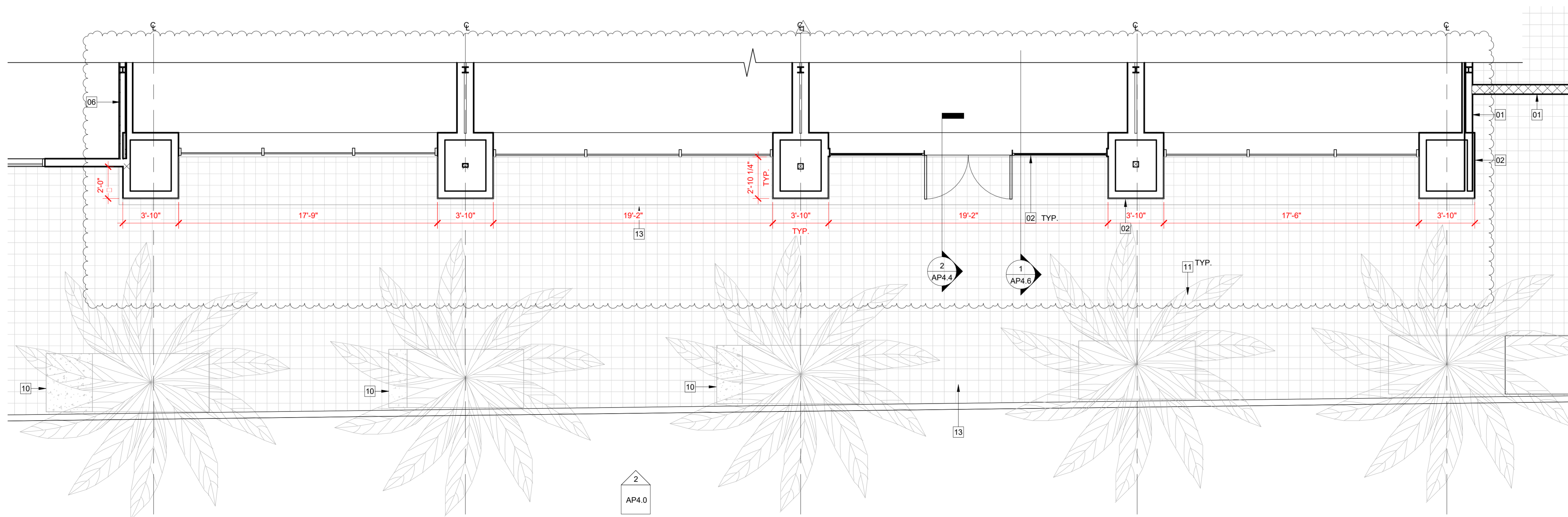
FLOOR PLAN KEYNOTES:

01. EXISTING TO REMAIN
02. (N) WALLS, DOOR OR WINDOW
03. (N) STAIR HANDRAIL
04. (N) SLOPE WALKWAY (1:20 MAX). (SEE LANDSCAPE DWGS.)
05. (N) WALKWAY & STAIR, (SEE LANDSCAPE DWGS.)
06. (E) TENANT DEMISING WALL TO REMAIN
07. (N) EXTERIOR FACADE WALL
08. (N) PLANTER, SEE LANDSCAPE DRAWINGS
09. (N) TREE METAL GRATE (3'-0" x 5'-0", TYP.) LEVEL WITH CONCRETE WALKWAY, SLIP RESISTANT, TYP. (SEE LANDSCAPE DWGS.)
10. (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
11. (N) PALM TREE, (SEE LANDSCAPE DWGS.)
12. (N) SIGNAGE, (UNDER SEPARATE PERMIT)
13. (N) SIDEWALK & PAVERS (WHERE INDICATED) (SEE LANDSCAPE DWGS.)

NOTE: FOR ADDITIONAL INFO. SEE SHEET AP4.4



1 ENLARGED FLOOR PLAN - NORTH ENTRY - PROPOSED
1/4" = 1'-0"

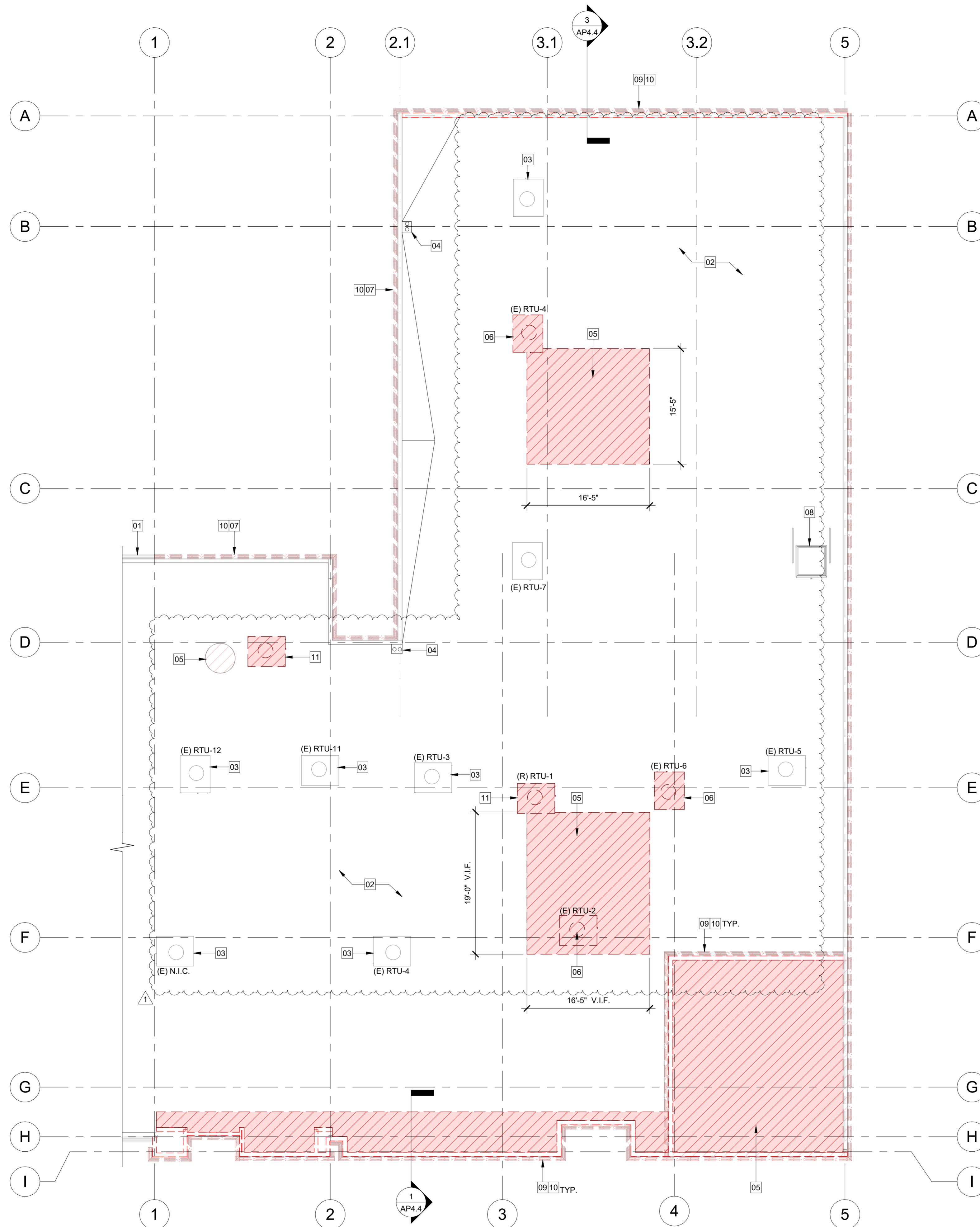


2 ENLARGED FLOOR PLAN - SOUTH ENTRY - PROPOSED
1/4" = 1'-0"

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AP2.2

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1 ROOF PLAN - EXISTING
1/8" = 1'-0"

ROOF DEMO NOTES:

1. DEMOLITION DRAWINGS MAY NOT SHOW ENTIRE SCOPE. CONTRACTOR IS TO REMOVE ALL EXISTING CONSTRUCTION AND SYSTEMS TO FACILITATE CONSTRUCTION OF NEW SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
4. CONTRACTOR SHALL PHASE DEMOLITION IN ACCORDANCE WITH AN OWNER APPROVED CONSTRUCTION SCHEDULE.
5. CONTRACTOR SHALL REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING WORK TO REMAIN. DAMAGE TO EXISTING WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE, PROVIDE AND PLACE BRACING AND SHORING, BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
8. CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF THE SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
9. CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
10. CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS, GRADE BEAMS AND SUPPORTING STRUCTURAL MEMBERS TO REMAIN. COORDINATE WITH STRUCTURAL DWGS. WHEN APPLICABLE.
11. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTIES DURING DEMOLITION & CONSTRUCTION. IN THE EVENT OF DAMAGE TO NEIGHBORING PROPERTIES, CONTRACTOR SHALL IMMEDIATELY CEASE ALL OPERATIONS AND NOTIFY THE ARCHITECT & OWNER. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
12. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK AND LEAVE THE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT AND OWNER.
13. ALL DEMOLITION DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL APPLICABLE CODES AND CITY REQUIREMENTS.
14. CAP OFF ANY EXISTING UTILITY NOT USED. DISCONNECT UTILITIES WITHIN DEMOLITION AREA IN COORDINATION WITH THE REQUIREMENTS OF THE NEW WORK. PROVIDE NOTIFICATION AND OBTAIN APPROVALS TO/FROM UTILITY COMPANIES AS REQUIRED.
15. INSPECTION FOR DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS IS UNDER SEPARATE CONTRACT BY OTHERS.
16. ALL ELECTRICAL TO BE RELOCATED ABOVE NEW CEILING. REWIRE TO MINIMIZE J-BOXES WITHIN NEW UNITS WITHIN WORK AREA.

ROOF DEMO KEYNOTES:

01. EXISTING TO REMAIN.
02. (E) ROOF MEMBRANE TO REMAIN.
03. (E) RTU TO REMAIN.
04. (E) ROOF DRAINS & SLOPED DRAINAGE TO REMAIN.
05. (E) ROOF AREA TO BE DEMO.
06. (E) RTU TO BE RELOCATED
07. (E) WALL TO REMAIN PREPARE TO RECEIVE PAINT, WHERE INDICATED. (SEE ELEV. & SCHED. AP4.0.)
08. EXISTING ROOF ACCESS HATCH TO REMAIN.
09. (E) WALL TO BE DEMO (SEE ELEV), TYP.
10. (E) CORNICE TO BE DEMO, WHERE INDICATED, TYP.
11. (E) RTU TO BE DEMO, (S.M.D.)

Client:



Project Title:

RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:



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Agency Approvals:

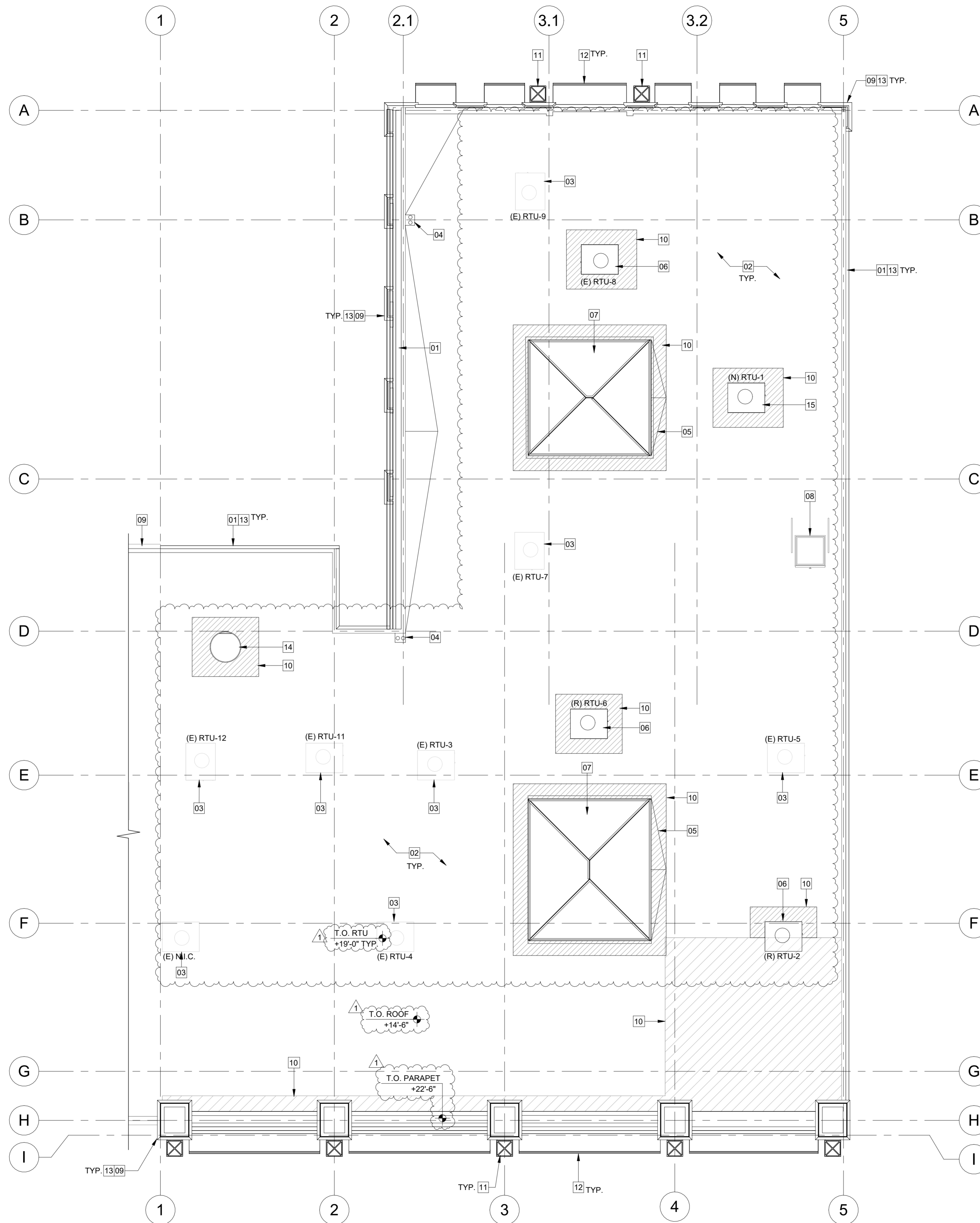
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Author: C.G.
Date: 08/28/2024
Project No. 2405
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ROOF PLAN - DEMO

AP3.0

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GENERAL ROOF NOTES:

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL INT. WALL AND CLG. FINISHES TO COMPLY WITH BLDG. CODE REGS. AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
5. INT PARTITION WALLS ARE NOT DESIGNED TO SUPPORT STRUCTURAL LOADS OF CASEWORK, EQUIPMENT OR ACCESSORIES. (U.O.N.)
6. ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED, TYPICAL. G.C. TO COORDINATE ALL WOOD BLOCKING AS REQUIRED FOR CASEWORK.
7. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
8. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
9. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
10. ALL ROOF PATCH AREAS TO MATCH (E) CONDITIONS, TYP.
11. ALL MECH. EQUIP. TYPE, LOCATIONS AND ADDITIONAL INFO., REFER TO MECH DWGS.

ROOF PLAN KEYNOTES:

01. (E) PARAPET WALLS TO REMAIN. REMOVE (E) CORNICE, PREPARE TO RECEIVE PAINT (WHERE INDICATED), SEE SCHEDULE AP4.0.
02. (E) ROOF MEMBRANE TO REMAIN.
03. (E) RTU TO REMAIN, (S.M.D.).
04. (E) ROOF DRAINS & SLOPED DRAINAGE TO REMAIN.
05. (N) ROOF CRICKET.
06. (E) RELOCATED RTU, (S.M.D.).
07. (N) SKYLIGHT.
08. (E) ROOF ACCESS HATCH TO REMAIN.
09. (N) WALL, (SEE ELEVATIONS)
10. (N) ROOF PATCH AREA TO MATCH (E) CONDITIONS, TYP.
11. (N) LIGHT FIXTURE, WALL MOUNTED (SEE LIGHTING DWGS)
12. (N) FABRIC AWNING
13. (N) CORNICE, (SEE ELEVATIONS)
14. (N) MECH. EXHAUST FAN, (S.M.D.)
15. (N) RTU, (S.M.D.)

1 ROOF PLAN - PROPOSED
1/8" = 1'-0"

Client:



Project Title:

RH PALM DESERT GALLERY

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Palm Desert CA, 92260
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Architect:



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Author: _____ C.G.
 Date: _____ 08/28/2024
 Project No. _____ 2405
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ROOF PLAN - PROPOSED

AP3.1

GENERAL NOTE:

- ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
- ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
- FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

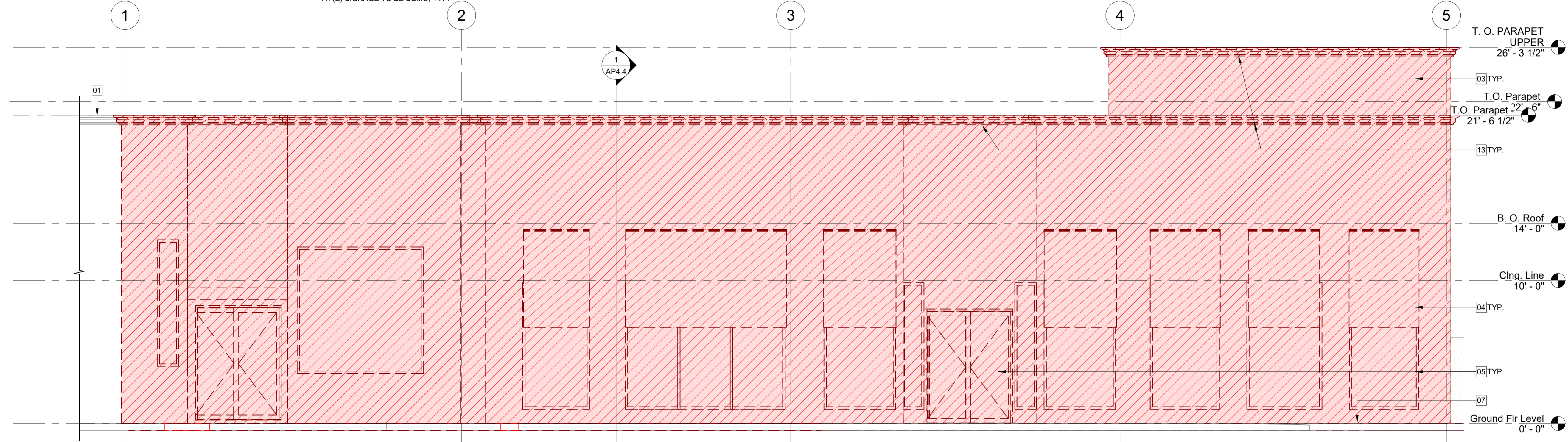
ELEVATION KEYNOTES - DEMOLITION:

- EXISTING TO REMAIN.
- (E) DOOR & FRAME TO BE DEMO, TYP.
- (E) WALL TO BE DEMO, TYP.
- (E) AWNING TO BE DEMO, TYP.
- (E) WINDOW & FRAME TO BE DEMO, TYP.
- (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
- (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED), (SEE LANDSCAPE DWGS).
- (E) CONC. CURB TO BE DEMO, (SEE PLAN)
- (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS).
- (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS).
- (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
- (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC., (SEE LANDSCAPE DWGS.)
- (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
- (E) SIGNAGE TO BE DEMO, TYP.

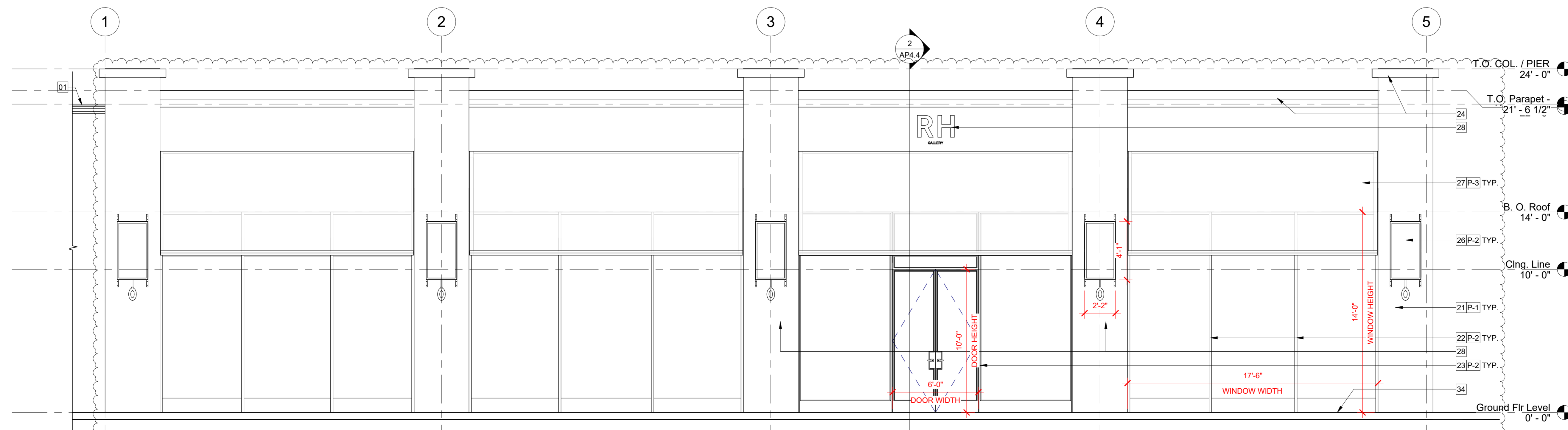
ELEVATION KEYNOTES (NEW CONST.):

- (N) WALL (STUCCO PLASTER), TYP.
- (N) WINDOW SYSTEM, (SEE PLAN).
- (N) DOOR SYSTEM, (SEE PLAN).
- (N) CORNICE (WHERE INDICATED), TYP.
- (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
- (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS).
- (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS).
- (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
- (N) BIKE RACK, (SEE LANDSCAPE DWGS)
- (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
- (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
- (N) STAIR (SEE LANDSCAPE DWGS.).

- (N) MTL. PLANTER, (SEE LANDSCAPE DWGS.)
- (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
- (N) RAMP, (SEE LANDSCAPE DWGS.)
- (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
- (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



1 SOUTH ELEVATION (FRONT) - DEMO
1/4" = 1'-0"



2 SOUTH ELEVATION (FRONT) - PROPOSED
1/4" = 1'-0"

THIS DRAWING IS TO BE PRINTED FULL SIZE AT 24"x36" ALL RIGHTS RESERVED. MATERIAL MAY NOT BE REPRODUCED IN ANY FORM WITHOUT PERMISSION BY FOUST ARCHITECTURE

Client:

RH

Project Title:

RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:

FA

FOUST ARCHITECTURE
4804 Mission St.
San Francisco, CA 94114
brian@foustarchitecture.com
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.
Date: 08/28/2024
Project No: 2405
Scale: As Indicated
Sheet Title:

EXTERIOR ELEVATIONS

AP4.0

Client:



Project Title:

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Author: C.G.
Date: 08/28/2024
Project No: 2405
Scale: As Indicated
Sheet Title:

EXTERIOR ELEVATIONS

AP4.1

GENERAL NOTE:

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
5. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
7. ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
8. FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

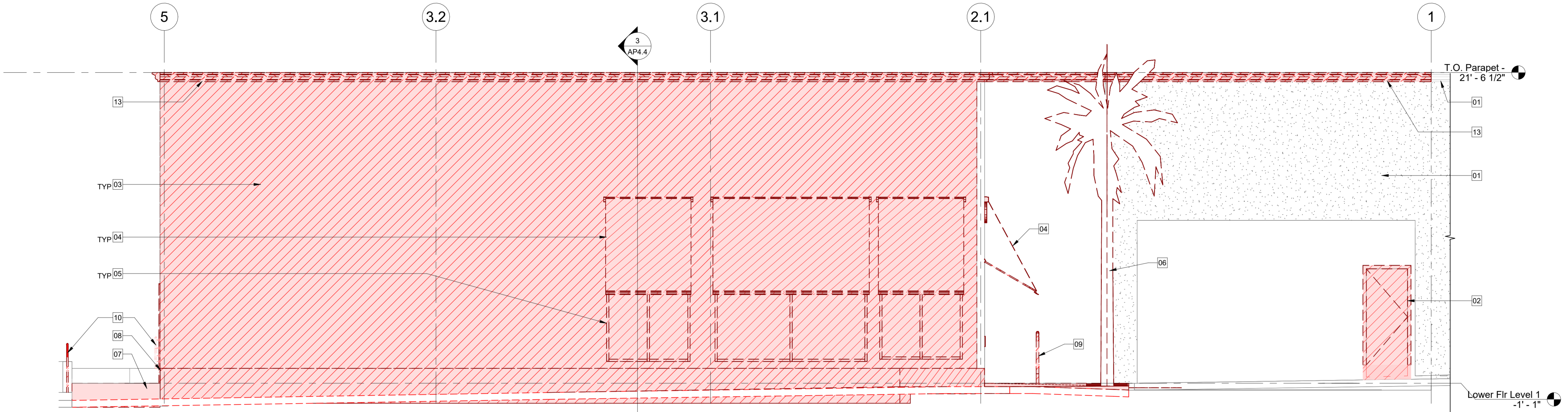
ELEVATION KEYNOTES - DEMOLITION:

01. EXISTING TO REMAIN.
02. (E) DOOR & FRAME TO BE DEMO, TYP.
03. (E) WALL TO BE DEMO, TYP.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WINDOW & FRAME TO BE DEMO, TYP.
06. (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS.).
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS.).
10. (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.).
11. (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
12. (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC., (SEE LANDSCAPE DWGS.)
13. (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
14. (E) SIGNAGE TO BE DEMO, TYP.

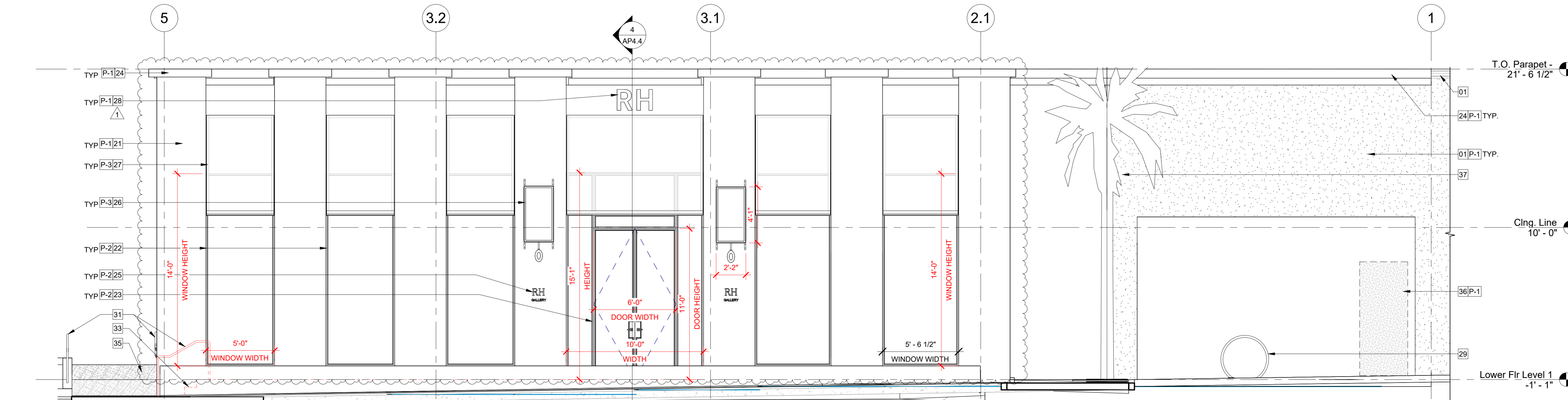
ELEVATION KEYNOTES (NEW CONST.):

21. (N) WALL (STUCCO PLASTER), TYP.
22. (N) WINDOW SYSTEM, (SEE PLAN).
23. (N) DOOR SYSTEM, (SEE PLAN).
24. (N) CORNICE (WHERE INDICATED), TYP.
25. (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
26. (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS.).
27. (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS.).
28. (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
29. (N) BIKE RACK, (SEE LANDSCAPE DWGS)
30. (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
31. (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
32. (N) STAIR (SEE LANDSCAPE DWGS.).

33. (N) MTL. PLANTER, (SEE LANDSCAPE DWGS.)
34. (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
35. (N) RAMP, (SEE LANDSCAPE DWGS.)
36. (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
37. (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



1 EXTERIOR BLDG. ELEVATION NORTH - DEMO
1/4" = 1'-0"



2 EXTERIOR BLDG. ELEVATION NORTH - PROPOSED
1/4" = 1'-0"

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- ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
- FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

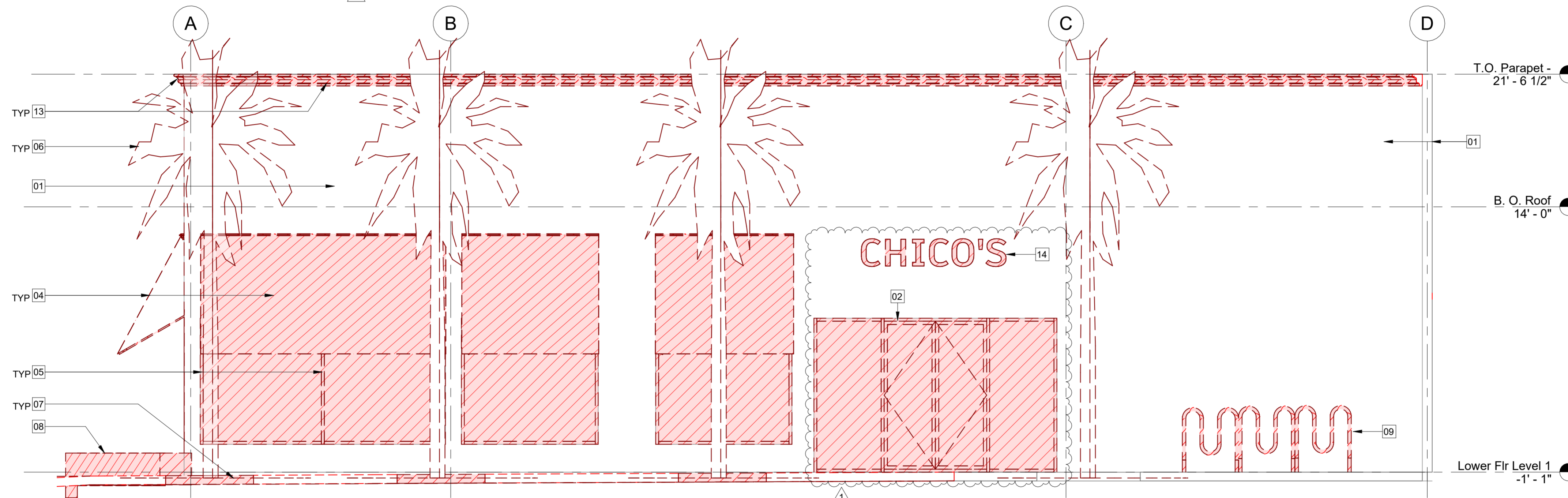
ELEVATION KEYNOTES - DEMOLITION:

- EXISTING TO REMAIN.
- (E) DOOR & FRAME TO BE DEMO, TYP.
- (E) WALL TO BE DEMO, TYP.
- (E) AWNING TO BE DEMO, TYP.
- (E) WINDOW & FRAME TO BE DEMO, TYP.
- (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
- (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED). PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS.)
- (E) CONC. CURB TO BE DEMO, (SEE PLAN)
- (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS.).
- (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.).
- (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
- (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC. (SEE LANDSCAPE DWGS.)
- (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
- (E) SIGNAGE TO BE DEMO, TYP.

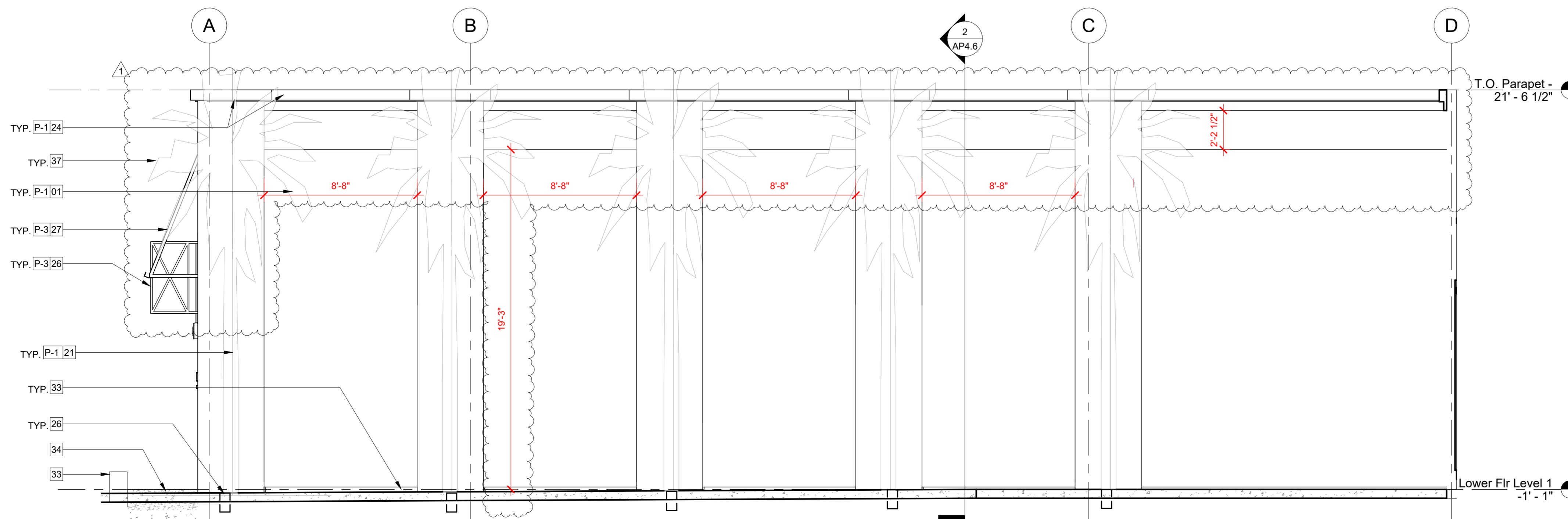
ELEVATION KEYNOTES (NEW CONST.):

- (N) WALL (STUCCO PLASTER), TYP.
- (N) WINDOW SYSTEM, (SEE PLAN).
- (N) DOOR SYSTEM, (SEE PLAN).
- (N) CORNICE (WHERE INDICATED), TYP.
- (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
- (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS.).
- (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS.).
- (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
- (N) BIKE RACK, (SEE LANDSCAPE DWGS)
- (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
- (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
- (N) STAIR (SEE LANDSCAPE DWGS.).

- (N) 9" DEEP PLANTER, (SEE LANDSCAPE DWGS.)
- (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
- (N) RAMP, (SEE LANDSCAPE DWGS.)
- (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
- (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



1 EXTERIOR BLDG. ELEVATION WEST - DEMO
1/4" = 1'-0"



2 EXTERIOR BLDG. ELEVATION WEST - PROPOSED
1/4" = 1'-0"

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RH

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Palm Desert CA, 92260
APN 627-192-014

Architect:

FA

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San Francisco, CA 94114
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Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.
Date: 08/28/2024
Project No: 2405
Scale: As Indicated
Sheet Title:

EXTERIOR ELEVATIONS

AP4.2

GENERAL NOTE:

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
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3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
5. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
7. ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
8. FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

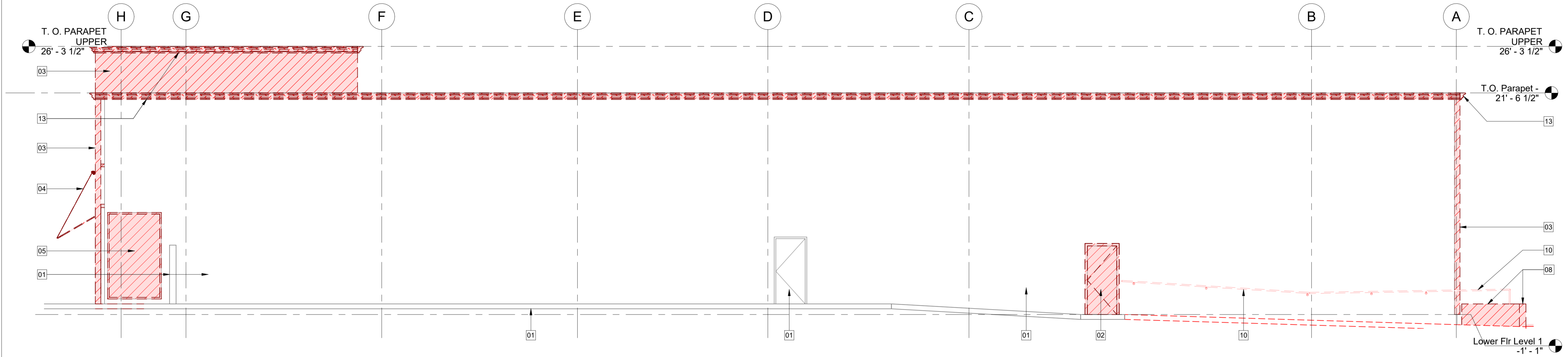
ELEVATION KEYNOTES - DEMOLITION:

01. EXISTING TO REMAIN.
02. (E) DOOR & FRAME TO BE DEMO, TYP.
03. (E) WALL TO BE DEMO, TYP.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WINDOW & FRAME TO BE DEMO, TYP.
06. (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED). PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS).
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS).
10. (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.).
11. (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
12. (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC., (SEE LANDSCAPE DWGS.)
13. (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
14. (E) SIGNAGE TO BE DEMO, TYP.

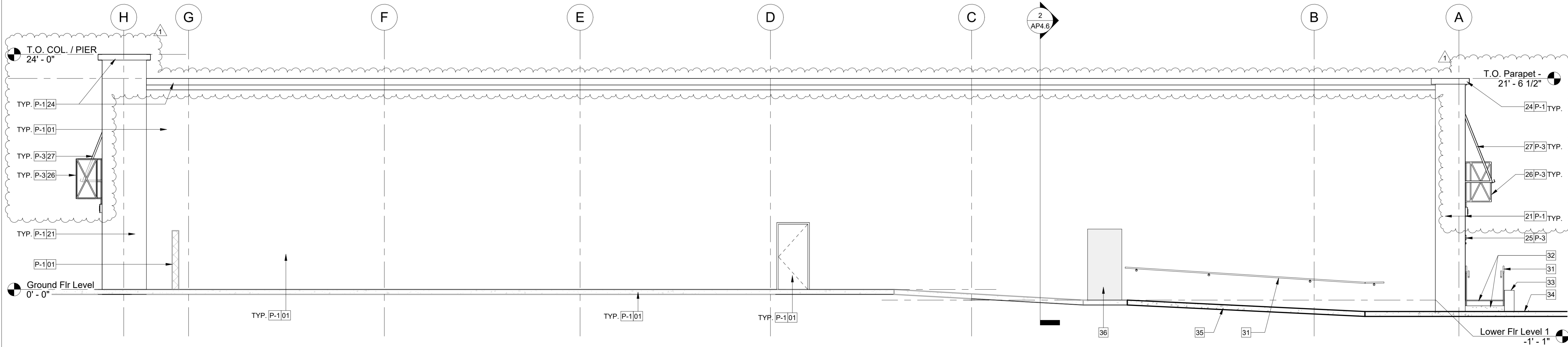
ELEVATION KEYNOTES (NEW CONST.):

21. (N) WALL (STUCCO PLASTER), TYP.
22. (N) WINDOW SYSTEM, (SEE PLAN).
23. (N) DOOR SYSTEM, (SEE PLAN).
24. (N) CORNICE (WHERE INDICATED), TYP.
25. (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
26. (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS.).
27. (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS.).
28. (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
29. (N) BIKE RACK, (SEE LANDSCAPE DWGS)
30. (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
31. (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
32. (N) STAIR (SEE LANDSCAPE DWGS.).

33. (N) MTL. PLANTER, (SEE LANDSCAPE DWGS.)
34. (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
35. (N) RAMP, (SEE LANDSCAPE DWGS.)
36. (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
37. (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



1 EXTERIOR BLDG. ELEVATION EAST - DEMO
3/16" = 1'-0"



2 EXTERIOR BLDG. ELEVATION EAST - PROPOSED
3/16" = 1'-0"

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Client:



Project Title:

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APN 627-192-014

Architect:



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Stamps:



Agency Approvals:

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1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

Sheet Title:

EXTERIOR ELEVATIONS

AP4.3

DEMOLITION KEYNOTES:

- 01. EXISTING TO REMAIN.
- 02. (E) CORNICE TO BE DEMO. (SEE ELEVATIONS).
- 03. (E) WALL TO BE DEMO. (SEE ELEV.).
- 04. (E) DOOR TO BE DEMO. (SEE ELEV.).
- 05. (E) WINDOW TO BE DEMO. (SEE ELEV.).
- 06. (E) AWNING TO BE REMOVE AND RETURN TO OWNER, TYP.
- 07. (E) CONC. SIDEWALK TO BE DEMO (PARTIAL), PREPARE AREA TO RECEIVE (N) CONC. (& PAVERS WHERE INDICATED), PATCH TO MATCH (E) CONDITIONS. (SEE PLANS & LANDSCAPE DWGS).
- 08. (E) CONC. CURB TO BE DEMO. (SEE ELEV.).

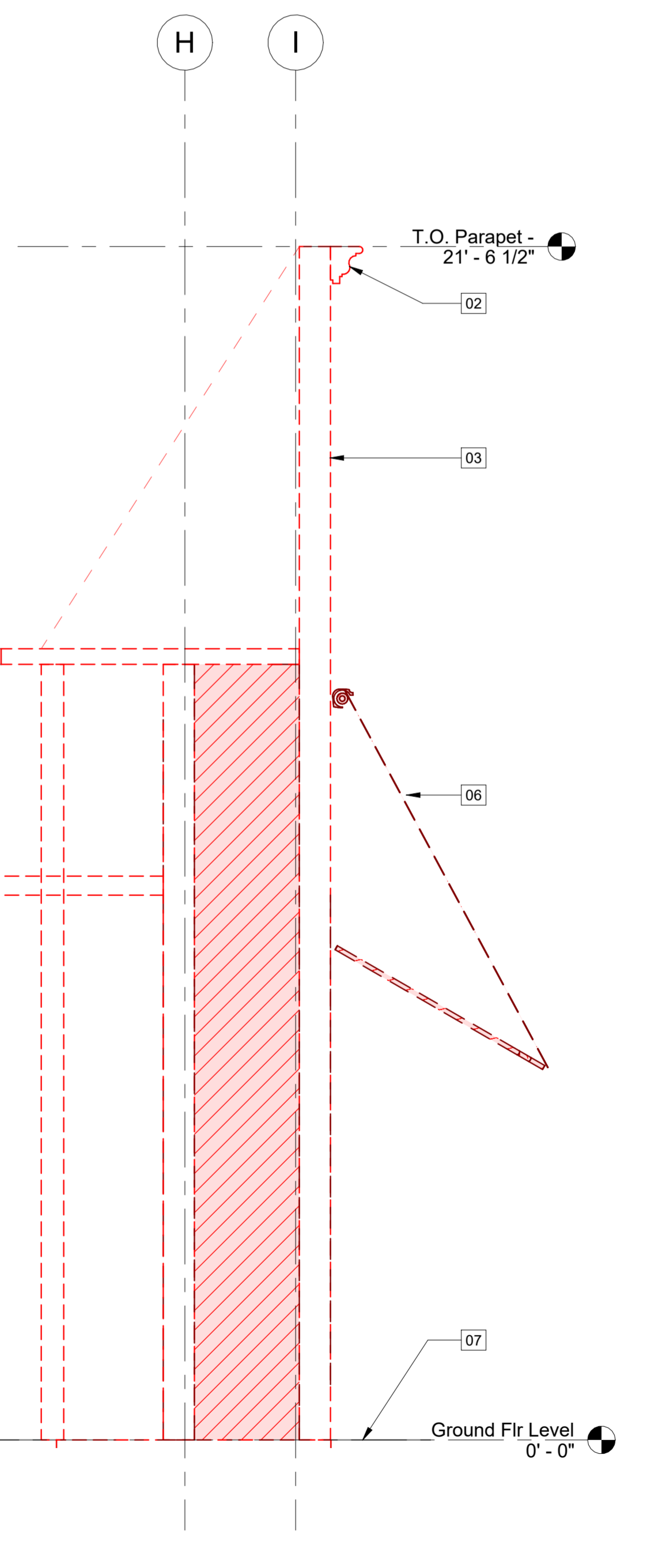
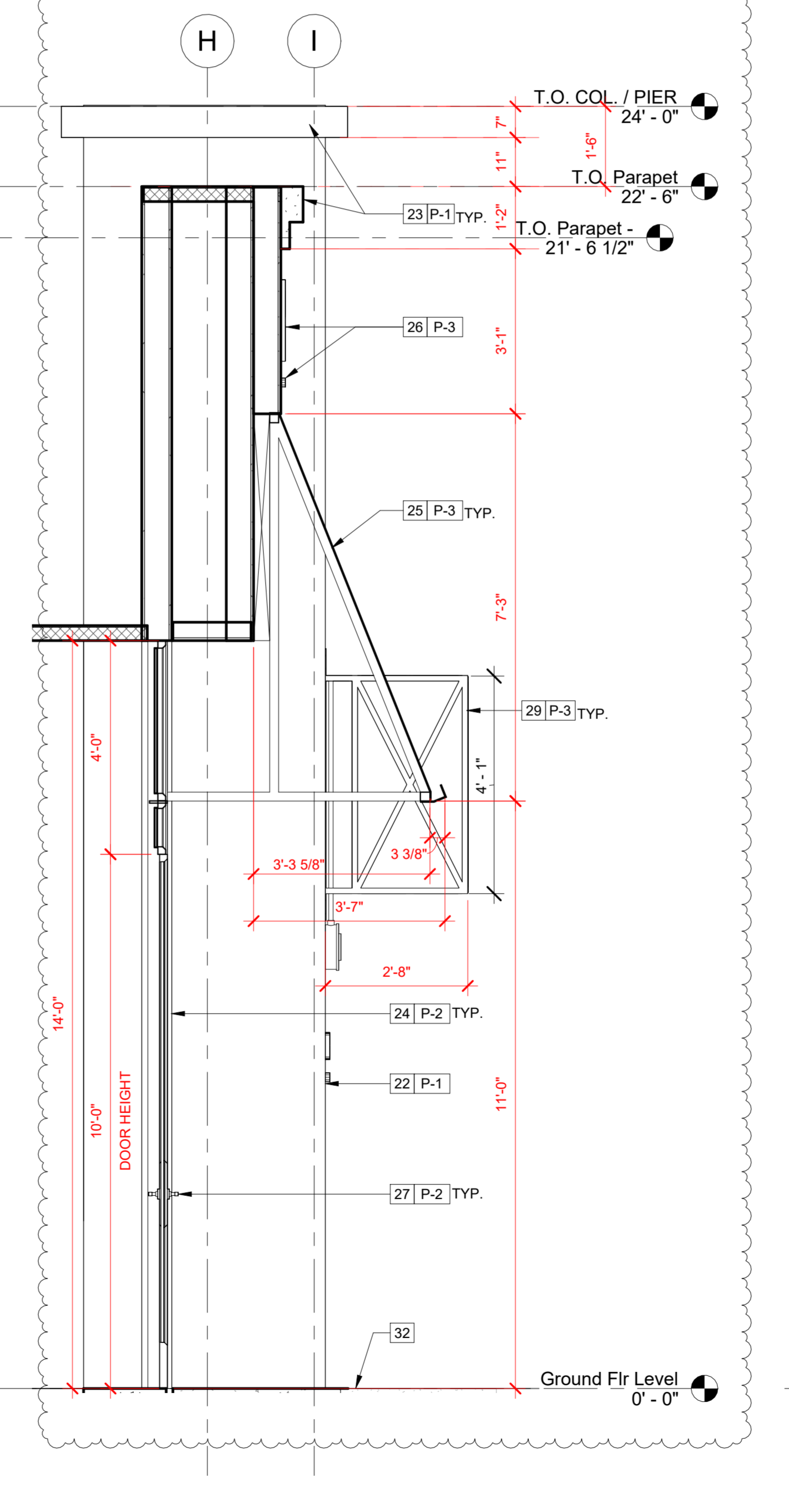
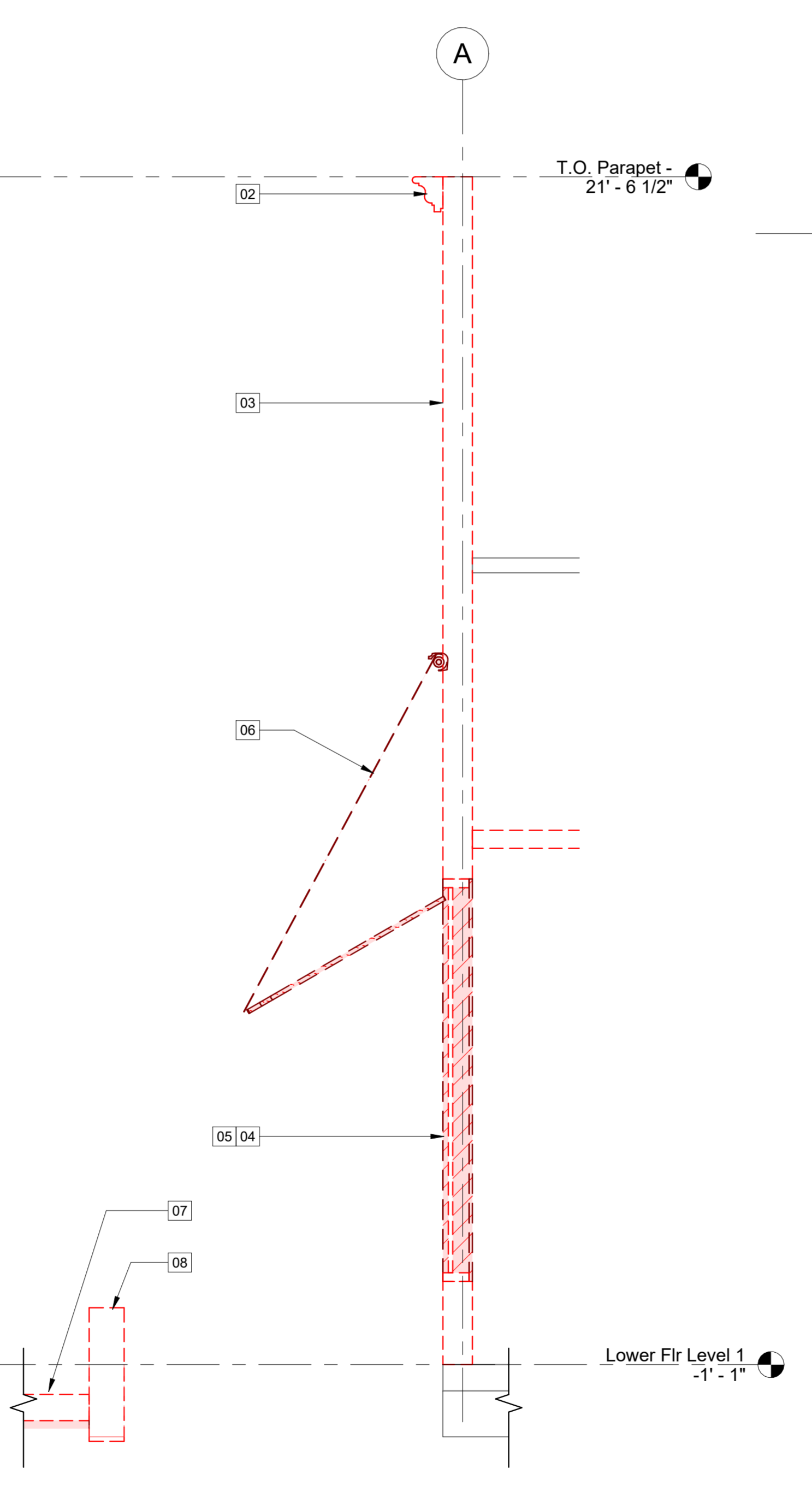
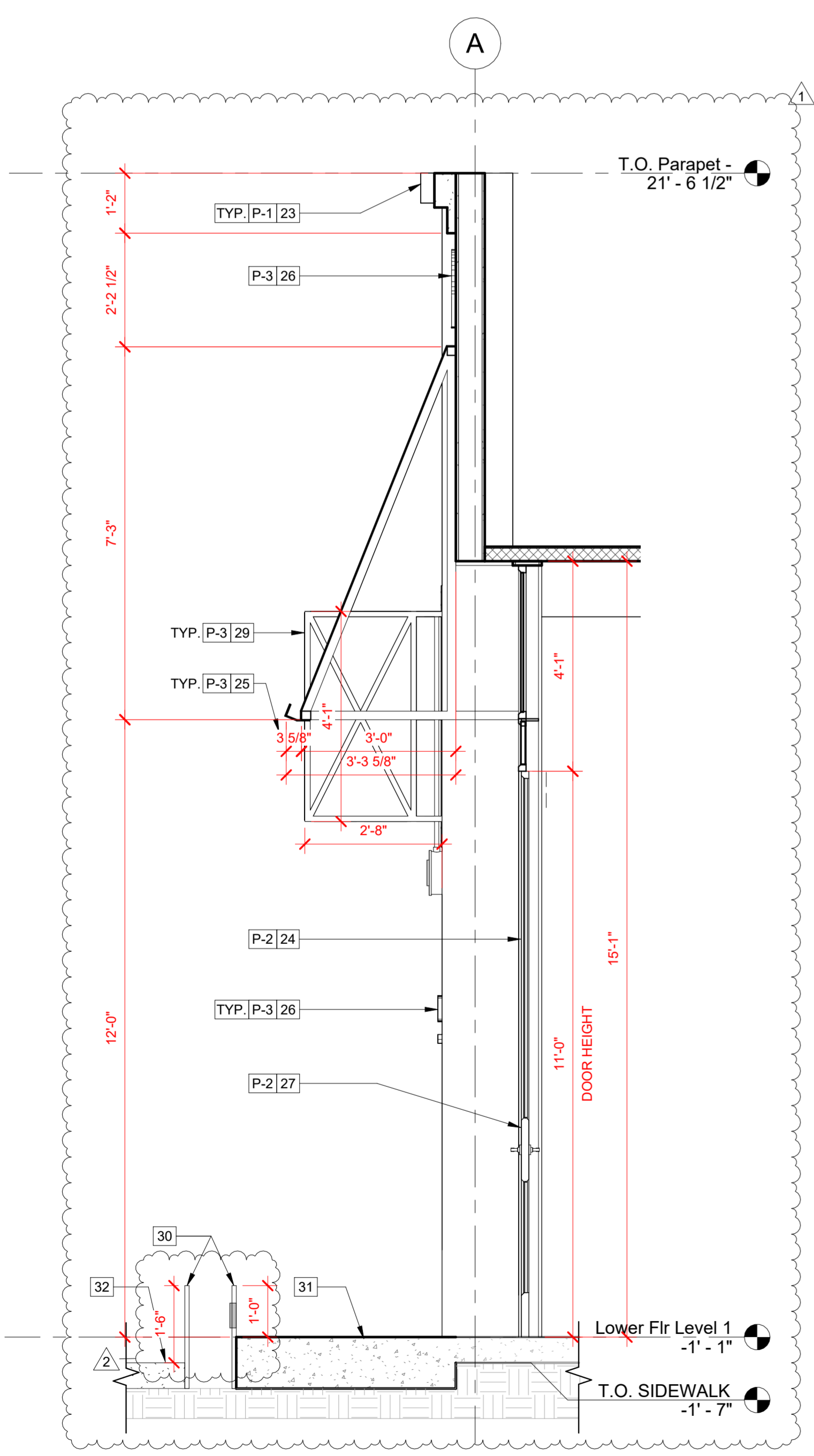
PLAN KEYNOTES:

- 21. EXISTING TO REMAIN
- 22. (N) WALL FACADE. (SEE ELEV)
- 23. (N) WALL CORNICE, TYP.
- 24. (N) (N) WINDOW SYSTEM. (SEE ELEV.)
- 25. (N) METAL AWNING WITH LIGHT FIXTURE. (SEE ELEV. & LIGHTING DWGS)
- 26. (N) METAL BACK-LITE SIGNAGE. (SEE ELEV., LIGHTING & SIGNAGE DWGS)
- 27. (N) DOOR SYSTEM. (SEE ELEV.).
- 28. (N) HANDRAIL. (SEE LANDSCAPE DWGS).
- 29. (N) LIGHT FIXTURE (SEE LIGHTING DWGS.).
- 30. (N) METAL PLANTERS. (SEE LANDSCAPE DWGS).
- 31. (N) CONC. SLOPED WALKWAY. (SEE LANDSCAPE DWGS.)
- 32. (N) SIDEWALK & PAVERS (WHERE INDICATED, SEE PLAN & LANDSCAPE DWGS.)

FINISH SCHEDULE - EXTERIOR

MARK	MANUF.	COLOR	COLOR #	REMARKS
P-1	PAINT	MARITIME WHITE	OC-5	50% FORMULA - EXTERIOR BUILDING
P-2	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	STORE FRONT & WINDOW FRAMES
P-3	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	METAL AWNINGS & METAL SIGNAGE
FB-1		HEATHER BEIGE...	CUSTOM	CUSTOM FABRIC ON EXTERIOR AWNING...

NOTE: FOR EXTERIOR LIGHTING ADDL. INFO. SEE LIGHTING DWGS.
 FOR LANDSCAPE ADDL. INFO. SEE LANDSCAPE DWGS.
 FOR SIGNAGE, SEE SIGNAGE DWGS. -(UNDER SEPARATE PERMIT).



4 STOREFRONT NORTH - SECTION / ELEVATION - PROPOSED
 1/2" = 1'-0"

3 STOREFRONT NORTH - SECTION / ELEVATION - DEMO
 1/2" = 1'-0"

2 STOREFRONT SOUTH - SECTION / ELEVATION - PROPOSED
 1/2" = 1'-0"

1 STOREFRONT SOUTH - SECTION / ELEVATION - DEMO
 1/2" = 1'-0"

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Stamps:



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1	PLANNING SUBMITTAL	12/20/2024
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	PLANNING RE-SUBMITTAL 2	02/05/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

Sheet Title:

STOREFRONT SECTION / ELEVATION

AP4.4

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FRONT ELEVATIONS - EXISTING



FRONT ELEVATIONS - PROPOSED



WEST SIDE ELEVATION - EXISTING



WEST SIDE ELEVATION - PROPOSED



REAR ELEVATION - EXISTING



REAR ELEVATION - PROPOSED

FINISH SCHEDULE - EXTERIOR				
MARK	MANUF.	COLOR	COLOR #	REMARKS
P-1	PAINT	MARITIME WHITE	OC-5	50% FORMULA - EXTERIOR BUILDING
P-2	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	STORE FRONT & WINDOW FRAMES
P-3	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	METAL AWNINGS & METAL SIGNAGE
FB-1		HEATHER BEIGE...	CUSTOM	CUSTOM FABRIC ON EXTERIOR AWNING...

NOTE: FOR EXTERIOR LIGHTING ADD'L. INFO. SEE LIGHTING DWGS.
FOR LANDSCAPE ADD'L. INFO. SEE LANDSCAPE DWGS.

Client:

RH

Project Title:

RH PALM DESERT GALLERY

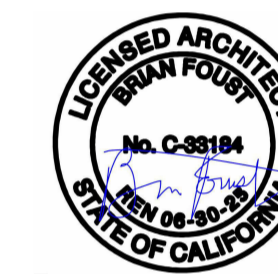
73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
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Architect:

FA

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1	PLANNING RE-SUBMITTAL	01/31/2025
2	PLANNING RE-SUBMITTAL 2	02/05/2025

Author:

C.G.

Date:

08/28/2024

Project No.

2405

Scale:

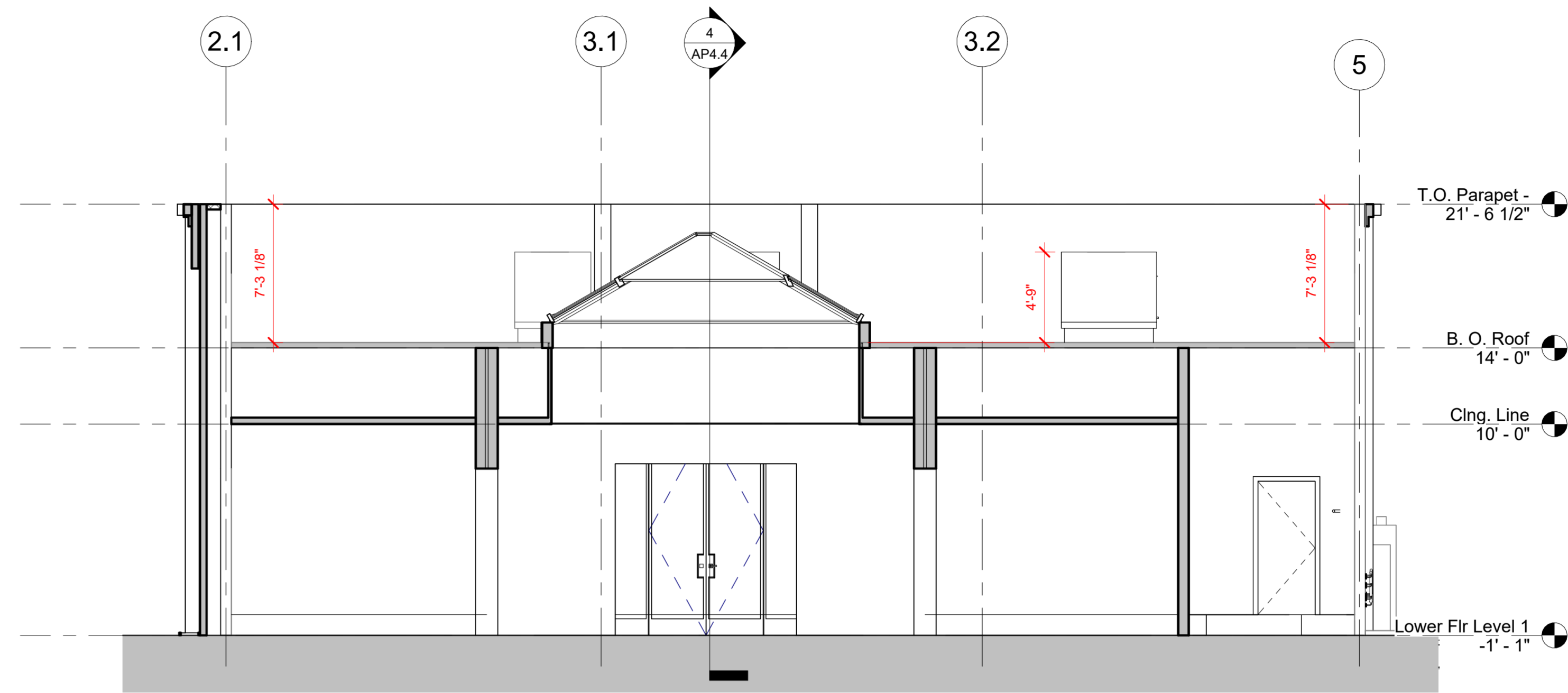
As Indicated

Sheet Title:

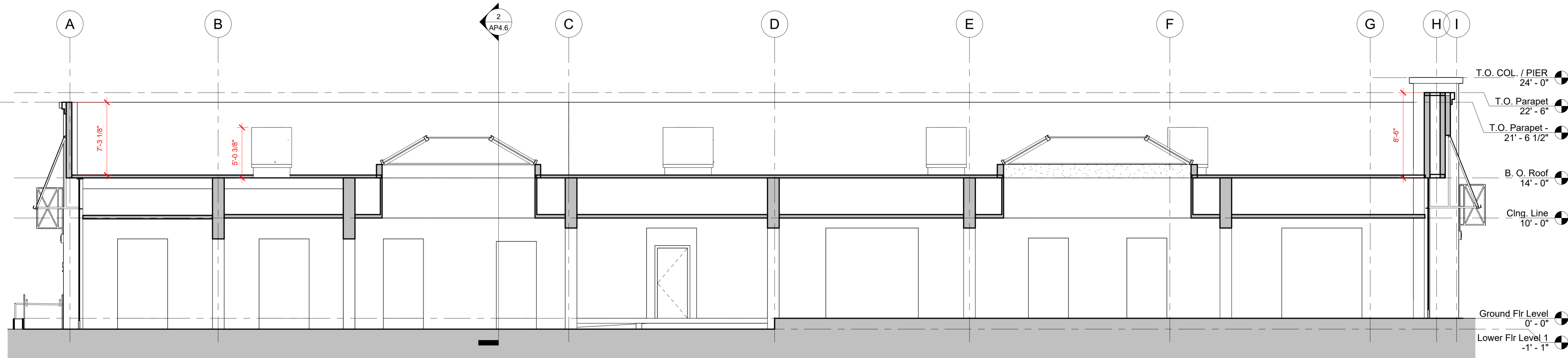
EXTERIOR BLDG. SITE
PHOTOS & RENDERINGS -
EXISTING & PROPOSED

AP4.5

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2 BUILDING SECTION
3/16" = 1'-0"



1 BUILDING SECTION
3/16" = 1'-0"

Client:

RH

Project Title:

RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10
Palm Desert CA, 92260
APN 627-192-014

Architect:

FA

FOUST ARCHITECTURE
4804 Mission St.
San Francisco, CA 94114
brian@foustarchitecture.com
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No: 2405

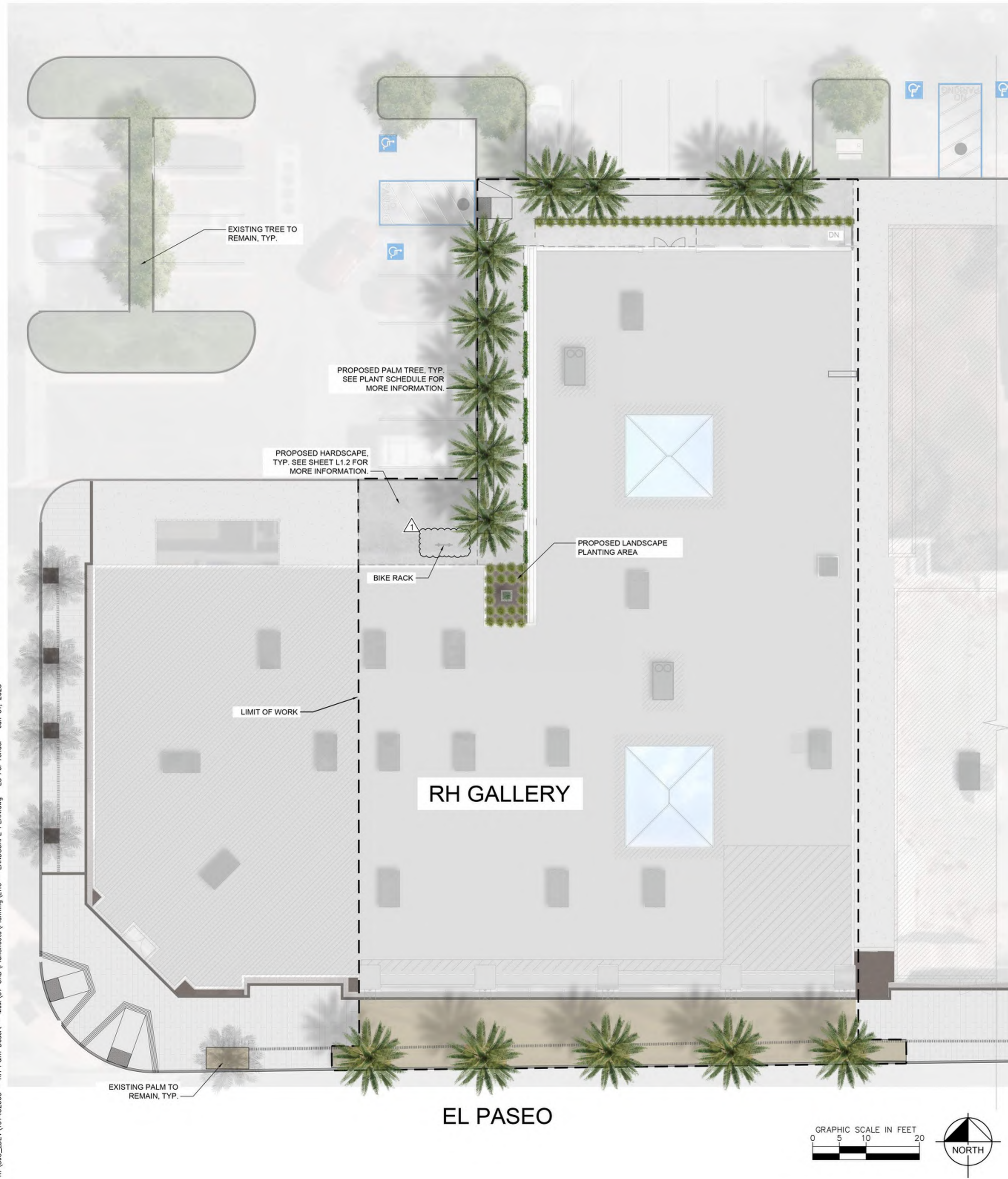
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Sheet Title:

BUILDING SECTION

AP4.6

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PRELIMINARY LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS	SIZE AT MATURITY
TREES					
	5	EXISTING TO REMAIN / PROTECT IN PLACE	N/A	N/A	N/A
	6	EXISTING TO REMAIN / PROTECT IN PLACE	N/A	N/A	N/A
	14	PHOENIX DACTYLIFERA 'MEDJOO' / MEDJOO DATE PALM	20' B.T.H. MIN.	MODERATE	20' HT. X 15-25' SPR.
SHRUBS					
	1	AGAVE AMERICANA / CENTURY PLANT	5 GAL.	LOW	3-4' HT. X 3-4' SPR.
	49	LOMANDRA CONFERTIFOLIA 'LIMTIGRA' / LEADING® LIME TIGHT™ MAT RUSH	5 GAL.	LOW	1-2' HT. X 1-2' SPR.
VINES					
	9	FICUS PUMILA / CREEPING FIG	5 GAL.	MODERATE	8-15' HT. X 3-6' SPR.
GROUND COVERS					
	1,571 SF	EXISTING LANDSCAPE TO REMAIN / PROTECT IN PLACE			

METHODS OF IRRIGATION

ALL SHRUBS WILL BE IRRIGATED BY LOW FLOW SUBSURFACE DRIP IRRIGATION. ALL PALMS WILL BE IRRIGATED BY DRIP RINGS.

PLANT IMAGERY



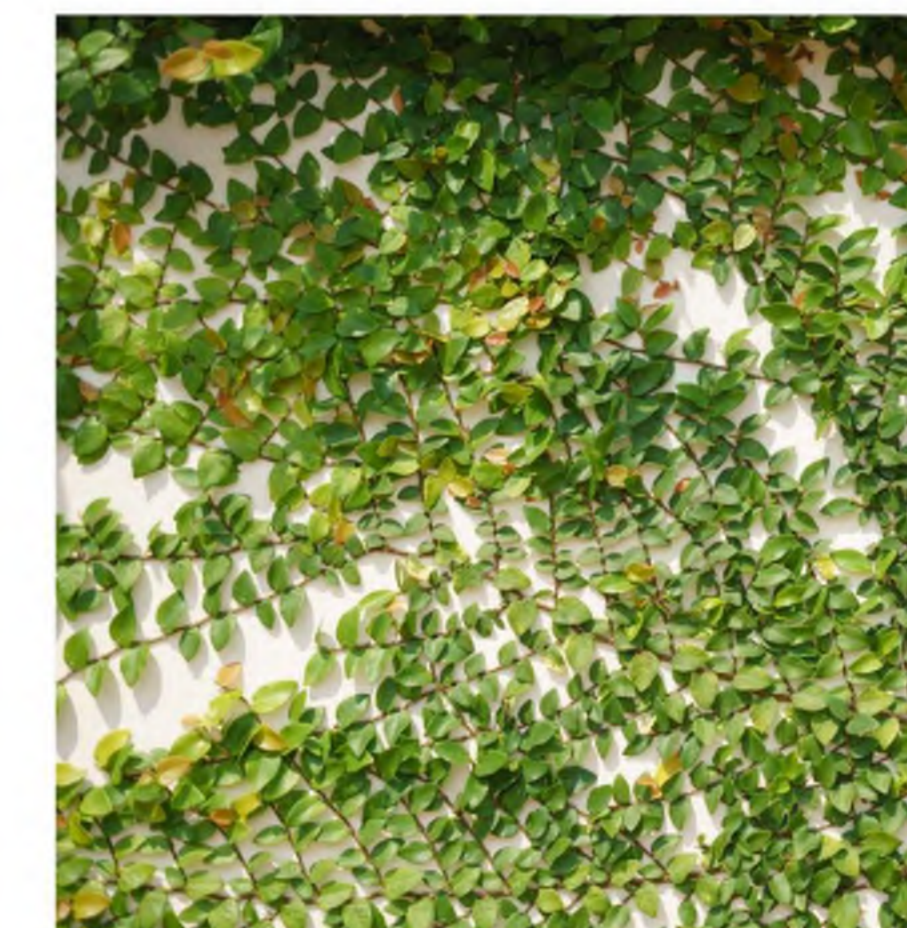
LOMANDRA CONFERTIFOLIA 'LIMTIGRA'



AGAVE AMERICANA



PHOENIX DACTYLIFERA 'MEDJOO'



FICUS PUMILA



No.	Issue	Date
△	PLANNING REVISION	1/31/2025

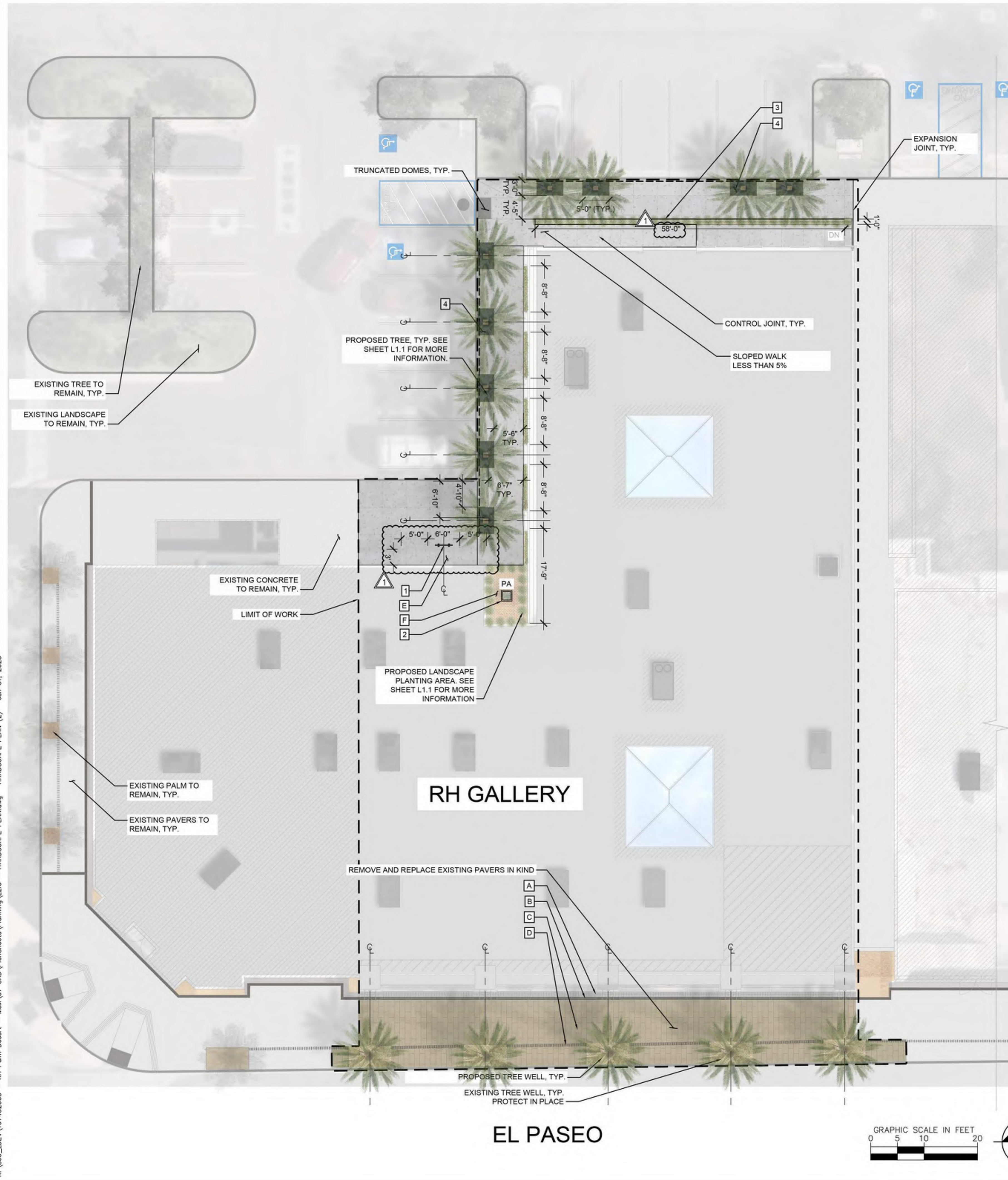
Date 1/31/2025
Issue Date 1/31/2025
Project No. 197432005

Scale As Indicated

Sheet Title

PRELIMINARY LANDSCAPE PLAN

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HARDSCAPE LEGEND

REF. #	DESCRIPTION
A	ENHANCED PAVEMENT PAVER A
B	ENHANCED PAVEMENT PAVER B
C	ENHANCED PAVEMENT PAVER C
D	ENHANCED PAVEMENT PAVER D
E	PEDESTRIAN CONCRETE
F	DECOMPOSED GRANITE

SITE FURNISHINGS LEGEND

REF. #	DESCRIPTION
1	BIKE RACK
2	DECORATIVE PLANTER (CLIENT FURNISHED)
3	METAL EDGE PLANTER
4	TREE GRATE

HARDSCAPE IMAGERY



HARDSCAPE NOTES

- SEE LIGHTING PLANS FOR EXTERIOR LIGHT FIXTURE LOCATIONS.
- APPLICANT PROPOSES TO RELOCATE FOUR OF THE FIVE EXISTING STREET TREE WELLS ALONG EL PASEO BLVD FRONTAGE TO ALIGN WITH ARCHITECTURAL IMPROVEMENTS. SEE PLAN FOR EXISTING AND PROPOSED TREE WELL LOCATIONS.
- PER SECTION 25.46.060 OF THE MUNICIPAL CODE:** EACH REQUIRED BICYCLE PARKING SPACE MUST BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE. THERE MUST BE AN AISLE AT LEAST 5 FEET WIDE ADJACENT TO ALL REQUIRED BICYCLE PARKING TO ALLOW ROOM FOR BICYCLE MANEUVERING. WHERE THE BICYCLE PARKING IS ADJACENT TO A SIDEWALK, THE MANEUVERING AREA MAY EXTEND INTO THE RIGHT-OF-WAY. THE AREA DEVOTED TO BICYCLE PARKING MUST BE HARD SURFACED. A BICYCLE OF 6 FEET IN LENGTH CAN BE SECURELY HELD WITH ITS FRAME SUPPORTED SO THAT THE BICYCLE CANNOT BE PUSHED OR FALL IN A MANNER THAT WILL DAMAGE THE WHEELS OR COMPONENTS.



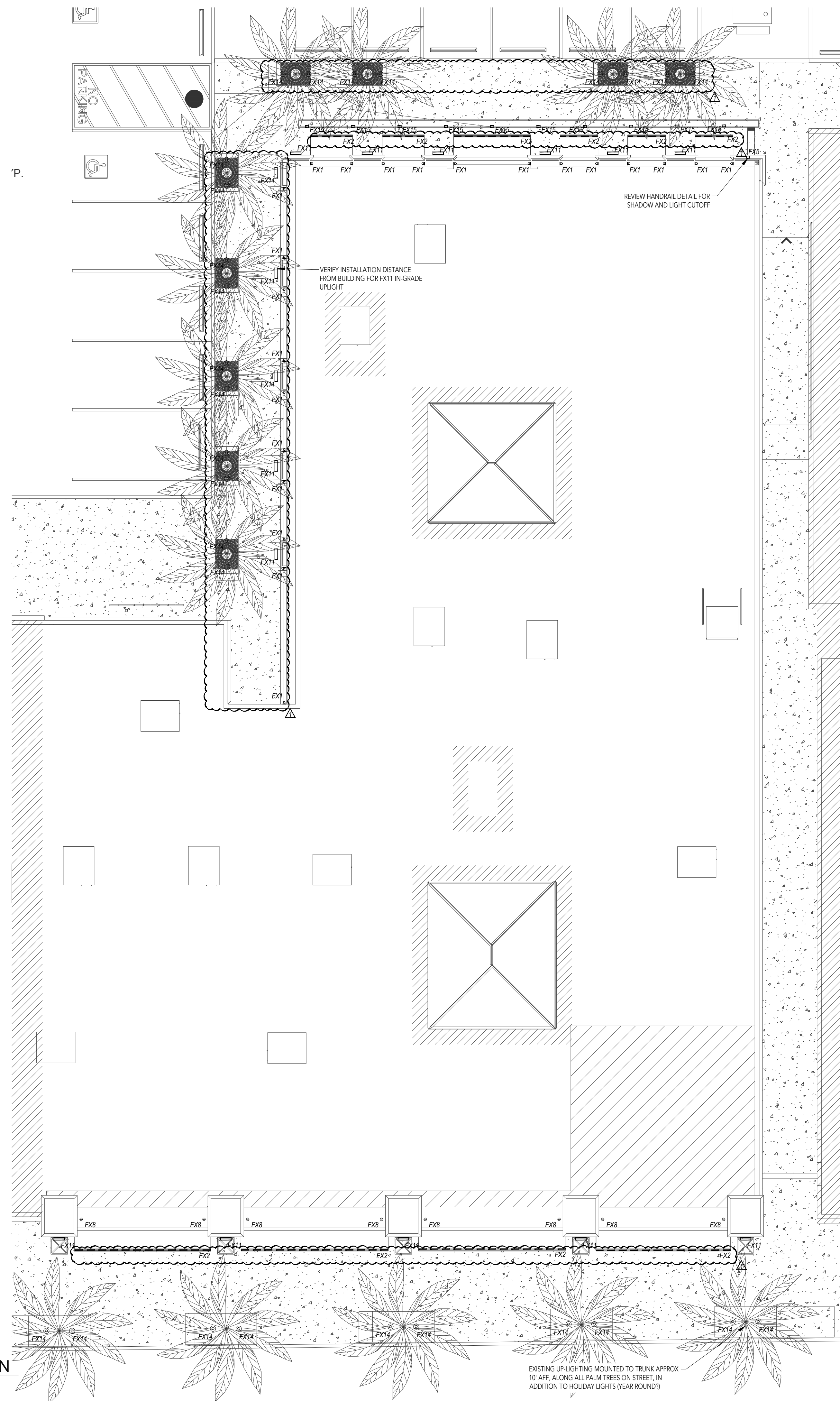
No.	Issue	Date
▲	PLANNING REVISION	1/31/2025

Date 1/31/2025
Issue Date 1/31/2025
Project No. 197432005

Scale As Indicated

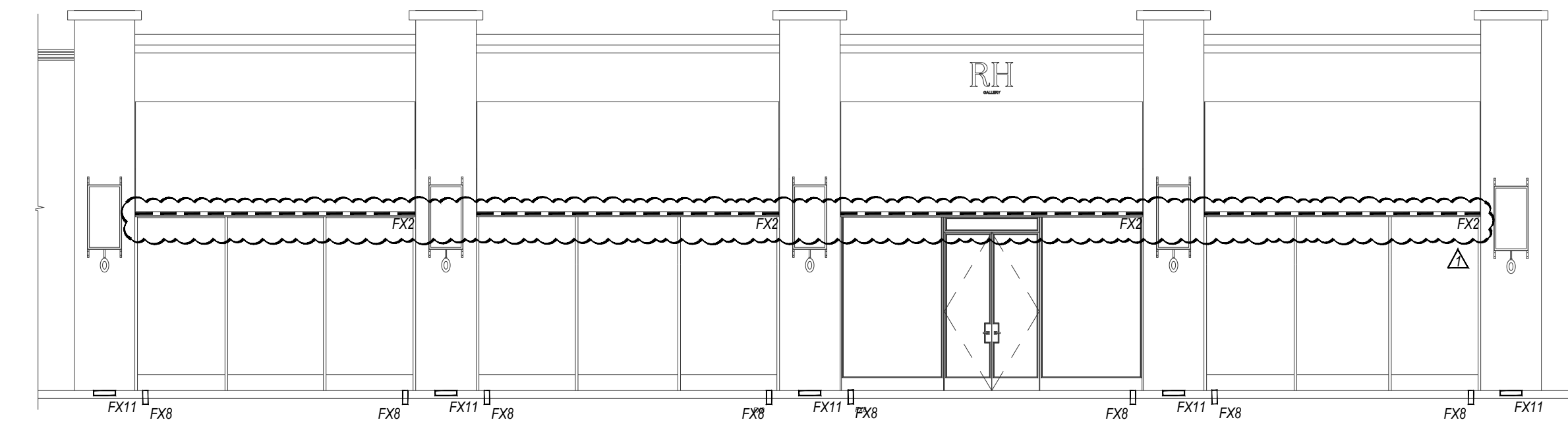
Sheet Title

PRELIMINARY HARDSCAPE PLAN

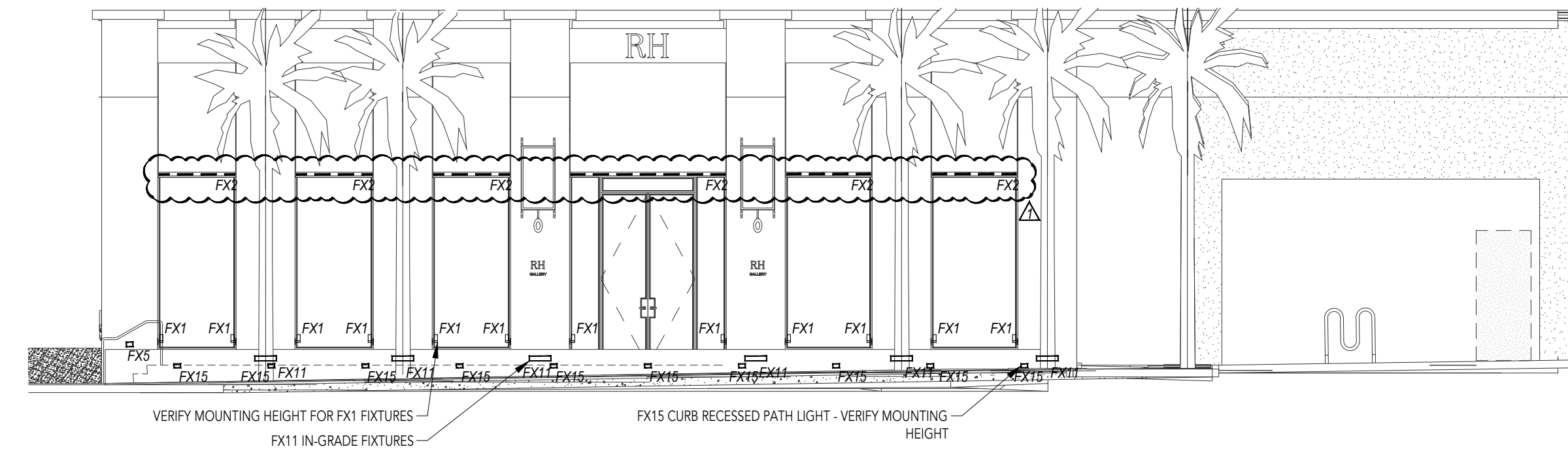


1 EXTERIOR LIGHTING PLAN
1/8" = 1'-0"

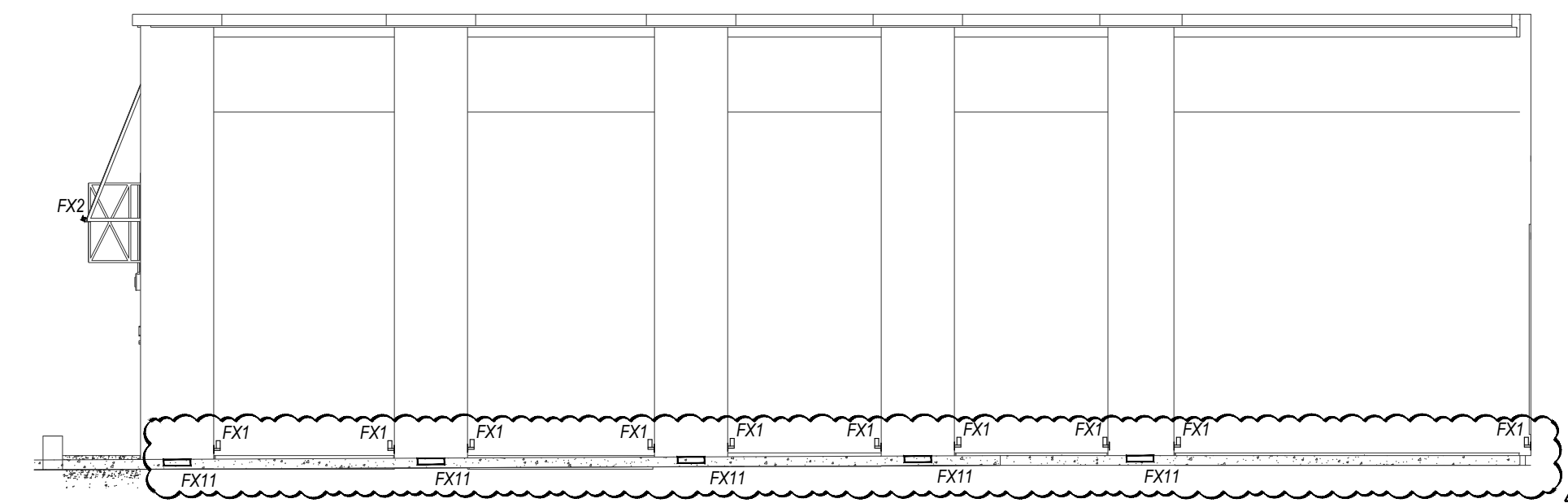
EXISTING UP-LIGHTING MOUNTED TO TRUNK APPROX 10' AFF. ALONG ALL PALM TREES ON STREET, IN ADDITION TO HOLIDAY LIGHTS (YEAR ROUND)



2 SOUTH ELEVATION: EL PASEO
1/8" = 1'-0"



3 NORTH ELEVATION: REAR ENTRANCE
1/8" = 1'-0"



4 WEST ELEVATION: EL PASEO DR.
1/8" = 1'-0"

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL INTERIOR AND EXTERIOR BUILDING LIGHTING AT RH PALM DESERT GALLERY IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS OFF

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

- ALL EXTERIOR LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
- ONE ZONE PER "P" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

GENERAL NOTE:

- ARCHITECT TO REVIEW DRAWINGS AND ADVISE OF CONFLICTS BETWEEN LIGHTING AND ACCESS PANELS, SPEAKER AND SPRINKLERS ETC. LIGHTING LOCATION SHOULD TAKE PRIORITY.

LIGHTING LEGEND			
TYPE	SYMBOL	DESCRIPTION	LOCATION
FX1	■	JAMB MOUNTED ACCENT LIGHT	REAR FACADE DOOR AND WINDOW JAMBS
FX2	—	SURFACE MOUNTED LINEAR LED LIGHT	FACADE AWNINGS
FX5	■	WALL MOUNTED WALL WASHER	REAR FACADE PILASTER
FX8	●	GRADE RECESSED ACCENT LIGHT	FACADE WINDOW JAMBS
FX11	■	GRADE RECESSED WALL WASHER	FACADE PILASTERS
FX14	⊙	GRADE RECESSED LANDSCAPE ACCENT LIGHT	PALM TREES
FX15	■	CURB RECESSED PATH LIGHT	REAR ENTRANCE - CURB

NOTES FOR GENERAL CONTRACTOR:

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
- GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
- GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
- Do not scale drawings.

GENERAL NOTES:

- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
- Fixture types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

REV.	DATE	DESCRIPTION
11.04.2024		FOR REVIEW
11.20.2024		CHECK SET
12.06.2024		PLANNING SUBMITTAL
12.20.2024		REVISION
01.31.2025		PLANNING RESUBMITTAL

PROJECT:

RH
PALM DESERT GALLERY

73100 EL PASEO DRIVE,
PALM DESERT, CA 92260

DRAWING TITLE:

EXTERIOR
LIGHTING PLAN

SHEET:

LT-1.0