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CITY OF PALM DESERT

Unified
Development
Code

Project Kickoff
September 2024

CLARION

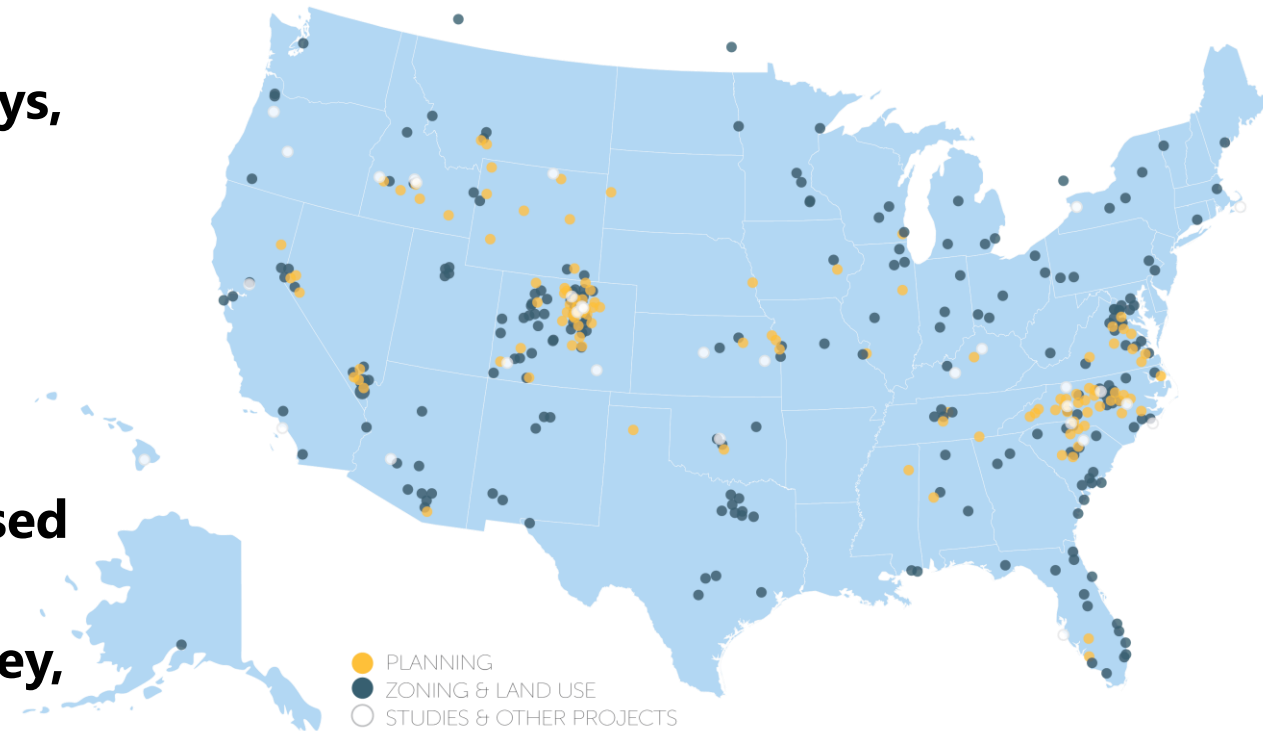
PROJECT TEAM



PALM DESERT
UNIFIED DEVELOPMENT CODE

CLARION ASSOCIATES

- **National consulting practice with 30+ years experience**
- **Multi-disciplinary: Planners, attorneys, landscape architects**
- **Offices in Denver and Chapel Hill**
- **Focus on plan implementation and user-friendly codes**
- **Award-winning, innovative codes integrating traditional and form-based approaches**
- **Recent California experience: Berkeley, Pasadena, Long Beach, Sacramento County**



PROJECT TEAM

Matt Goebel



Project Manager

Jenny Baker



Project Principal

Maggie Squyer



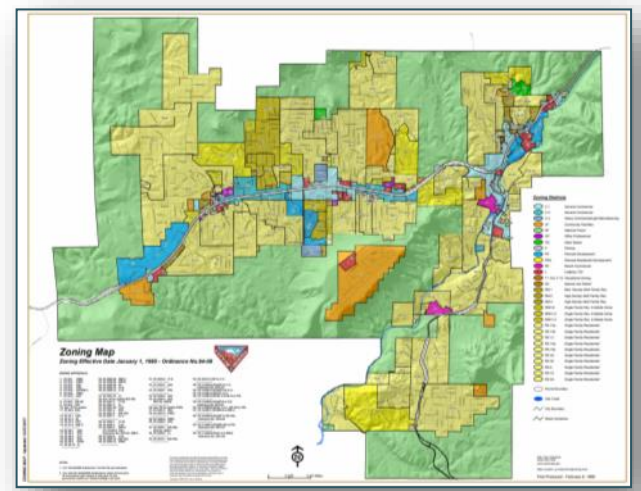
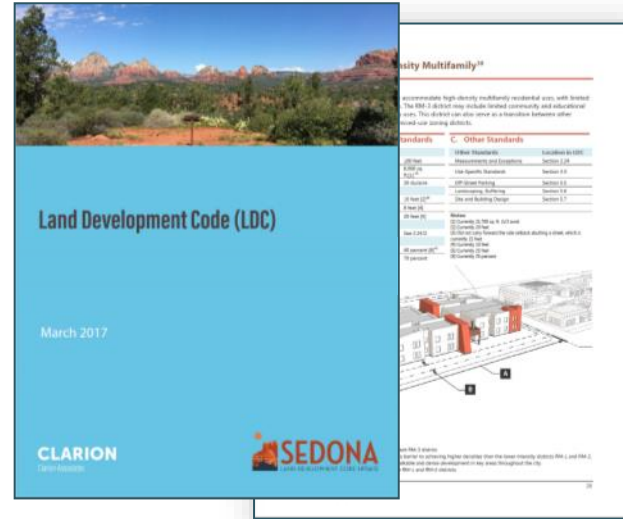
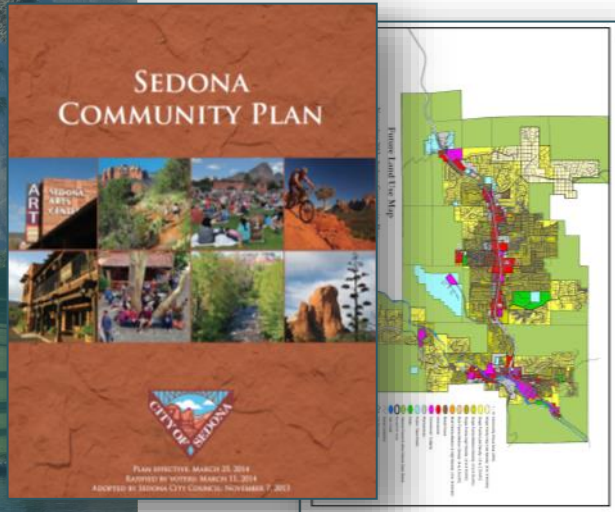
Project Associate

Holly White



Graphics & Marketing

IMPLEMENTING THE PLAN



ABOUT THE PROJECT

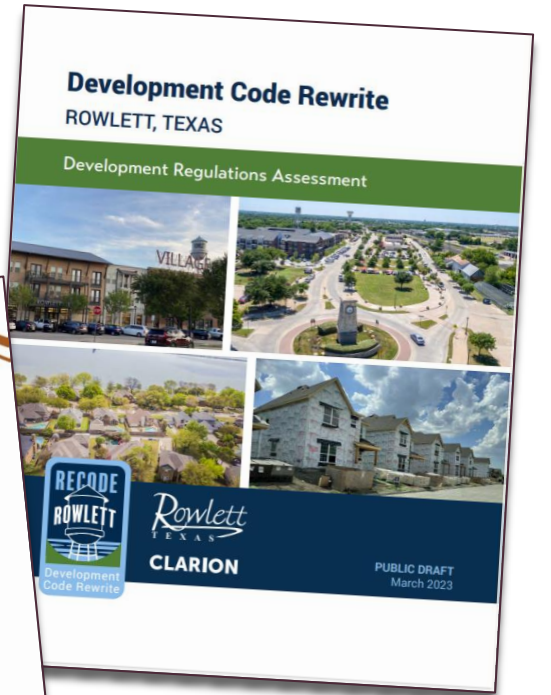
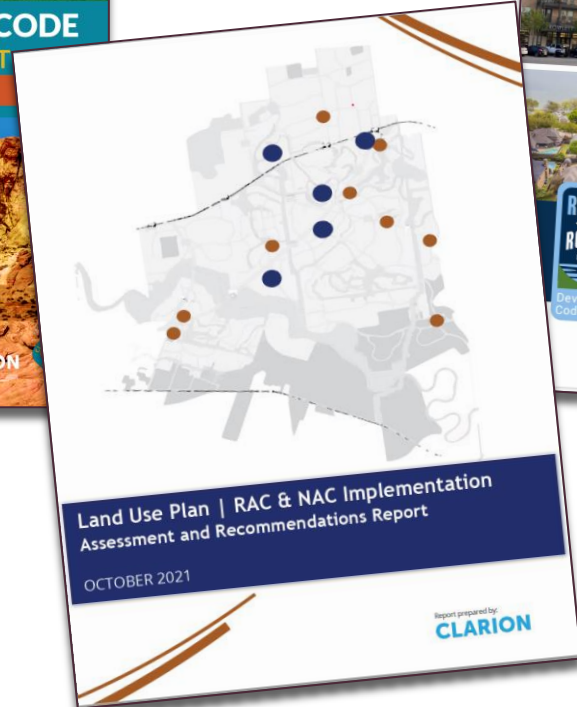
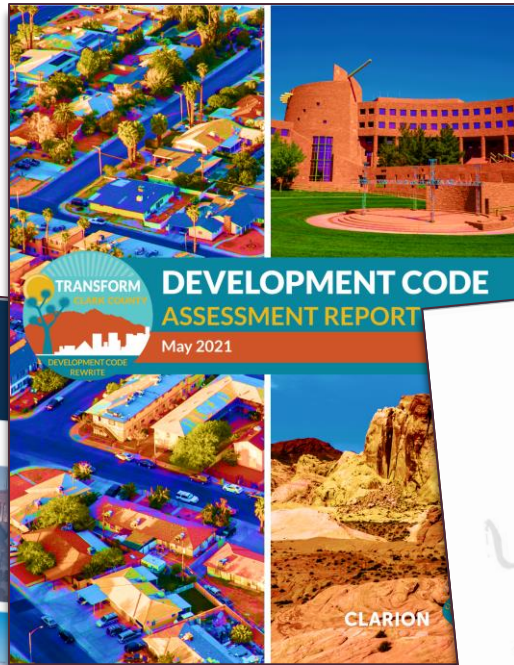
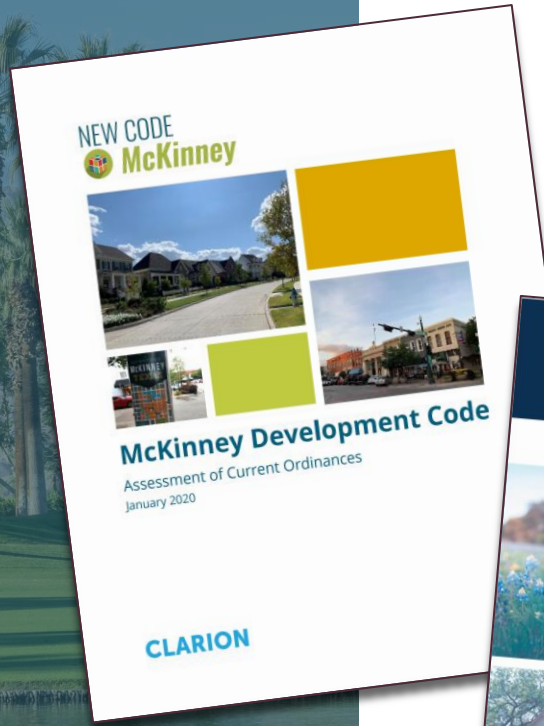


PALM DESERT
UNIFIED DEVELOPMENT CODE

PROJECT TIMELINE

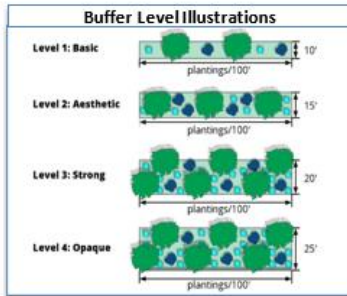


CODE ASSESSMENTS



CODE ASSESSMENTS

Key Areas to Improve the LDC Development and Design Quality Standards



Further, it is simpler for users to understand and staff to implement when the minimum space for a landscape island is described in absolute terms (e.g., a minimum of six feet wide, and the length of the adjacent parking space), rather than as square footage.

Some comments specifically focused on the current points system for regulating design, saying it is arbitrary and that any points system is inevitably a "blunt instrument," with superficial descriptions of requirements, that allows bad buildings to be built when they comply, and ultimately is not producing the intended outcomes.

C. Walls and Fences

Few respondents expressed issues with Section 14-8.5, *Walls and Fences*. Further input is needed on what specific changes may be required; however one issue that will be addressed in Phase 1 is a standard method for measuring fence height, accompanied by illustrations. Another possibility is to add information on permitted or prohibited fence materials, which are common in most codes. Including this information could help to address frequent questions on whether and where chain link, barbed wire, or electric fences are permitted in the City. Historic district regulations do specify what materials can be used for fences, but if similar standards would be helpful outside those districts, they can be added.



Screening and Buffering, Walls, and Fences Recommendations

- Create Residential Adjacency code section that focuses on buffering residential uses from various impacts of more intensive adjacent uses.
- Tailor buffering requirements based on intensity of adjacent development.
- Clarify issues with combination of fences and retaining walls, measurement of fence height, and consider the inclusion of fence material requirements for areas outside historic districts.

Main report

Project Overview Summary of Recommendations

Summary of Recommendations

The table below is organized around the major focus areas in Part 4: Areas for Improvements to Chapter 14, of this report and consolidates the recommendations that appear in the separate subsections of this Assessment.

While it is possible to anticipate that some topics in this table, such as equity and sustainability, will be concerns throughout the duration of the LDC project, in most cases it is difficult to discern what changes will extend onto Phase 3, absent information on the updated policies and objectives of the General Plan. For that reason, classification of Phases in the table is limited to Phases 1 and 2, with Phase 3 additions to follow as the Plan update progresses.

Focus Area	Recommendations	Phase
Equity	<ul style="list-style-type: none"> • Emphasize increased equity when reviewing and updating the LDC. • Focus on expanding housing affordability through adjustments to the SFHP, if needed, and other means such as incentives. • Assess equity and inclusivity in development review procedures such as public notice requirements. • To the extent possible, ensure that decision-making bodies reflect the diversity of the population of Santa Fe. 	All phases
Sustainability	<ul style="list-style-type: none"> • Incorporate sustainability principles into the baseline standards in all sections of the code. • In the drafting process, evaluate various organizational options for integrating sustainability-focused standards. • Adopt green building standards for private development, or offer a menu of green design options from which developers must incorporate a certain number into their project. 	All phases
Document Clarity, Organization, and Format		
Establish a Clear Organization	<ul style="list-style-type: none"> • Reorganize Chapter 14 as proposed in the Annotated Outline in this report. • Consolidate related information where possible. • Ensure cross-references lead to the exact section or subsection of related information. • Review table notes to remove standards and replace in body of code; reduce number of notes. • Incorporate Appendices into the relevant sections of the body of the code. 	Phase 1 for all
Improve Page Layout	<ul style="list-style-type: none"> • Establish a more attractive and user-friendly page format with: <ul style="list-style-type: none"> • Dynamic headers, showing article, section, and subsection on each page; • Consistent formatting and location of tables and graphics; • Clear and prominent hierarchy of heading titles (using color and/or bold font); and • Consistent indentation and nested text. 	Phase 1 for all

Detailed supporting table

LISTENING TO THE PUBLIC

Stakeholder input

- Residents
- Development community
- Other stakeholders
- City staff

Arrange in-person participation and virtual opportunities

Design online survey and other digital interactive platforms



<https://www.engagepalmdesert.com/development-code>

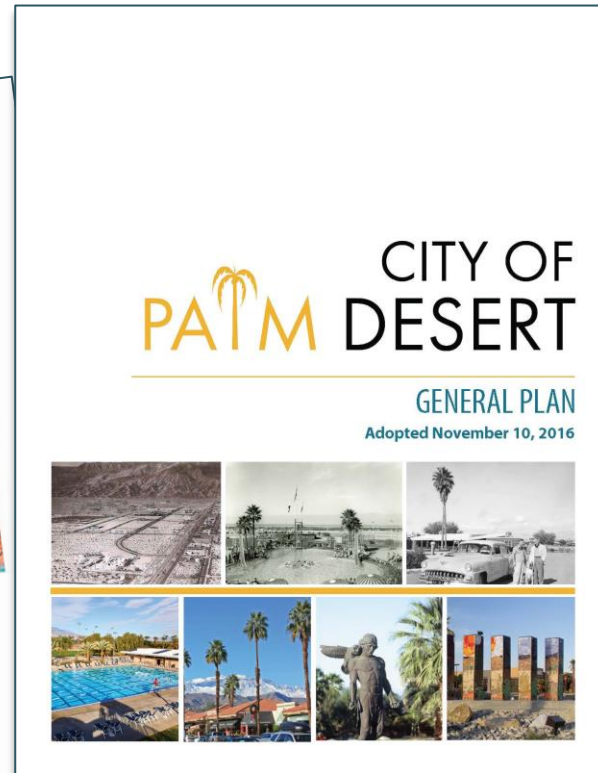
KEY ISSUES



PALM DESERT
UNIFIED DEVELOPMENT CODE

IMPLEMENT THE PLANS

Does the UDC support the plan's Guiding Principles?



CLARITY AND ORGANIZATION

2.10. RM-3: High-Density Multifamily³⁸

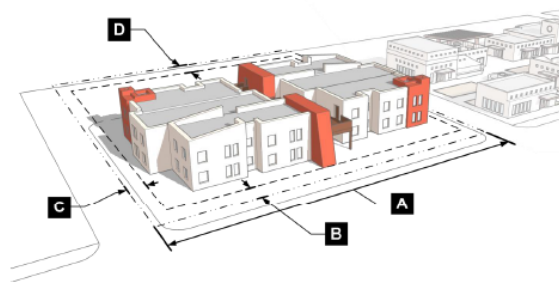
A. Purpose

The RM-3 district is intended to accommodate high-density multifamily residential uses, with limited single-family uses and duplexes. The RM-3 district may include limited community and educational uses and incidental or accessory uses. This district can also serve as a transition between other multifamily and commercial or mixed-use zoning districts.

B. RM-3 Lot and Building Standards

Lot Standards	Other Standards	Location in LDC
A Width (minimum)	100 feet	Measurements and Exceptions Section 2.23
Area (minimum)	8,000 sq. ft. [1] ³⁹	Use-Specific Standards Section 3.3
Density (maximum)	20 du/acre	Off-Street Parking Section 5.5
Setbacks (minimum)	Landscaping, Buffering Section 5.6	
B Front	10 feet [2] ⁴⁰	Site and Building Design Section 5.7
C Side [3]	8 feet [4]	
D Rear	20 feet [5]	
Height		
Building height	See 2.23.D	
Impervious Coverage (maximum)		
Building coverage	40 percent [6] ⁴¹	
Total coverage	70 percent	

Notes:
 [1] Currently 21,780 sq. ft. (1/2 acre)
 [2] Currently 20 feet
 [3] Did not carry forward the side setback abutting a street, which is currently 15 feet.
 [4] Currently 10 feet
 [5] Currently 20 feet
 [6] Currently 25 percent



³⁸ This district is carried forward from the current RM-3 district.
³⁹ The current lot size requirement can act as a barrier to achieving higher densities than the lower intensity districts RM-1 and RM-2.
⁴⁰ A shallower setback will encourage more walkable and dense development in key areas throughout the city.
⁴¹ Revised to match the proposed limits in the RM-1 and RM-2 districts.

Article 8: Administration and Procedures

8.2 Summary Table of Review Procedures | 7.4.G. Required Improvements for Subdivisions 504F

Table 8.1
 Summary of Development Review Procedures

KEY: R= Review and Recommendation D= Review and Decision A= Appeal ✓ = Required < > =Public Hearing Required

Procedure	Code Reference	Notice		Pre-Application Conference	Review and Decision-Making Bodies					
		Published	Written		Staff	Historic Presvtn Comm.	Planning & Zoning Comm.	City Council	Board of Adjustment	
Development Permits										
Development Minor	8.4			✓	D [1]					
Development Major	8.4	✓	✓	✓	R	< R > [3]	< D >		< A >	
Conditional Use Permit	8.4B	✓	✓	✓	R	< R > [3]	< D >		< A >	
Single-Family Residential Review	8.4.C				D					< A >
Temporary Use Permit	8.4.D			✓ [2]	D					< A >
Subdivision Procedures										
Preliminary Plat	8.5.A	✓	✓	✓	R		< R >		< D >	
Final Plat	8.5.B				R				< D >	
Land Division or Combination	8.5.C				D					< A >
Reversion to Acreage	8.5.E	✓	✓	✓	R		< R >		< D >	
Ordinance Amendments										
Rezoning	8.6.A	✓	✓	✓	R	< R > [3]	< R >		< D >	
Rezoning to Planned Development (PD)	8.6.B	✓	✓	✓	R		< R >		< D >	
Code Amendment (Text)	8.6.C	✓	✓	✓ [4]	R		< R >		< D >	
Historic Preservation Procedures										
Historic Landmark Designation	8.7.A	✓	✓	✓	R		< D >			< A >
Historic District Designation	8.7.C	✓	✓	✓	R		< R >		< D >	
Certificate of Appropriateness	8.7.D	✓	✓	✓	R		< D >			< A >
Certificate of No Effect	8.7.D				D [5]					
Flexibility and Relief										
Variance	8.8.A	✓	✓	✓	R					< D >
Minor Modification	0									As required for associated application
Appeal	8.8.C	✓	✓	✓						As indicated in table above
Special Exception	8.8.D	✓	✓	✓	R					< D >

Notes:
 [1] The Director may refer minor development review applications to the Planning and Zoning Commission.
 [2] A pre-application conference is required for some types of temporary use permit applications; see 8.4.D.
 [3] Applies only in historic districts or for designated historic properties.
 [4] Pre-application meetings are required only for text amendments proposed by an applicant, not staff.
 [5] HPC Chair (or designee) and Staff make the determination regarding a Certificate of No Effect.

Article 8: Administration and Procedures

8.4 Development Permits | 8.4.B. Conditional Use Permit

B. Conditional Use Permit

Commentary

This section is based generally on the existing Section 402, but the current language has been rewritten to refer to the new common procedures; and remove unnecessary material that is now covered in the common procedures.

(1) Purpose⁶⁵⁹

The conditional use permit procedure provides a mechanism for the City to evaluate proposed land uses that are generally characterized by infrequency of use, high degree of traffic generation, and/or requirement of a large land area.⁶⁶⁰ This procedure is intended to ensure compatibility of such uses with surrounding areas and that adequate mitigation is provided for anticipated impacts.

(2) Applicability

A conditional use permit is required for the establishment of certain land uses as specified in Table 3.1 *Table of Allowed Uses*. Approval of a new conditional use permit is also required for modification or expansion of an existing conditional use.

(3) Application Submittal and Review Procedure

Figure 8-4 identifies the applicable steps from 8.3, *Common Review Procedures*, that apply to the review of conditional use permits. Additions or modifications to the common review procedures are noted below.

Figure 8-4: Conditional Use Permit



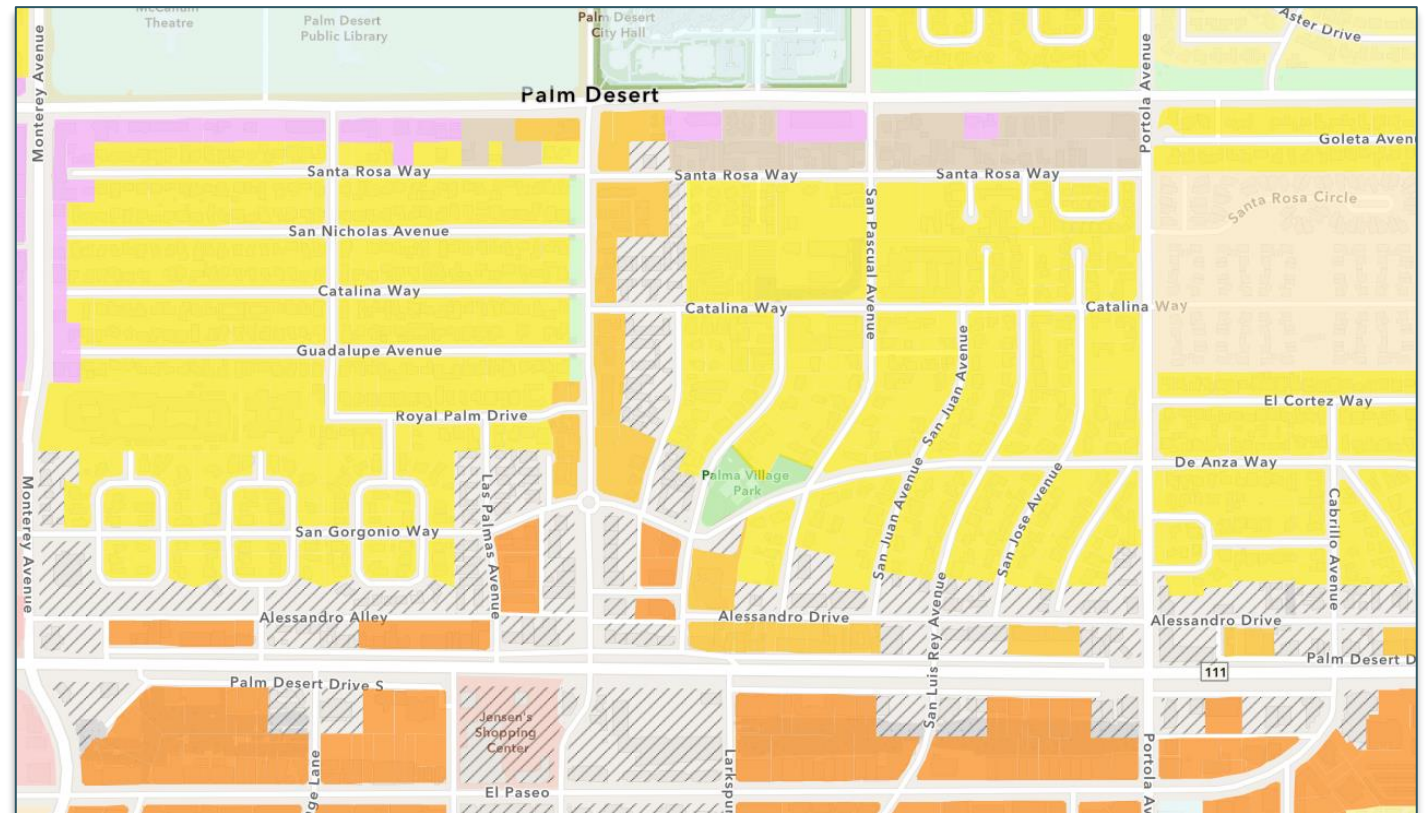
- Pre-Application Meeting**
A pre-application meeting shall be held in accordance with 8.3.B, *Pre-Application Meeting*.
- Application Submittal and Handling⁶⁶¹**
The conditional use permit application shall be submitted, accepted, and revised, and may be withdrawn, in accordance with 8.3.C, *Application Submittal and Handling*.

⁶⁵⁹ New purpose statement.
⁶⁶⁰ This language is from ARS 9-462.01.C.1.
⁶⁶¹ Submittals removed to bin file for Administrative Manual.

ZONING DISTRICTS

Review existing zoning districts:

- Are new districts needed to enable desired development forms?
- Adjustments to existing districts?
- Do dimensional standards need to be revised?
- How well are special districts and overlays working?



USE REGULATIONS

Review allowed uses for:

- New uses that need to be added (data centers, doggie day care, “creator” spaces)
- Obsolete uses that can be removed
- Are existing land use conditions working? New ones needed?
- Updates to permissions
 - Allow more widely, subject to use-specific standards (land use conditions)?
 - Require specific use permit?
 - Change to prohibited

Table 25.16-1: Use Matrix for Commercial and Industrial Districts

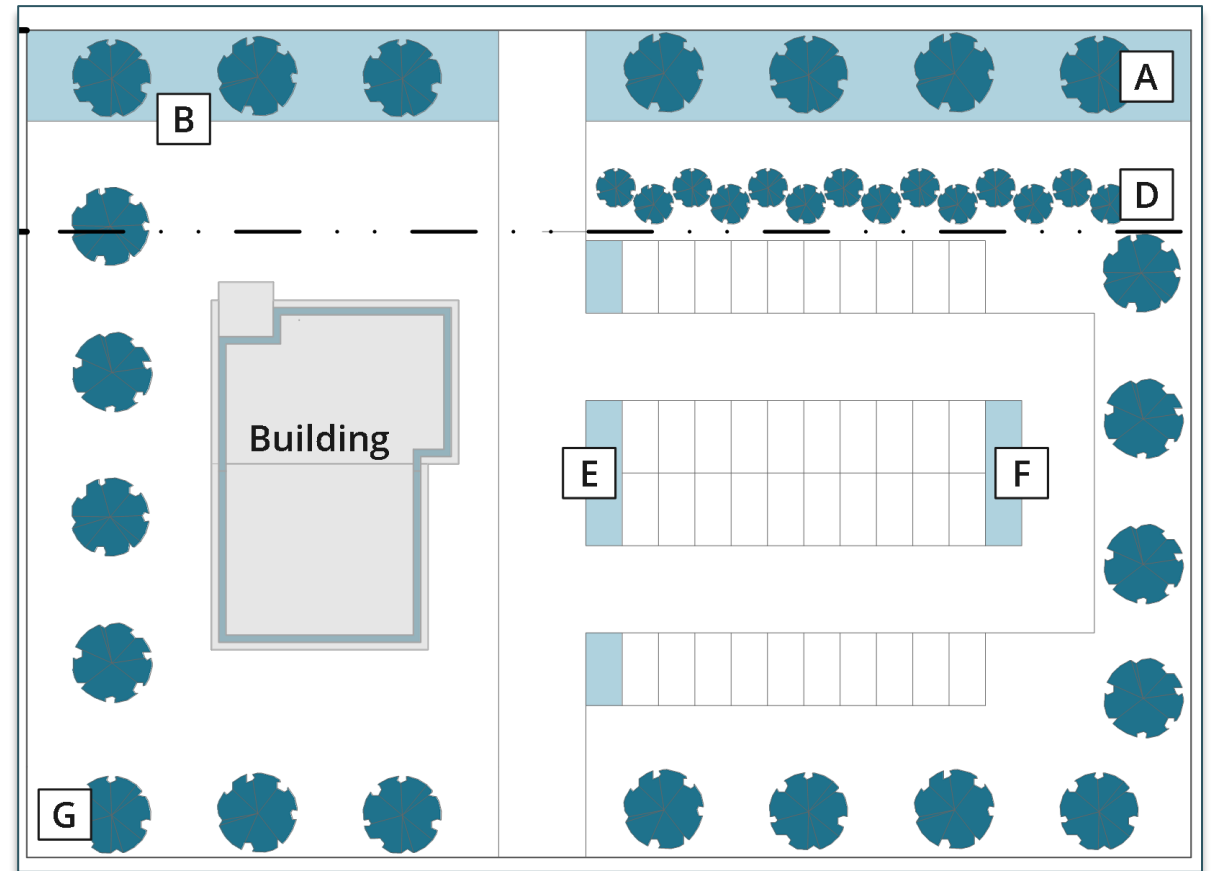
Commercial/Industrial District
(P=Permitted; A=Administrative Use Permit; C=Conditional Use Permit; N=Not Permitted)

	OP	PC-1	PC-2	PC-3	PC-4	SI	Special Use Provisions
Residential Uses							
Caretaker housing	N	N	N	N	N	P	25.16.040.A
Condominium	C	C	C	N	C	C	25.16.040.B/25.42
Dwelling, duplex	C	C	C	C	C	C	25.16.040.B
Dwelling, multifamily	C	C	C	C	C	C	25.16.040.B/25.42
Dwelling, single-family	C	C	C	N	C	C	25.16.040.B
Group home	C	C	N	N	C	C	25.16.040.B/25.42
Single-room occupancies	N	N	N	N	N	C	
Homeless shelter	N	N	N	N	N	P	
Recreation, Resource Preservation, Open Space, and Public Assembly Uses							
Amusement facility, in-doors	N	N	C	C	C	N	

DEVELOPMENT STANDARDS

Address the *quality of development*, including standards for:

- Access and connectivity
- Landscaping and screening
- Building and site design
- Outdoor lighting
- Parking and loading
- Compatibility and transition (commercial/residential)



REVIEW PROCEDURES

Assess whether:

- Procedure matches practice?
- Standards are adequately detailed to lead to predictable outcomes?
- Each procedure has objective approval criteria?
- Review procedures are standardized and streamlined?

Article 8: Administration and Procedures
8.2 Summary Table of Review Procedures | 7.4.G. Required Improvements for Subdivisions604F

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Development Review	Major	8.4	✓	✓	✓	R	< R > [3]	< D > < A >
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Land Division or Combination	8.5C					D		
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Historic Preservation Procedures								
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Historic District Designation	8.7C	✓	✓	✓	✓	R	< R >	< R > < D >
Certificate of Appropriateness	8.7D	✓	✓	✓	✓	R	< D >	< A >
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Sedona Land Development Code
Adoption Draft - July 2018

Article 8: Administration and Procedures
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Figure 8-4: Conditional Use Permit



a. Pre-Application Meeting

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⁶⁵⁹ New purpose statement.

⁶⁶⁰ This language is from ARS 9-462.01.C.1.

⁶⁶¹ Submittals removed to bin file for Administrative Manual.

RECOMMENDATION

- **Staff recommends the City Council appoint two members of the City Council to an Ad Hoc Subcommittee to review public drafts of the various work products throughout the entire project.**
- **A companion staff report for these appointments is listed on the September 12, 2024, action calendar.**



QUESTIONS & DISCUSSION

Any other questions about the project scope or process?

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