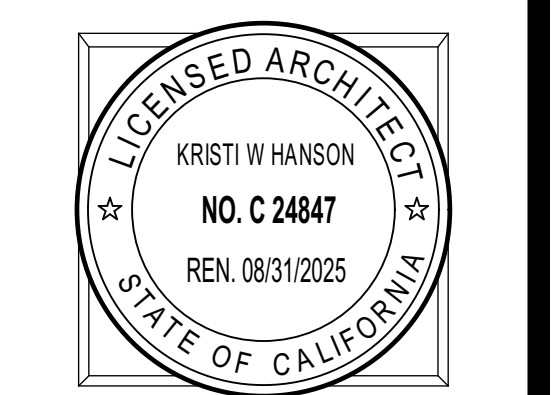


72-185 PAINTERS PATH SUITE A PALM DESERT, CA 92260 760.776.4068

INSTRUMENTS OF SERVICE. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF KHA ARCHITECTS. THEY ARE NOT TO BE REPRODUCED OR ALTERED IN ANY WAY NOR DISCLOSED OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF KHA ARCHITECTS.

CITY APPROVAL:

BIGHORN SPA & WELLNESS CENTER ADDITION 256 PALOWET DRIVE PALM DESERT, CA 92260



REVISION LIST

Table with 3 columns: REVISION, DATE, DESCRIPTION. Includes entries for SCHEMATIC JULY 30, 2024, DESIGN DEV, CONST. DOCS, CITY PLANNING SUB. 1 AUG 27, 2024, CITY SUB. 1, CITY SUB. 2, CONSTR. REV 1, CONSTR. REV 2, CONSTR. REV 3.

PROJECT #: 2209

CONTACT: KRISTI

SCALE: AS NOTED

PROJECT INFORMATION

DEVELOPMENT PLAN (DP 15-273) PLANNING COMMISSION NO. 2661 CLUBHOUSE ZONE SETBACK FROM PRIMATE ROADS = 14' SETBACK FROM RESIDENTIAL LOTS = 5' SETBACK FROM OPEN SPACE/AMENITIES = 0' MAXIMUM BUILDING HEIGHT = 12' PARKING = 100 AUTOMOBILE + 60 GOLF CART

PROJECT INFORMATION SHEET # 11.7 DATE: 8/12/24

Q.C.

SHEET INDEX

Table listing sheet numbers and titles: T1.1 TITLE SHEET, T1.6 CODE REVIEW, A0.1 DEMO SITE PLAN, A0.2 SITE PLAN & SITE SECTION, A1.0 NOTED FIRST FLOOR PLAN, A2.1 NOTED SECOND FLOOR PLAN, A5.0 DEMO ROOF PLAN, A5.1 ROOF PLAN, A6.1 EXTERIOR ELEVATIONS, A6.2 EXTERIOR ELEVATIONS, A7.1 BUILDING SECTIONS, A7.2 BUILDING SECTIONS, A7.3 BUILDING SECTIONS, A7.4 BUILDING SECTIONS, A9.0 TYPICAL EXTERIOR DETAILS, A9.1 TYPICAL ROOF DETAILS, A9.2 TYPICAL DOOR & WINDOW DETAILS.

GENERAL NOTES

- 1. ALL CONTRACTORS SHALL SUBMIT CERTIFICATE OF WORKMAN'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT PER CALIFORNIA LABOR CODE, SECTION 3700.
2. ALL CONSTRUCTION SHALL BE COMPLETED IN A CRAFTSMAN LIKE MANNER.
3. SEE SPECIFICATIONS FOR MATERIALS AND STANDARDS.
4. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS AND SPECIFICATIONS AS WELL AS CURRENT SITE CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. ANY CHANGES REQUIRED TO BE MADE TO THESE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ANY CHANGES MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.
6. DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND ARE COPYRIGHTED FOR HER USE UNLESS AUTHORIZATION IS GIVEN TO THE OWNER BY THE ARCHITECT.
7. ALL CONTRACTORS SHALL HAVE A CURRENT VALID CITY OF PALM DESERT BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE PER PDMC TITLE 5.
8. CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS, PALM DESERT ORDINANCE NO. 20-11.
9. APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION. HEALTH & SAFETY CODE, SECTION 5416.
10. STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES. PDMC, CHAPTER 8.02.
11. GENERAL CONTRACTORS AND/OR OWNER/BUILDERS SHALL COMPLETE AND SUBMIT A CONTRACTOR'S SUB LIST TO THE BUSINESS SUPPORT CENTER AND TO REQUEST FOR FINAL INSPECTION PER PALM DESERT ORDINANCE NO. 60. ABSOLUTELY NO SUB LISTS WILL BE ACCEPTED UNLESS ALL REQUIRED INFORMATION IS PROVIDED ON THE APPROPRIATE FORM.
12. ADDRESS NUMBERS SHALL COMPLY WITH PALM DESERT ORDINANCE NO. 1351. YOU MAY REQUEST A COPY OF THE ORDINANCE AT THE BUILDING DEPARTMENT.
13. LANDSCAPING SHALL BE INSTALLED PRIOR TO REQUEST OF FINAL INSPECTION.
14. SITE WALLS, RETAINING WALLS, TRASH ENCLOSURES, CARPORTS, SITE LIGHTING, TEMPORARY POWER POLES, EMERGENCY GENERATORS, GREASE INTERCEPTORS AND SPRAY BOOTH'S REQUIRE SEPARATE SUBMITTALS, APPROVALS AND PERMITS. THESE ITEMS MAY BE ON THE PLANS BUT ARE NOT PART OF THE BUILDING APPROVAL.
15. UPON COMPLETION OF THE INSTALLATION OF INSULATION, A CARD CERTIFYING THAT THE INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THESE REGULATIONS SHALL BE COMPLETED BY THE INSULATION APPLICATOR AND BY THE BUILDER. THIS INSULATION CARD SHALL BE POSTED AT A CONSPICUOUS LOCATION WITHIN THE DWELLING.
16. ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.
17. ALL GLAZING SHALL HAVE A TEMPORARY LABEL ON THE PRODUCT UNTIL THE FIELD INSPECTOR HAS INSPECTED IT.
18. REFER TO STRUCTURAL DRAWINGS, FOR SPECIAL INSPECTIONS REQUIRED.
19. CONTRACTOR TO SUBMIT SEEL SHOP DRAWINGS TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
20. PROVIDE DESIGN BUILD SPRINKLER SYSTEM THROUGHOUT AS REQUIRED BY CODE. ALL SYSTEM COMPONENTS WHICH WILL BE VISIBLE AT PROJECT COMPLETION TO BE REVIEWED & APPROVED BY ARCHITECT PRIOR TO INSTALL.
21. PRIOR TO REQUESTING A FOUNDATION INSPECTION, THE OWNER'S ENGINEER SHALL FIELD VERIFY THE BUILDING PAD HEIGHT AND TOP OF FORM HEIGHT AS COMPLYING WITH THE APPROVED GRADING PLAN PER PALM DESERT MUNICIPAL CODE, CHAPTER 27.12.190.
22. ALL HVAC EQUIPMENT SHALL BE APPROVED PRIOR TO INSTALLATION BY NATIONALLY RECOGNIZED STANDARDS AND ENDORSED BY THE LISTING AND LABEL OF AN APPROVED AGENCY, CMC 302.1
23. THE CITY BUILDING INSPECTOR HAS THE AUTHORITY TO REQUEST FULLY REVISED PLAN SHEETS WITH ALL FIELD CHANGES CLOUDED WITH DELTAS TO BE SUBMITTED FOR CITY PLAN REVIEW WHEN HE/SHE DETERMINES THE NUMBER OF FIELD REVISIONS WARRANTS A REQUEST.
24. THE CITY OF PALM DESERT PERMITS DEFERRED TRUSS SUBMITTALS. HOWEVER, TRUSS SHOP DRAWINGS NEED TO BE REVIEWED AND APPROVED PRIOR TO REQUESTING A FOUNDATION / FOOTING INSPECTION. NO EXCEPTIONS.
25. PRIOR TO REQUESTING A FINAL INSPECTION, ALL ORIGINALS, REVISIONS, OR AS-BUILT DRAWINGS/SPECIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE LICENSED DESIGN PROFESSIONAL FOR COMPLIANCE OF THE APPROVED SET. THE PLANS ARE REQUIRED TO BE SCANNED IN PDF FORMAT AND SUBMITTED TO THE CITY OF PALM DESERT DEPARTMENT OF BUILDING AND SAFETY FOR DIGITAL ARCHIVING PURPOSES. REVISIONS OR AS-BUILTS WILL NOT BE REVIEWED AT THE TIME OF FINAL INSPECTION AND MUST BE DONE PRIOR TO SCHEDULING.
26. 27.12.190 TOP OF FORM HEIGHT AND HORIZONTAL LOCATION CERTIFICATION. NO INSPECTION OR APPROVAL ON THE BUILDING OR STRUCTURES FOUNDATIONS SYSTEMS SHALL BE GIVEN BY THE BUILDING OFFICIAL UNTIL THE CITY ENGINEER HAS RECEIVED, REVIEWED AND APPROVED A CERTIFICATION THAT THE PROPOSED TOP OF FORM HEIGHT AND HORIZONTAL LOCATION CONFORM TO THE APPROVED GRADING PLAN, THE REQUIRED TOP OF FORM HEIGHT AND HORIZONTAL LOCATION CERTIFICATIONS SHALL BE PREPARED AND SUBMITTED BY A LICENSED LAND SURVEYOR OR CIVIL ENGINEER. (ORD 1081 § 2 (EXHIBIT A), 2004-ORD. 514 § 2 (PART), 1987-ORD. 465 § 2 (PART), 1996)
27. STEEL FABRICATOR AND TRUSS MANUFACTURER SHALL FURNISH THE ENGINEER AND ARCHITECT W/ A 3D MODEL (DWG, IFC OR BREECHUP FILE) FOR INSERTION INTO ARCHITECTURAL ENVELOPE FOR DETERMINATION OF COMPLIANCE. SHOP DRAWINGS WILL NOT BE REVIEWED/APPROVED UNTIL PROVIDED.

SOLAR & THERMAL ENVELOPE

REFER TO T24 FOR REQUIREMENTS: ROOF INSULATION R-30 MINIMUM ABOVE DECK INSULATION: R-5 PER INCH PERI-METRO FOAM BOARD AND TAPERED FOAM BOARD TO ACHIEVE DRAINAGE. MINIMUM 4" OF INSULATION WITH TAPERED ABOVE. EXTERIOR WALL CAVITY INSULATION R-21 CLOSED CELL SPRAY FOAM INSULATION. PHOTOVOLTAIC SOLAR SYSTEM NONE.

AGENCY REGULATIONS

- 1. CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND CURRENT AMENDMENTS AND MODIFICATIONS INCLUDING ALL LOCAL CODES AND ORDINANCES WHETHER OR NOT SPECIFICALLY SHOWN IN THESE DRAWINGS AND SPECIFICATIONS:
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE (CEC)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
CITY OF PALM DESERT ORDINANCES

CAL GREEN

- THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) IS NOW IN EFFECT. PLEASE NOTE THE FOLLOWING:
1. REFER TO SHEETS T1.2 FOR CALIFORNIA GREEN NON-RESIDENTIAL MANDATORY MEASURE CHECKLISTS.
2. ANY CHANGES MADE TO SPECIFICATIONS AND/OR METHODS DOCUMENTED IN THE CONSTRUCTION DOCUMENTS AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE COMPLIANCE BINDER SHALL COMPLY WITH ALL DIVISIONS OF CAL GREEN AND BE SUBMITTED TO THE CITY OF PALM DESERT BUILDING AND SAFETY DEPARTMENT FOR APPROVAL.
3. REFERENCES DEFERRING GREEN BUILDING MANDATORY MEASURE MATERIALS USED, THE MANUFACTURERS PRODUCT SPECIFICATION DEMONSTRATING COMPLIANCE, AND VERIFICATION OF FINISH MATERIALS WILL REQUIRE REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION/ APPROVAL.

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT/ ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

- THE FOLLOWING ITEMS SHALL BE SUBMITTED, REVIEWED & APPROVED UNDER A DEFERRED SUBMITTAL:
1) TRUSS DRAWINGS & CALCULATIONS
2) FIRE SPRINKLER SYSTEM

HERS INSPECTION PROGRAM

A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR TITLE 24 ANALYSIS. SEE T24 REPORT ON SHEETS 2.

- BUILDING-LEVEL VERIFICATIONS:
COOLING SYSTEM VERIFICATIONS:
HVAC DISTRIBUTION SYSTEM VERIFICATIONS:
DOMESTIC HOT WATER SYSTEM VERIFICATIONS:

SCOPE OF WORK

- REMODEL AND ADDITION TO EXISTING SPA & WELLNESS CENTER FACILITY.
+ ADDING 2ND STORY ON THE FRONT HALF OF THE BUILDING.
+ ENCLOSE EXISTING OUTDOOR COURTYARD IN MIDDLE OF EXISTING BUILDING.
+ EXTEND FRONT ENTRY TO ADD VERTICAL CIRCULATION TO 2ND STORY.
+ INTERIOR FINISH AND FURNITURE REPLACEMENT THROUGHOUT FACILITY.
MINOR WORK TO PARKING STALLS DUE TO NEW STONE FEATURE WALL BY PRECISE GRADING PLAN AND SEPARATE PERMIT. SITE WORK SHOWN ON THIS PLANSET IS FOR COORDINATION PURPOSES ONLY.
- NO WORK ON THE EXISTING OUTDOOR POOL.
- NO WORK ON THE EXISTING OUTDOOR SPORTS COURTS.
- NO CHANGE TO EXTERIOR SITE LIGHTING.
- NO CHANGE TO STREET FRONTAGE LANDSCAPING, ALONG KVA.
- NO CHANGE TO EXISTING RETAINING WALLS ON SOUTH END OF BUILDING.

BUILDING HISTORY: ORIGINAL BUILDING BUILT IN 2001 USING 1998 CALIFORNIA BUILDING CODES PERMITTED REMODEL/ ADDITION IN 2011 PERMITTED REMODEL/ ADDITION IN 2016 PERMITTED SITE IMPROVEMENTS IN 2016

CONSTRUCTION INFO.

Table with columns: CONSTRUCTION HOURS, OWNER (BIGHORN GOLF CLUB), GENERAL CONTRACTOR (LUSARDI CONSTRUCTION), ARCHITECT (KHA ARCHITECTS), CIVIL ENGINEER (RTM ENGINEERING), GEOTECHNICAL ENGINEER (SLADDEN ENGINEERING), MECHANICAL/PLUMBING (RTM ENGINEERING), ELECTRICAL (SOUTHERN CALIFORNIA EDISON), WATER / SEWER (C.V.W.D.), STRUCTURAL (RA STRUCTURAL ENGINEERING INC.).

SEPARATE SUBMITTALS

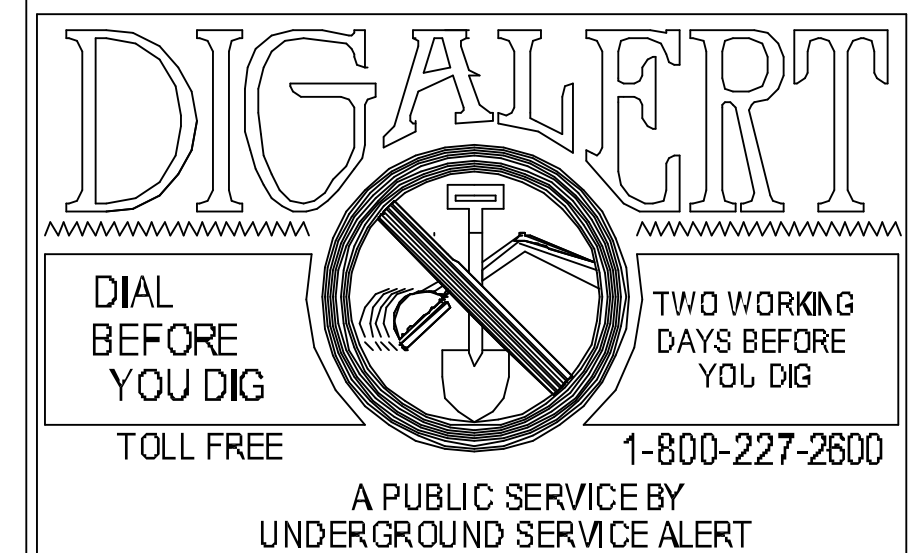
- THE FOLLOWING ITEMS SHALL BE SUBMITTED, REVIEWED & APPROVED UNDER A SEPARATE PERMIT:
1) FIRE SPRINKLERS
2) CMU SITE WALLS
3) PRECISE GRADING PLAN

ABBREVIATIONS

Table of abbreviations: L CENTERLINE, CL DIAMETER OR ROUND NUMBER OR POUND, ACOUS. ACOUSTICAL, A.D. AREA DRAIN, AD. ADJACENT, AGGR. AGGREGATE, AL ALUMINUM, APPR. APPROXIMATE, ARCH. ARCHITECTURAL, ABS. ABSOLUTE, ASPH. ASPHALT, BD. BOARD, BITUM. BITUMINOUS, BLDG. BUILDING, BLK. BLOCK, BULK. BLOCKING, BM. BEAM, BOIS. BOTTOM BOARD, BRD. BOARD, CAB. CABINET, C.B. CATCH BASIN, CEM. CEMENT, C.I. CAST IRON, CLG. CEILING, CLKG. CALDKING, CLD. CLOSE, CLR. CLEAR, COLL. COLLUMN, CONN. CONNECTION, CONC. CONCRETE, CONST. CONSTRUCTION, CONTE. CONTINUOUS, CORR. CORRIDOR, CNTR. COUNTER, CTR. CENTER, CTR. COUNTERSINK, DBL. DOUBLE, DEPT. DEPARTMENT, DET. DETAIL, D.F. DRINKING FOUNTAIN, DIA. DIAMETER, DIM. DIMENSION, DISP. DISPENSER, DNR. DOWN, DR. DOOR, DR. DOWN SPOUT, DWG. DRAWING, DW.R. DRAWER, E. EAST, EA. EACH, EJ. EXPANSION JOINT, EL. ELEVATION, ELEC. ELECTRICAL, ELEV. ELEVATOR, ENCL. ENCLOSURE, EQ. EQUAL, EQP. EQUIPMENT, EXP. EXPANSION, EXGT. EXISTING, EXT. EXTERIOR, FA. FIRE ALARM, FD. FLOOR DRAIN, FE. FIRE EXTINGUISHER, FIN. FINISH, FIB. FIBER, FLASH. FLASHING, FLOR. FLOOR, FND. FOUNDATION, F.O.C. FACE OF CURB, F.O.S. FACE OF STUD, FRPE. FRAME, FS. FINISH SLAB, FT. FOOT OR FEET, FTG. FOOTING, FUR. FURRING, FUT. FUTURE, GA. GAUGE, GALV. GALVANIZED, G.L. GLEULAM BEAM, GND. GROUND, GR. GRADE, GYP. GYPSUM, H.B. HOSE BIBB, HDWD. HARDWOOD, HDWR. HARDWARE, HGT. HEIGHT, H.M. HORIZONTAL METAL, HORIZ. HORIZONTAL, HR. HOUR, I.D. INSIDE DIAMETER, INSUL. INSULATION, INTER. INTERIOR, JAN. JANITOR, JOINT JOINT, KITCHEN KITCHEN, LAM. LAMINATE, LAV. LAVATORY, LOCKR. LOCKER, LIGHT LIGHT, MAX. MAXIMUM, M.C. MEDICINE CABINET, MECH. MECHANICAL, MEMB. MEMBRANE, MET. METAL, MFR. MANUFACTURER, MIN. MINIMUM, MIR. MIRROR, MIS. MISCELLANEOUS, MTD. MOUNTED, MULL. MULLION, N. NORTH, N.I.C. NOT IN CONTRACT, NO. OR # NUMBER, NOM. NOMINAL, NOT TO SCALE, O.A. OVER ALL, O.E. OVER ALL, O.P. OBLIQUE, ON CENTER, OFF. OFFICE, OPNG. OPENING, OP.P. OPPOSITE, O.PST. PRECAST, PL. PLATE, P.LAM. PLASTIC LAMINATE, PLAS. PLASTER, PLYWD. PLYWOOD, PR. PAIR, PT. POINT, PTN. PARTITION, RISER RISER, RAD. RADIUS, R.D. ROOF DRAIN, REF. REFERENCE, REFR. REFRIGERATOR, REIN. REINFORCE, RES. REQUIRE, RES. RESIDENT, REGIS. REGISTER, R.M. ROOM, R.O. ROOM OPENING, RWD. REDWOOD, RUG. RUG, RUGH OPENING, S.C. SOUTH, S.C. SOUTH CORE, SCHED. SCHEDULE, S.D. SOAP DISPENSER, SECT. SECTION, SH. SHELF, SHWR. SHOWER, SHT. SHEET, SIM. SIMILAR, SPEC. SPECIFICATIONS, SQ. SQUARE, ST. STAINLESS STEEL, STAT. STATION, STD. STANDARD, STL. STEEL, STOR. STORAGE, STR. STRUCTURAL, SUSP. SUSPENDED, SYM. SYMMETRICAL, TORS. TORSION BAR, TEL. TELEPHONE, TONGUE & GROOVE, TYP. TYPICAL, TYP. TYPICAL, T.O.P. TOP OF CHIMNEY, T.O.P. TOP OF PARAPET, T.O.P. TOP OF ROOF, T.O.S. TOP OF SHEATHING, TRAD. TRAP, TR. TRUSS, TV. TELEVISION, TYP. TYPICAL, TYP. TYPICAL, UNFIN. UNFINISHED, UNLS. UNLESS OTHERWISE NOTED, VERT. VERTICAL, VERT. VERTICAL, VEST. VESTIBULE, WEST WEST, W/ WITH, W.C. WATER CLOSET, W.D. WOOD, W/O WITHOUT, W.P. WATERPROOF, W.B.B. WEATHER RESISTIVE BARRIER, WT. WEIGHT

SYMBOLS LEGEND

Table of symbols legend: 2 x 4 WOOD STUDS @ 16" ON CENTER, 2 x 6 WOOD STUDS @ 16" ON CENTER, 2 x 6 METAL STUDS @ 16" ON CENTER, EXISTING WALLS TO BE REMOVED, EXISTING WALLS TO REMAIN, 1 HOUR FIRE RATED PARTITION - 1 LAYER 5/8" TYPE 'X' GYP BOARD, SOUND WALL ASSEMBLY, MASONRY, PLYWOOD, BATT INSULATION, SPRAY FOAM INSULATION, PROPERTY LINE, METAL, GYPSUM BOARD, METAL LATHE, WINDOW TYPE, DOOR SYMBOL, EARTH, STONE VENEER, PLASTER/TUCCO, CONCRETE, STONE SLAB, REVISION, CONTROL POINT, DENOTES SECTION NUMBER, DENOTES SHEET NUMBER, DENOTES DETAIL NUMBER, DENOTES SHEET NUMBER, DENOTES ROOM NUMBER, DENOTES SHEET NUMBER, DENOTES WALL SECTION



ACKNOWLEDGEMENT TO CALL BEFORE DIGGING SIGNED BY:



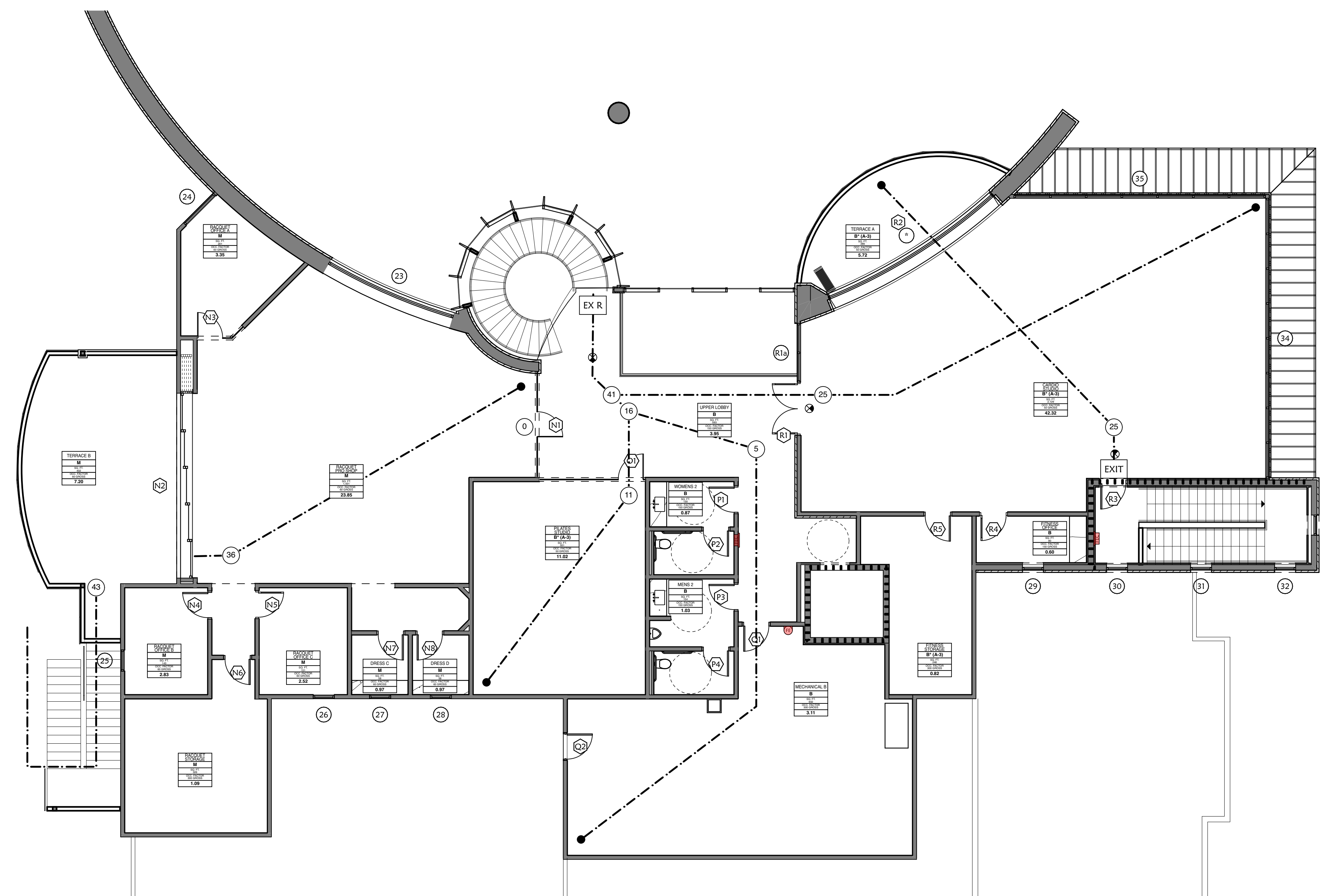
VICINITY MAP BIGHORN SPA & WELLNESS CENTER ADDITION 256 PALOWET DRIVE PALM DESERT, CA 92260

BIGHORN SPA & WELLNESS CENTER ADDITION

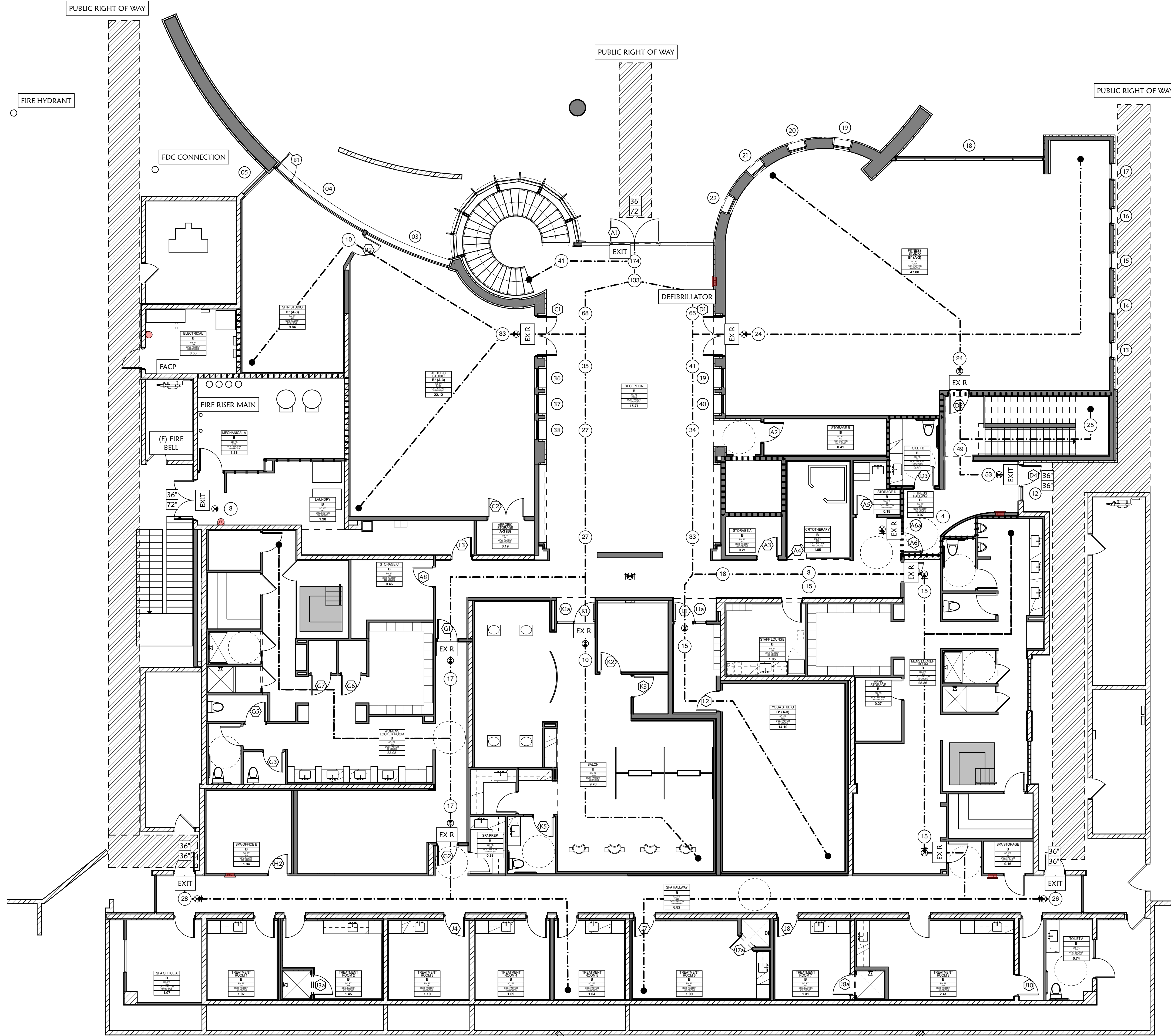


BIGHORN THE MOUNTAINS THE RESIDENT OF THE GAME IN THE HEART OF THE DESERT Mountains Course Designed by Arthur Hills BIGHORN Properties 800-551-5278 www.bighorn.com





**2 SECOND FLOOR CODE PLAN**  
SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR CODE PLAN**  
SCALE: 1/8" = 1'-0"

### CODE ANALYSIS

BUILDING ANALYSIS			
CONSTRUCTION TYPE	TYPE VB FULLY SPRINKLERED (PER NFPA 13)		
OCUPANCIES	B-1 A-3 (LABORATORY) B-2 BUSINESS TRAINING AND SKILL DEVELOPMENT, PROFESSIONAL SERVICES & BEAUTY SHOP M-MERCANTILE (PRO SHOP RETAIL)		
OCUPANCY SEPARATION	A	B & M	N
HEIGHT ANALYSIS	ALLOWABLE HEIGHT (STORIES)	FIRE SPRINKLERED AREA INCREASE	MAXIMUM ALLOWABLE HEIGHT (STORIES)
A-3 V8 SPRINKLERED	60'-0" (2 STORIES)	40'-0" (1.5 STORY)	60'-0" (2 STORIES)
B V8 SPRINKLERED	60'-0" (3 STORIES)	-	60'-0" (3 STORIES)
AREA ANALYSIS			
OCUPANCY	ALLOWABLE FLOOR AREA	FRONTAGE	FIRE SPRINKLER (SQ. FT.)
A-3	6,000 SF	-	18,000 SF
B	9,000 SF	-	27,000 SF
TOTAL	-	-	45,000 SF
FIRE RESISTANCE ANALYSIS			
BUILDING ELEMENT	CBC SECTION	FIRE RATING (HOURS)	
STRUCTURAL FRAME	TABLE 601	0 - HOURS	
BEARING WALLS - EXTERIOR	TABLE 601 & 602	0 - HOURS	
BEARING WALLS - INTERIOR	TABLE 601	0 - HOURS	
NON-BEARING WALLS - EXTERIOR	TABLE 601	0 - HOURS	
NON-BEARING WALLS - INTERIOR	TABLE 601	0 - HOURS	
FLOOR CONSTRUCTION	TABLE 601	0 - HOURS	
ROOF CONSTRUCTION	TABLE 601	0 - HOURS	
EXTERIOR OPENING PROTECTION	TABLE 705.8	NOT APPLICABLE	
PARAPET RATING	SECT. 705.11	NOT APPLICABLE	
FIRE WALLS	TABLE 706.4	NOT APPLICABLE	
FIRE BARRIERS	TABLE 707.3.10	NOT APPLICABLE	
FIRE PARTITIONS	SECT. 708.3.4	NOT APPLICABLE	
SMOKE BARRIERS	SECT. 709	NOT APPLICABLE	
SMOKE PARTITIONS	SECT. 710	NOT APPLICABLE	
SHAFT ENCLOSURES	SECT. 713.4	1 - HOUR	
CORRIDORS	TABLE 1002.1	NOT APPLICABLE	
INTERIOR EXIT STAIRWAYS	SECT. 1003	1 - HOUR	
EXIT PASSAGEWAYS	SECT. 1024	NOT APPLICABLE	
INCIDENTAL USE SEPARATIONS	TABLE 509	NOT APPLICABLE	
PLUMBING FIXTURE ANALYSIS			
OCUPANCY	NUMBER OF OCCUPANTS	WATER CLOSETS	URINAL
B	326	3	2
TOTAL REQUIRED	183 M / 183 F	3	2
TOTAL PROVIDED	3	3	3

#### BIGHORN SPA WELLNESS CENTER ADDITION

Square Footage & Occupancy Calculations

Room	Area	Occupancy	Code	Area Factor	Occupancy
Spa office A	150	150	B	1.07	150
Spa Office B	201	150	B	1.34	201
Treatment Room 1	150	150	B	1.07	150
Treatment Room 2	214	150	B	1.43	214
Treatment Room 3	178	150	B	1.19	178
Treatment Room 4	154	150	B	1.09	154
Treatment Room 5	158	150	B	1.05	158
Treatment Room 6	299	150	B	1.99	299
Treatment Room 7	157	150	B	1.05	157
Treatment Room 8	352	150	B	2.35	352
Spa Prep	150	150	B	1.07	150
Spa Storage	47	300	B	0.38	111
Spa Hallway	102	150	B	0.68	102
<b>Spa Area TOTAL</b>	<b>3315</b>	<b>150</b>			<b>31.94</b>
Women's Locker room	97	300	B	0.33	32
Mens Locker room	1418	300	B	2.36	1418
Mens Storage	80	300	B	0.29	80
<b>LOCKER ROOM TOTAL</b>	<b>1635</b>	<b>300</b>			<b>61.71</b>
Station	1405	150	B	0.93	1405
Staff Lounge	157	150	B	1.00	157
Yoga Studio	700	150	A-3*	1.43	700
Cryotherapy	150	150	B	1.00	150
Storage A	62	300	B	0.21	62
Storage B	123	300	B	0.41	123
Storage C	128	300	B	0.43	128
Storage D	55	300	B	0.18	55
Laundry	262	300	B	0.87	262
Mechanical A	340	300	B	1.13	340
Electrical	159	300	B	0.53	159
Acoustic Studio	1100	150	A-3*	2.12	1100
Aerobics Storage	58	300	B	0.19	58
Spa Studio	492	150	A-3*	0.94	492
Entry/Reception Spaces	874	150	B/M	15.71	2356
Fitness Hall & Star B	861	150	B	3.07	861
Yoga B	80	150	B	0.53	80
<b>Non-1st floor TOTAL</b>	<b>10700</b>	<b>150</b>			<b>139.53</b>
Reception Pro Shop	1421	60	M	23.68	1421
Reception Office A	201	60	M	3.35	201
Reception Office B	143	60	M	2.38	143
Reception Office C	151	60	M	2.52	151
Reception Storage	228	300	M	0.88	228
Dress C	58	60	M	0.97	58
Dress D	88	60	M	1.47	88
Temp B	432	60	M	7.20	432
<b>Reception Pro Shop TOTAL</b>	<b>2860</b>	<b>60</b>			<b>42.82</b>
Plates Studio	551	50	A-3*	11.02	551
Upper Lobby	900	150	B	2.80	900
Women's 2	150	150	B	0.87	150
Men's 2	154	150	B	1.00	154
Mechanical B	822	300	B	2.74	822
Yoga Studio	700	150	A-3*	1.43	700
Plates Studio	549	300	B	1.83	549
Fitness Storage	90	150	B	0.60	90
Temp A	298	150	A-3*	5.76	298
<b>2nd floor non-proshop TOTAL</b>	<b>5115</b>	<b>150</b>			<b>66.60</b>
<b>1st floor Total</b>	<b>17867</b>	<b>300</b>			<b>233.38</b>
<b>2nd floor Total</b>	<b>7911</b>	<b>150</b>			<b>102.84</b>
<b>Total Building Occupant Load</b>	<b>25778</b>	<b>450</b>			<b>336.22</b>

#### EXITING ANALYSIS

SEE TABLE TO THE LEFT.

TOTAL OCCUPANCY	EXITS REQUIRED	DOOR WIDTH REQUIRED	DOOR WIDTH PROVIDED	STAIR WIDTH REQUIRED	STAIR WIDTH PROVIDED	MAX. TRAVEL ALLOWED	MAX. TRAVEL PROVIDED
326	2	MIN 36"	+36"	MIN 44"	+44"	250'-0"	150'-0"

#### STAIR ANALYSIS & CALCULATIONS

STAIR NUMBER	OCCUPANT LOAD	OCCUPANT LOAD FACTOR	REQUIRED WIDTH	PROVIDED WIDTH
GRAND STAIR	41	0.3	44"	44"
STAIR B	25	0.3	44"	44"
STAIR C	43	0.3	44"	44"

#### GENERAL NOTES

- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING IS OCCUPIED BY THE MEANS OF EGRESS IS OCCUPIED.
- EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.

#### SYMBOL LEGEND

ROOM	USE	SIGNAGE SCHEDULE
R-3	OCCUPANCY	ALL
SQ. FT.	AREA (S.F.)	ADVISIVE LISTENING SYSTEM AVAILABLE (CBC 108-705)
100	OCCUPANT LOAD FACTOR	EXIT - EACH GRADE LEVEL EXTERIOR EXIT DOOR (CBC 108-705)
36"	REQUIRED DOOR WIDTH	EXIT - EACH GRADE LEVEL EXTERIOR EXIT DOOR (CBC 108-705)
36"	REQUIRED DOOR WIDTH	EXIT STAIR DOWN - EACH STAIRWAY DOWN (UPPER FLOORS) (CBC 103-4)
⊕	CUMULATIVE NUMBER OF OCCUPANTS THROUGH EXIT	EXIT ROUTE - EACH ROOM W/ VISUAL EXIT SIGN (CBC 903.4)
RH	PATH OF EGRESS TRAVEL MAX. DISTANCE	"MAXIMUM ROOM CAPACITY" (CBC 108-705)
←	PATH OF EGRESS TRAVEL MAX. DISTANCE	"RESTROOM DOOR" (CBC 108-705)
	1-HR RATED SEPARATION WALL (FORM RECESSED / WALL MOUNT)	"RESTROOM WALL" (CBC 108-705)
⊕	FIRE EXTINGUISHER (FORM RECESSED / WALL MOUNT)	"INTERNATIONAL ACCESSIBILITY SYMBOL" (CBC 108-705)
⊕	REFER TO ELECTRICAL FOR ILLUMINATED VISUAL EXIT SIGNS, ILLUMINATED FLOOR LEVEL EXIT SIGNS, FIRE ALARM SYSTEM & SMOKE DETECTORS.	ACCESSIBLE PATH OF TRAVEL 2022 CBC 108-403.5.1
⊕		A-3 OCCUPANCY (PER CBC 103.2 DUAL ADDRESS SPACE)
⊕		B OCCUPANCY

#### PARKING TABULATIONS

PARKING TABULATIONS NOT REQUIRED.  
THIS FACILITY IS PART OF THE CLUBHOUSE ZONE AGREEMENT WITH THE CITY.  
TRAVEL ACCESSIBILITY REQUIRES A MINIMUM OF 150 AIR CONDITIONED SPACES AND 60 GOV. CART SPACES.  
ACCESSIBLE SPACES ARE PROVIDED AS REQUIRED BY APPLICABLE LAWS.  
THE ACCESSIBLE SPACES ARE DOTTED TO REMAIN WITH NO WORK.  
THE ENTIRE CLUBHOUSE ZONE USES WALKWAY SERVICE.  
THIS FACILITY IS ONLY AVAILABLE TO MEMBERS, WHICH IS A FIXED NUMBER BASED ON LOTS WITHIN THE DEVELOPMENT.  
THE AVAILABLE SPACES FOR THESE FACILITIES DOES NOT INCREASE WITH SQUARE FOOTAGE.

CONSTRUCTION	REVISION LIST
CONSTR. REV 1	DESIGN DEV.
CONSTR. REV 2	CONST. DOCS.
CONSTR. REV 3	CITY PLANNING SUB. 1 AUG 27, 2024
	CITY SUB. 1
	CITY SUB. 2
	CITY SUB. 2
	CONSTR. REV 1
	CONSTR. REV 2
	CONSTR. REV 3
	PROJECT #: 2209
	CONTACT: KRISTI
	SCALE: AS NOTED
	CODE REVIEW
	SHEET #
	11.6
	DATE: 9/2/24
	Q.C.

# KHA ARCHITECTS

72-185 PAINTERS PATH SUITE A PALM DESERT, CA 92260 760.776.4068

INSTRUMENTS OF SERVICE. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF KHA ARCHITECTS. THEY ARE NOT TO BE REPRODUCED OR ALTERED IN ANY WAY NOR DISCLOSED OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF KHA ARCHITECTS.

CITY APPROVAL:

BIGHORN SPA & WELLNESS CENTER ADDITION  
256 PALOWET DRIVE  
PALM DESERT, CA 92260

LICENSED ARCHITECT  
KRISTI WHANSON  
NO. C24847  
REN. 08/31/2025  
STATE OF CALIFORNIA

REVISION LIST

NO.	DESCRIPTION	DATE
1	DESIGN DEV.	
2	CONST. DOCS.	
3	CITY PLANNING SUB. 1 AUG 27, 2024	
4	CITY SUB. 1	
5	CITY SUB. 2	
6	CITY SUB. 2	
7	CONSTR. REV 1	
8	CONSTR. REV 2	
9	CONSTR. REV 3	

PROJECT #: 2209

CONTACT: KRISTI

SCALE: AS NOTED

CODE REVIEW

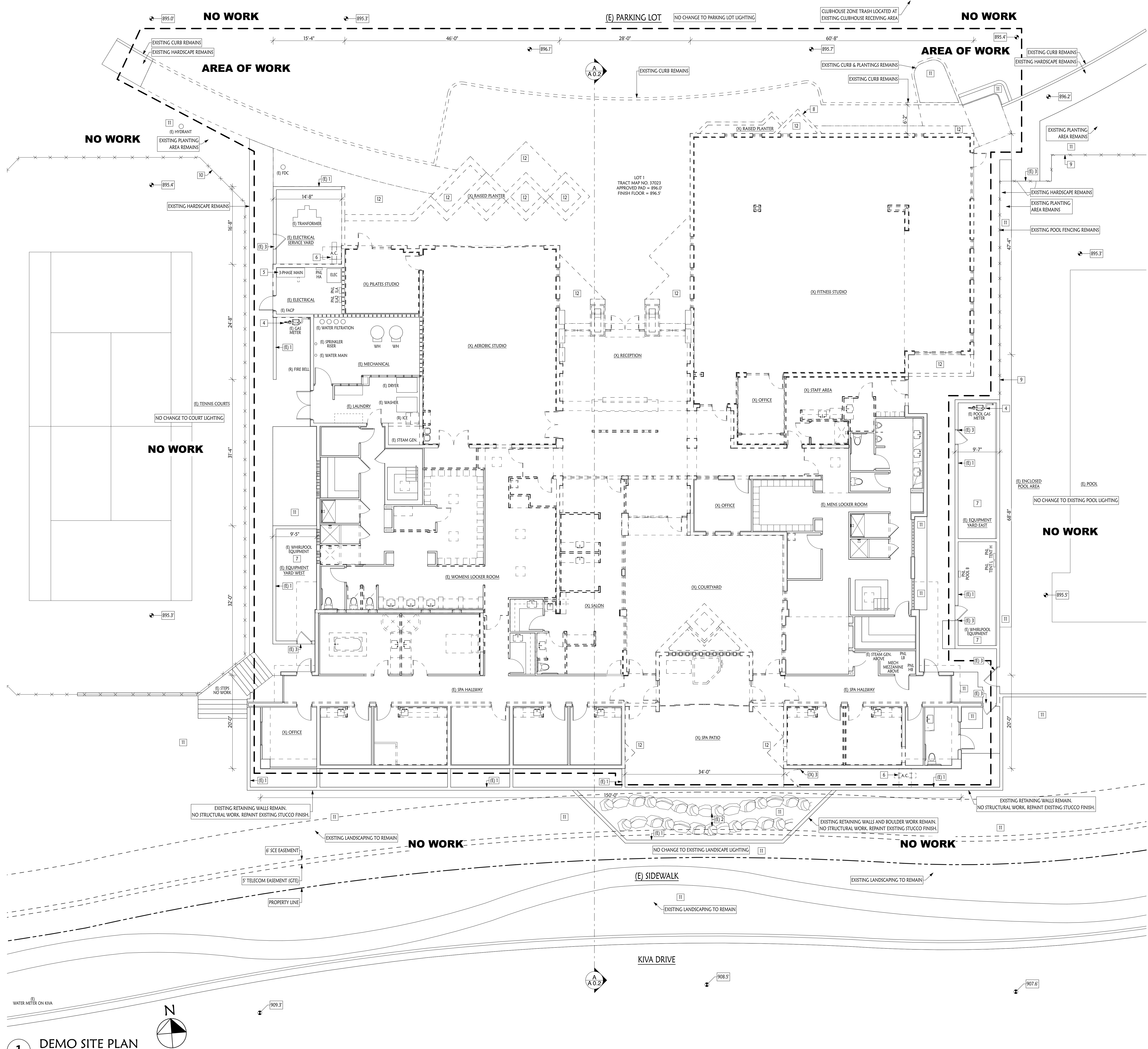
SHEET #

11.6

DATE: 9/2/24

Q.C.



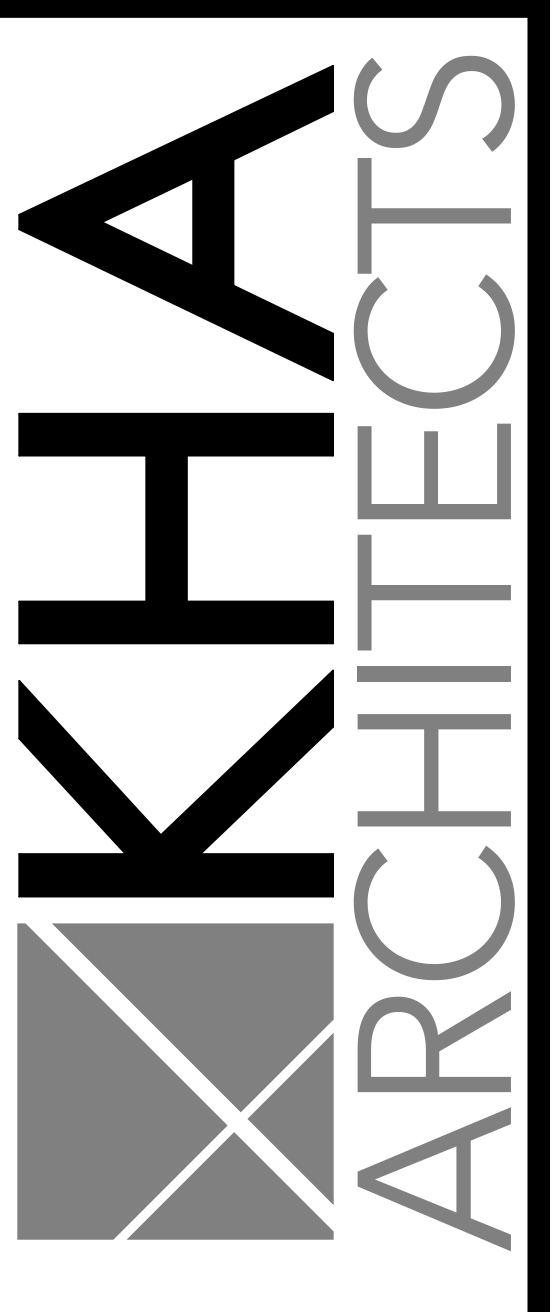


- RENOVATION LEGEND**
- (E) = EXISTING
  - (X) = REMOVE/DEMOLISH
  - (R) = RELOCATE EXISTING
  - (N) = NEW
- WALL LEGEND**
- EXISTING WALL TO REMAIN
  - EXISTING CMU WALL TO REMAIN
  - - - EXISTING WALL TO BE REMOVED
  - NEW WALL FRAMING
  - NEW CMU/MASONRY WALL



- SITE PLAN GENERAL NOTES:**
- A. SEE PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.
  - B. SEE GRADING PLAN FOR INFORMATION REGARDING VERIFICATION OF FINISH FLOOR LEVEL.
  - C. GENERAL CONTRACTOR SHALL PROVIDE PROPER SOILS PREPARATION PER THE SOILS REPORT.
  - D. ALL SITE FINISHES TO BE APPROVED BY ARCHITECT/INTERIOR DESIGNER.
  - E. POOL, WHIRLPOOLS AND WATER FEATURES REQUIRE SEPARATE PERMITS, SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET.
  - F. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES, 2022 CBC R311.3. LANDINGS AT REQUIRED EGRESS DOORS SHALL NOT BE 1/2" LOWER THAN TOP OF THRESHOLD, 2022 CBC R311.3.1.
  - G. PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND PLUMBING EQUIPMENT.
  - H. ALL RETAINING & GARDEN WALLS REQUIRE SEPARATE APPROVAL AND PERMIT, SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET. REFER TO PRECISE GRADING PLAN.
  - I. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING CURB LOCATION FROM PROPERTY LINE(S) WITH THE PUBLIC WORKS DEPARTMENT.
  - J. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADES SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET PER 2022 CBC R401.3. STORM WATER SHALL FLOW AWAY FROM THE BUILDING AND AWAY FROM ADJOINING PROPERTY AND SHALL NOT CREATE A NUISANCE PER 2022 CBC 1101.1. REFER TO THE PRECISE GRADING PLANS FOR SITE DRAINAGE DESIGN.

- DEMOLITION SITE PLAN KEY NOTES:**
1. CMU BLOCK WALL REFER TO WALL LEGEND FOR FINISH. SEPARATE PERMIT REQUIRED. SEE PRECISE GRADING. (E) = EXISTING, REFINISHED, (N) NEW.
  2. BOULDER WALL. SEE PRECISE GRADING.
  3. METAL SITE GATE. (E) = EXISTING, REFINISHED, (N) NEW GATE.
  4. GAS METER. SEE PLUMBING DRAWINGS.
  5. ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
  6. AC CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
  7. POOL EQUIPMENT. SEE PLUMBING DRAWINGS.
  8. AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, CLEARLY VISIBLE FROM STREET OR ACCESS ROAD, 2022 CRC R319.
  9. EXISTING POOL PERIMETER FENCING, TO REMAIN, NO WORK.
  10. EXISTING TENNIS COURT FENCING, TO REMAIN, NO WORK.
  11. EXISTING PLANTING AREA, PLANTS, LANDSCAPE LIGHTING, AND GROUND COVER MATERIAL PROVIDED BY OWNER.
  12. REMOVED PLANTING AREA, COORDINATE LANDSCAPE LIGHTING, IRRIGATION, AREA DRAINS WITH NEW PLAN.



72-185 PAINTERS PATH  
SUITE A  
PALM DESERT, CA 92260  
760.776.4068

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CITY APPROVAL:

**NOT FOR CONSTRUCTION**

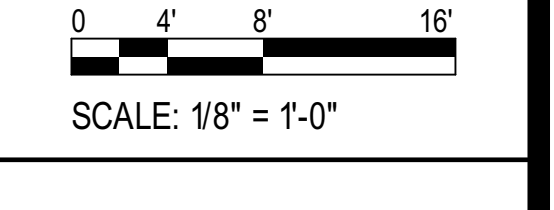
**NOT FOR CONSTRUCTION**

**BIGHORN SPA & WELLNESS CENTER ADDITION**  
256 PALOWET DRIVE  
PALM DESERT, CA 92260



REVISION LIST	
SCHEMATIC	JULY 30, 2024
DESIGN DEV.	
CONST. DOCS.	
CITY PLANNING SUB. 1	AUG 27, 2024
CITY SUB. 1	
CITY SUB. 2	
CONSTR. REV 1	
CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI

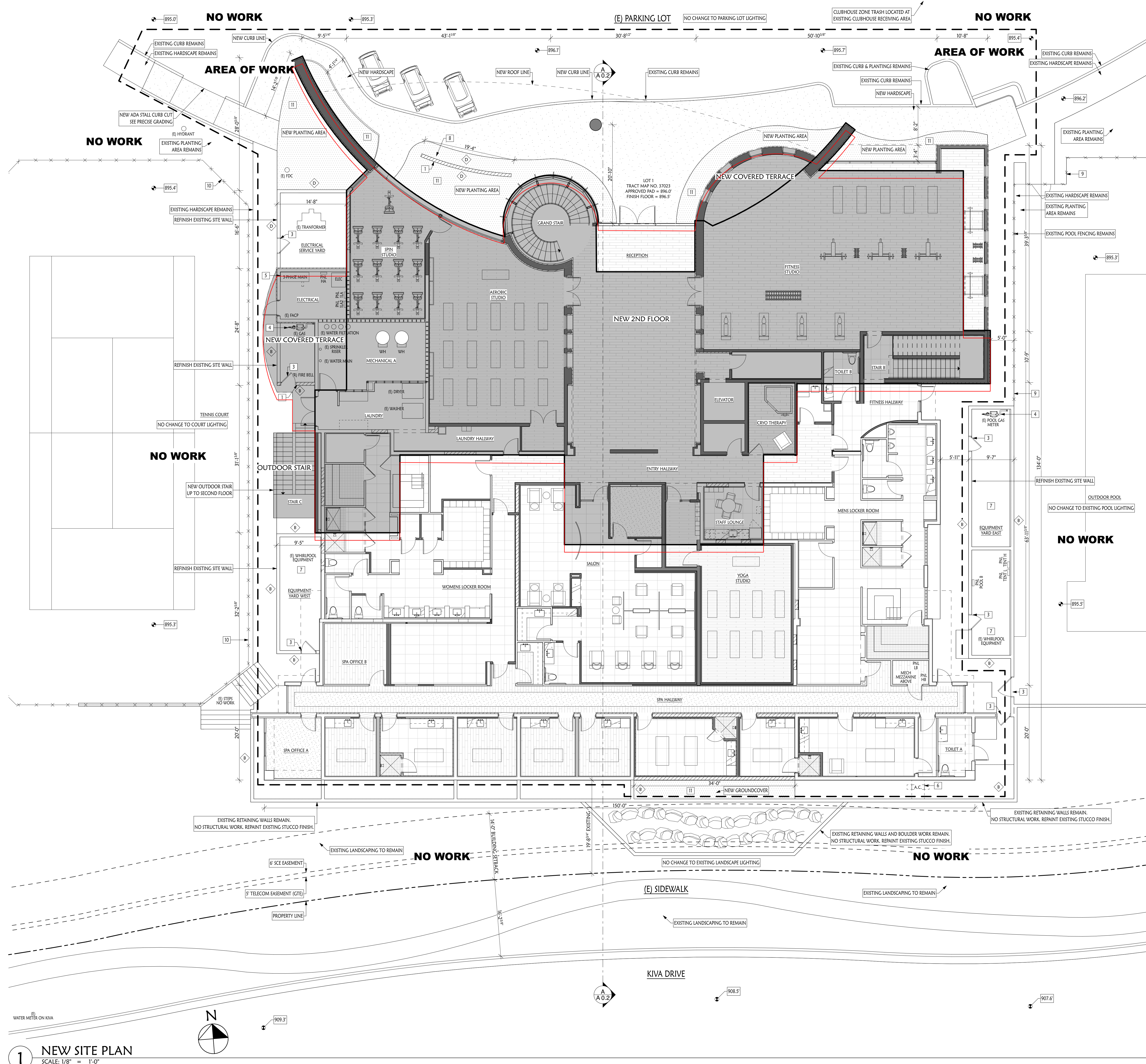


**DEMO SITE PLAN**

A 0.1

DATE: 9/12/24  
Q.C.





**1 NEW SITE PLAN**  
SCALE: 1/8" = 1'-0"

**RENOVATION LEGEND**

(E) = EXISTING  
(R) = REMOVE/DEMOLISH  
(R) = RELOCATE EXISTING  
(N) = NEW

**WALL LEGEND**

EXISTING WALL TO REMAIN  
EXISTING CMU WALL TO REMAIN  
EXISTING WALL TO BE REMOVED  
NEW WALL FRAMING  
NEW CMU/MASONRY WALL

2ND FLOOR OVERLAY

**DIG ALERT**

DIAL BEFORE YOU DIG

TWO WORKING DAYS BEFORE YOU DIG

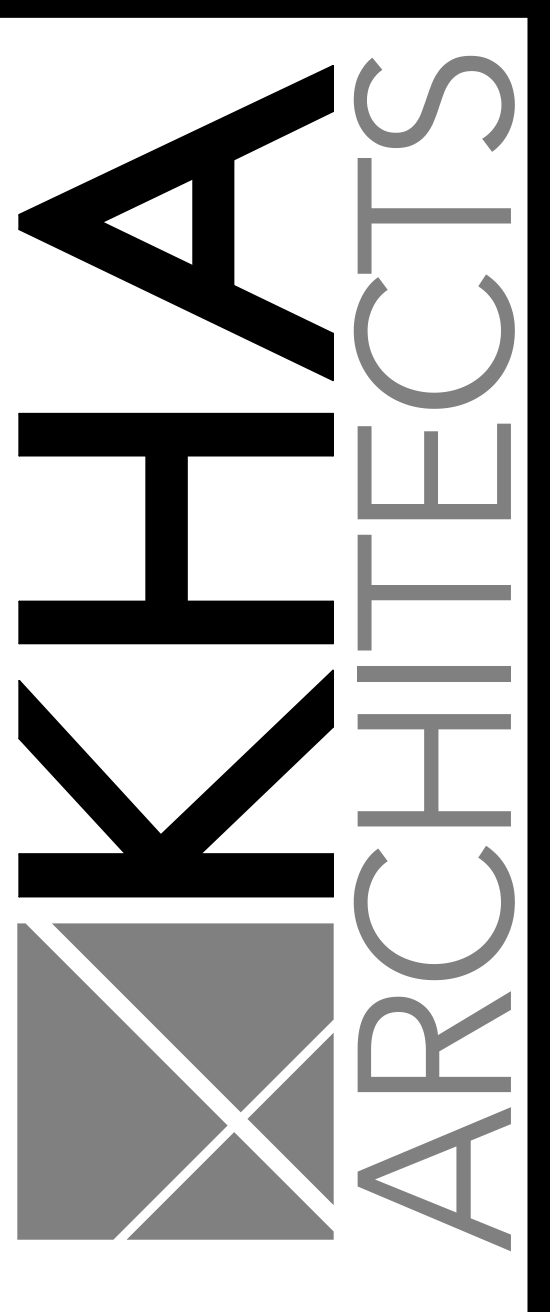
TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

- SITE PLAN GENERAL NOTES:**
- SEE PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.
  - SEE GRADING PLAN FOR INFORMATION REGARDING VERIFICATION OF FINISH FLOOR LEVEL.
  - GENERAL CONTRACTOR SHALL PROVIDE PROPER SOILS PREPARATION PER THE SOILS REPORT.
  - ALL SITE FINISHES TO BE APPROVED BY ARCHITECT/INTERIOR DESIGNER.
  - POOL, WHIRLPOOLS AND WATER FEATURES REQUIRE SEPARATE PERMITS. SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET.
  - LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2022 CBC R311.3. LANDINGS AT REQUIRED EGRESS DOORS SHALL NOT BE NOT BE 1/2" LOWER THAN TOP OF THRESHOLD. 2022 CBC R311.3.1.
  - PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND PLUMBING EQUIPMENT.
  - ALL RETAINING & GARDEN WALLS REQUIRE SEPARATE APPROVAL AND PERMIT. SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET. REFER TO PRECISE GRADING PLAN.
  - THE CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING CURB LOCATION FROM PROPERTY LINES WITH THE PUBLIC WORKS DEPARTMENT.
  - LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADES SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET PER 2022 CBC 8401.3. STORM WATER SHALL FLOW AWAY FROM THE BUILDING AND AWAY FROM ADJOINING PROPERTY AND SHALL NOT CREATE A NUISANCE PER 2022 CPC 101.1. REFER TO THE PRECISE GRADING PLANS FOR SITE DRAINAGE DESIGN.

- SITE PLAN KEY NOTES:**
- CMU BLOCK WALL. REFER TO WALL LEGEND FOR FINISH. SEPARATE PERMIT REQUIRED. SEE PRECISE GRADING. (E) = EXISTING, REFINISHED. (N) NEW.
  - BOULDER WALL. SEE PRECISE GRADING.
  - METAL SITE GATE. (E) = EXISTING, REFINISHED. (N) NEW GATE.
  - GAS METER. SEE PLUMBING DRAWINGS.
  - ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
  - AC CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
  - POOL EQUIPMENT. SEE PLUMBING DRAWINGS.
  - AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS. CLEARLY VISIBLE FROM STREET OR ACCESS ROAD. 2022 CBC R319.
  - EXISTING POOL PERIMETER FENCING. TO REMAIN. NO WORK.
  - EXISTING TENNIS COURT FENCING. TO REMAIN. NO WORK.
  - NEW PLANTING AREA. PLANTS, LANDSCAPE LIGHTING, AND GROUNDCOVER MATERIAL PROVIDED BY OWNER.

- SITE WALL FINISH LEGEND**
- STUCCO WALLS:**
- SHERWIN WILLIAMS PAINT SW9111 LRV 43 SMOOTH HAND TROWELED FINISH
  - SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH
- STONE VENEER:**
- TRAVERTINE
  - VERTICAL ORIENTATION. SEE LAYOUT PATTERN. PANEL SIZES: 48" X 12" - 36" X 18" - 30" X 24"
- METAL PANELS:**
- PAC-CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO. BOX RIB 1. VERTICAL ORIENTATION. "MEDIUM BRONZE" FINISH
- METAL SITE GATE:**
- PAINT TO MATCH SITE WALL FINISH.
- \*\* CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



72-185 PAINTERS PATH  
SUITE A  
PALM DESERT, CA 92260  
760.776.4068

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CITY APPROVAL:

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

**BIGHORN SPA & WELLNESS CENTER ADDITION**  
256 PALOWET DRIVE  
PALM DESERT, CA 92260



**REVISION LIST**

NO.	DESCRIPTION	DATE
1	SCHEMATIC	JULY 30, 2024
2	DESIGN DEV.	
3	CONST. DOCS.	
4	CITY PLANNING SUB. 1	AUG 27, 2024
5	CITY SUB. 1	
6	CITY SUB. 2	
7	CONSTR. REV 1	
8	CONSTR. REV 2	
9	CONSTR. REV 3	

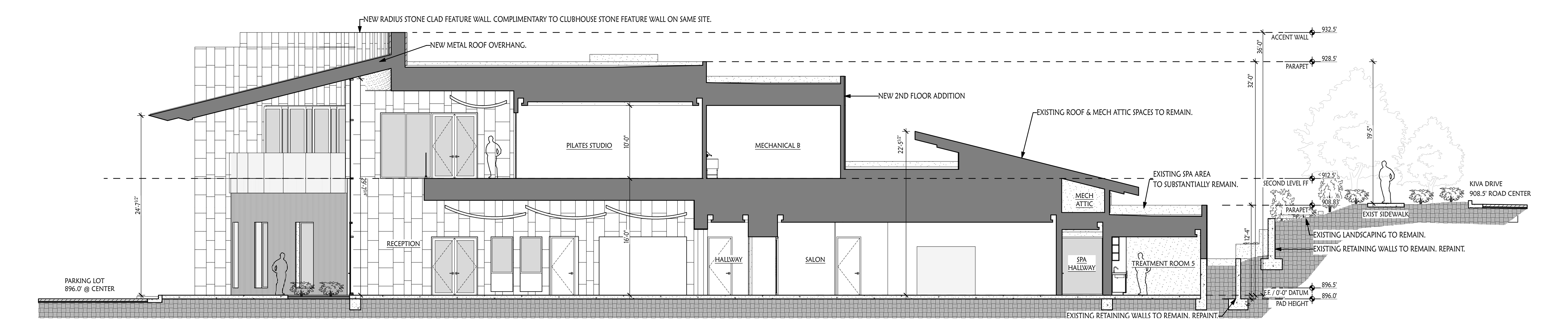
PROJECT #: 2209  
CONTACT: KRISTI  
SCALE: 1/8" = 1'-0"

**NEW SITE PLAN**

SHEET # **A.0.2**

DATE: 9/12/24

Q.C.



**SA SITE SECTION**  
SCALE: 1/8" = 1'-0"



- RENOVATION LEGEND:**
- (E) = EXISTING
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  - (R) = RELOCATED
  - (N) = NEW

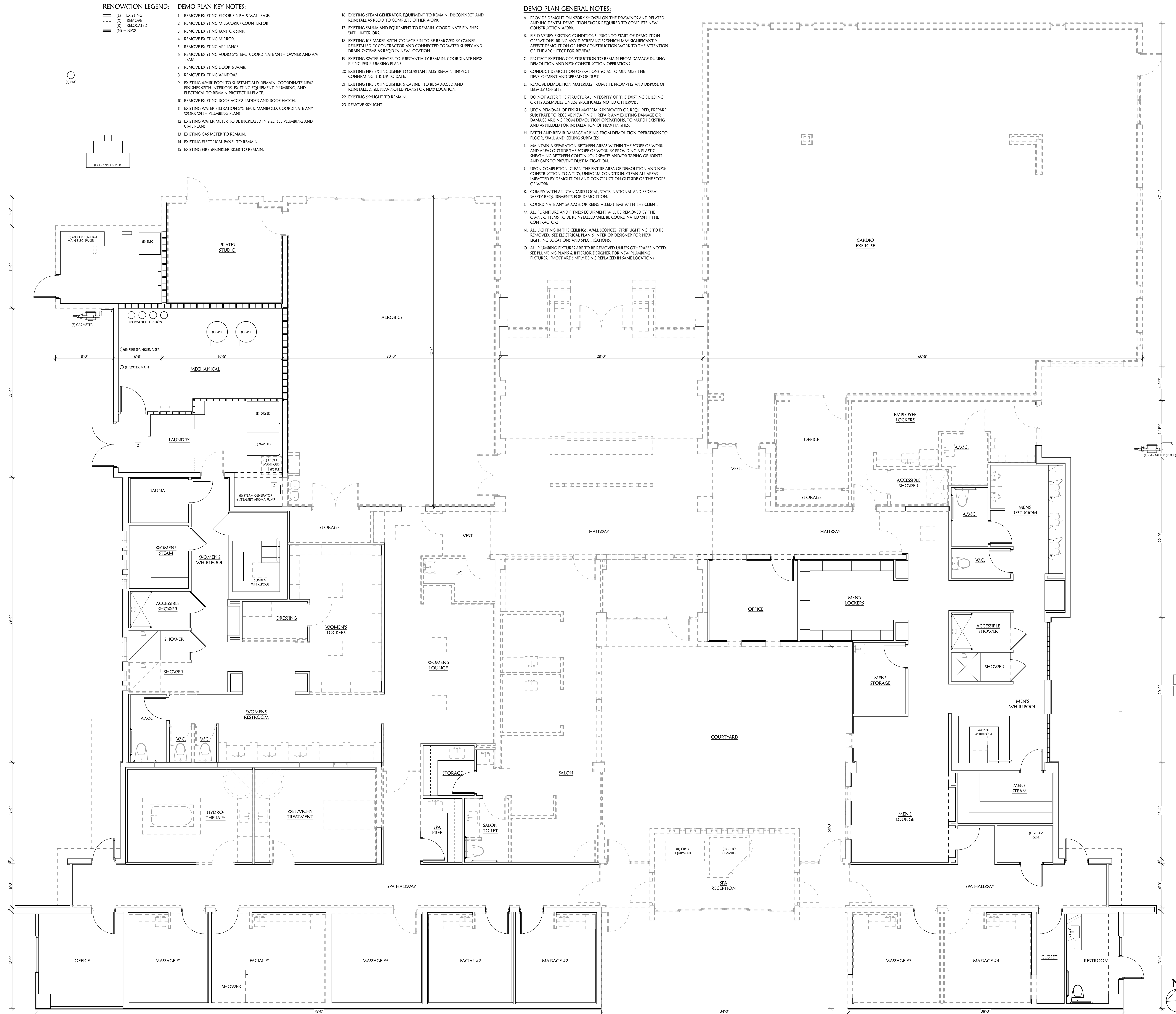
**DEMO PLAN KEY NOTES:**

- 1 REMOVE EXISTING FLOOR FINISH & WALL BASE.
- 2 REMOVE EXISTING MILLWORK / COUNTERTOP.
- 3 REMOVE EXISTING JANITOR SINK.
- 4 REMOVE EXISTING MIRROR.
- 5 REMOVE EXISTING APPLIANCE.
- 6 REMOVE EXISTING AUDIO SYSTEM. COORDINATE WITH OWNER AND A/V TEAM.
- 7 REMOVE EXISTING DOOR & JAMB.
- 8 REMOVE EXISTING WINDOW.
- 9 EXISTING WHIRLPOOL TO SUBSTANTIALLY REMAIN. COORDINATE NEW FINISHES WITH INTERIORS. EXISTING EQUIPMENT, PLUMBING, AND ELECTRICAL TO REMAIN PROTECT IN PLACE.
- 10 REMOVE EXISTING ROOF ACCESS LADDER AND ROOF HATCH.
- 11 EXISTING WATER FILTRATION SYSTEM & MANFOLD. COORDINATE ANY WORK WITH PLUMBING PLANS.
- 12 EXISTING WATER METER TO BE INCREASED IN SIZE. SEE PLUMBING AND CIVIL PLANS.
- 13 EXISTING GAS METER TO REMAIN.
- 14 EXISTING ELECTRICAL PANEL TO REMAIN.
- 15 EXISTING FIRE SPRINKLER RISER TO REMAIN.

- 16 EXISTING STEAM GENERATOR EQUIPMENT TO REMAIN. DISCONNECT AND REINSTALL AS REQ'D TO COMPLETE OTHER WORK.
- 17 EXISTING SAUNA AND EQUIPMENT TO REMAIN. COORDINATE FINISHES WITH INTERIORS.
- 18 EXISTING ICE MAKER WITH STORAGE BIN TO BE REMOVED BY OWNER. REINSTALLED BY CONTRACTOR AND CONNECTED TO WATER SUPPLY AND DRAIN SYSTEMS AS REQ'D IN NEW LOCATION.
- 19 EXISTING WATER HEATER TO SUBSTANTIALLY REMAIN. COORDINATE NEW PIPING PER PLUMBING PLANS.
- 20 EXISTING FIRE EXTINGUISHER TO SUBSTANTIALLY REMAIN. INSPECT CONFIRMING IT IS UP TO DATE.
- 21 EXISTING FIRE EXTINGUISHER & CABINET TO BE SALVAGED AND REINSTALLED. SEE NEW NOTED PLANS FOR NEW LOCATION.
- 22 EXISTING SKYLIGHT TO REMAIN.
- 23 REMOVE SKYLIGHT.

**DEMO PLAN GENERAL NOTES:**

- A. PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
- B. FIELD VERIFY EXISTING CONDITIONS. PRIOR TO START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION OR NEW CONSTRUCTION WORK TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
- C. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS.
- D. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
- E. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
- F. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
- G. UPON REMOVAL OF FINISH MATERIALS INDICATED OR REQUIRED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS, TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
- H. PATCH AND REPAIR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO FLOOR, WALL AND CEILING SURFACES.
- I. MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE THE SCOPE OF WORK BY PROVIDING A PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TAPING OF JOINTS AND GAPS TO PREVENT DUST MITIGATION.
- J. UPON COMPLETION, CLEAN THE ENTIRE AREA OF DEMOLITION AND NEW CONSTRUCTION TO A TIDY UNIFORM CONDITION. CLEAN ALL AREAS IMPACTED BY DEMOLITION AND CONSTRUCTION OUTSIDE OF THE SCOPE OF WORK.
- K. COMPLY WITH ALL STANDARD LOCAL, STATE, NATIONAL AND FEDERAL SAFETY REQUIREMENTS FOR DEMOLITION.
- L. COORDINATE ANY SALVAGE OR REINSTALLED ITEMS WITH THE CLIENT.
- M. ALL FURNITURE AND FITNESS EQUIPMENT WILL BE REMOVED BY THE OWNER. ITEMS TO BE REINSTALLED WILL BE COORDINATED WITH THE CONTRACTORS.
- N. ALL LIGHTING IN THE CEILINGS, WALL SCONES, STRIP LIGHTING IS TO BE REMOVED. SEE ELECTRICAL PLAN & INTERIOR DESIGNER FOR NEW LIGHTING LOCATIONS AND SPECIFICATIONS.
- O. ALL PLUMBING FIXTURES ARE TO BE REMOVED UNLESS OTHERWISE NOTED. SEE PLUMBING PLANS & INTERIOR DESIGNER FOR NEW PLUMBING FIXTURES. (MOST ARE SIMPLY BEING REPLACED IN SAME LOCATION)



72-185 PAINTERS PATH  
SUITE A  
PALM DESERT, CA 92260  
760.776.4068

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PERMISSION OF KHA ARCHITECTS.

CITY APPROVAL:  
**NOT FOR CONSTRUCTION**  
**NOT FOR CONSTRUCTION**

**BIGHORN SPA & WELLNESS  
CENTER ADDITION**  
256 PALOWET DRIVE  
PALM DESERT, CA 92260



REVISION LIST	
SCHEMATIC	JULY 30, 2024
DESIGN DEV.	
CONST. DOCS.	
CITY PLANNING SUB. 1	AUG 27, 2024
CITY SUB. 1	
CITY SUB. 2	
CONSTR. REV 1	
CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI  
SCALE: 1/4" = 1'-0"

**DEMO FLOOR PLAN**  
SHEET #  
**A1.0**  
DATE: 9/12/24  
Q.C.



**REVISION LIST**

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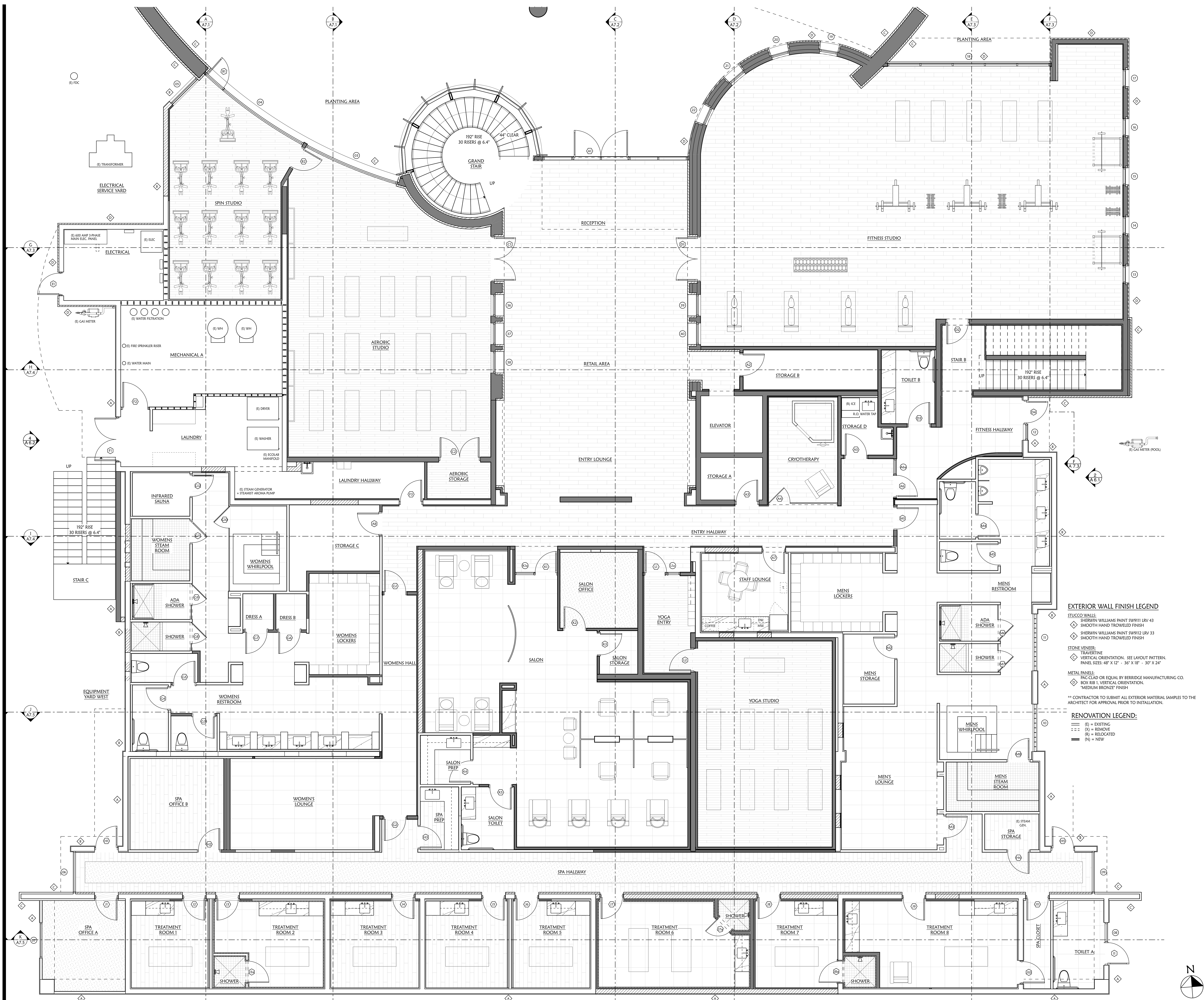
PROJECT #: 2209

CONTACT: KRISTI

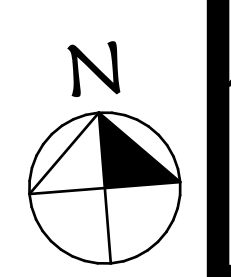
SCALE: 1/4" = 1'-0"

**FIRST FLOOR NOTED  
FLOOR PLAN**

SHEET #  
**A2.7**  
DATE: 9/12/24  
Q.C.



- EXTERIOR WALL FINISH LEGEND**
- STUCCO WALLS:
    - SHERWIN WILLIAMS PAINT #09111 LRV 43 SMOOTH HAND TROWELED FINISH
    - SHERWIN WILLIAMS PAINT #09112 LRV 33 SMOOTH HAND TROWELED FINISH
  - STONE VENEER:
    - TRAVERTINE
    - VERTICAL ORIENTATION. SEE LAYOUT PATTERN. PANEL SIZES: 48" X 12" - 30" X 18" - 30" X 24"
  - METAL PANELS:
    - PKC CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO.
    - BOX RIB I, VERTICAL ORIENTATION, "MEDIUM BRONZE" FINISH
- \*\* CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- RENOVATION LEGEND:**
- (E) = EXISTING
  - (R) = REMOVE
  - (M) = RELOCATED
  - (N) = NEW





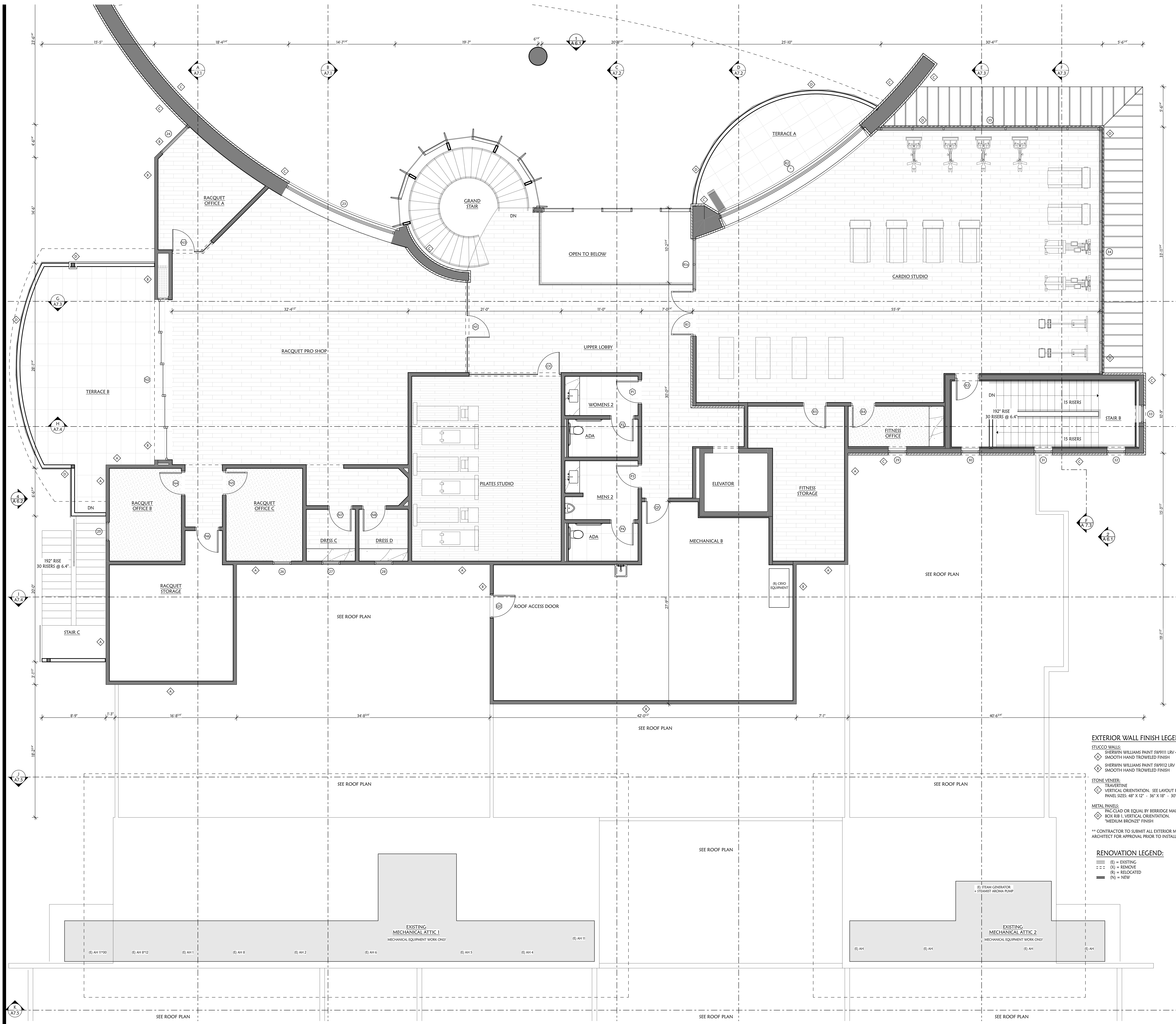
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SCHEMATIC	JULY 30, 2024
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CONST. DOCS.	
CITY PLANNING SUB. 1	AUG 27, 2024
CITY SUB. 1	
CITY SUB. 2	
CONSTR. REV 1	
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CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI

SCALE: 1/4" = 1'-0"

**SECOND FLOOR  
NOTED FLOOR PLAN**

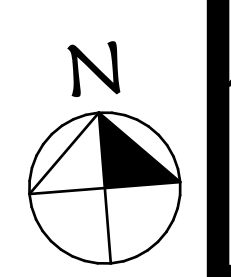
SHEET #  
**A2.2**  
DATE: 8/12/24  
Q.C.



- EXTERIOR WALL FINISH LEGEND**
- STUCCO WALLS:**  
 ◆ SHERWIN WILLIAMS PAINT SW9111 LRV 43 SMOOTH HAND TROWELED FINISH  
 ◆ SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH
- STONE VENEER:**  
 ◆ TRAVERTINE VERTICAL ORIENTATION. SEE LAYOUT PATTERN. PANEL SIZES: 48" X 12" - 36" X 18" - 30" X 24"
- METAL PANELS:**  
 ◆ PAC-CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO. BOX RIB 1, VERTICAL ORIENTATION. "MEDIUM BRONZE" FINISH
- \*\* CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- RENOVATION LEGEND:**  
 — (E) = EXISTING  
 - - - (R) = REMOVE  
 - - - (R) = RELOCATED  
 — (N) = NEW

EXISTING MECHANICAL ATTIC 1  
MECHANICAL EQUIPMENT WORK ONLY

EXISTING MECHANICAL ATTIC 2  
MECHANICAL EQUIPMENT WORK ONLY





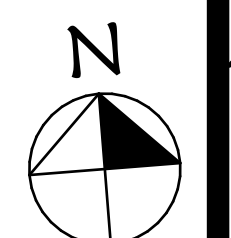
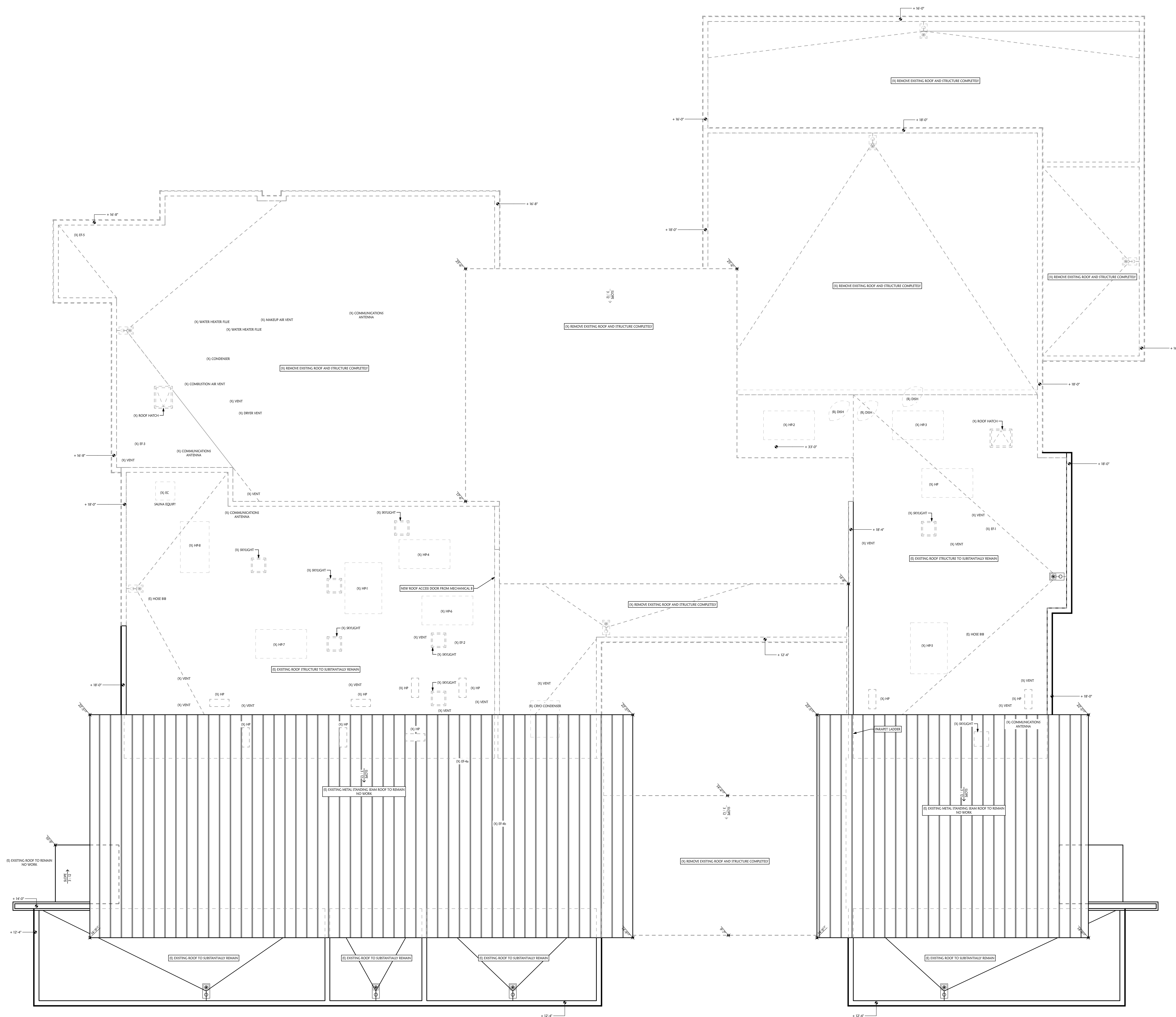
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CITY PLANNING SUB. 1	BLDG. DEPT.
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CITY SUB. 2	
CONSTR. REV 1	CONSTRUCTION
CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI

SCALE: 3/16" = 1'-0"

**DEMO ROOF PLAN**

SHEET #  
**A 5.0**  
DATE: 9/12/24  
Q.C.





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CONSTR. REV 3	

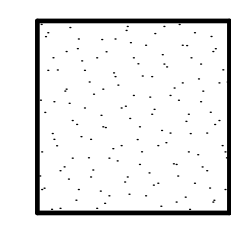
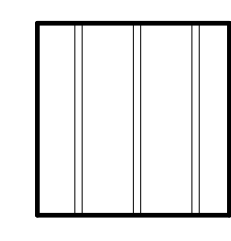

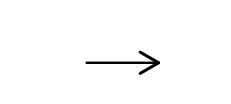
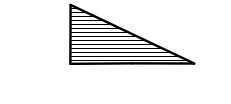

PROJECT #: 2209  
CONTACT: KRISTI

SCALE: 3/16" = 1'-0"

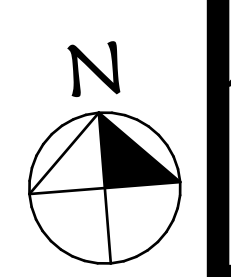
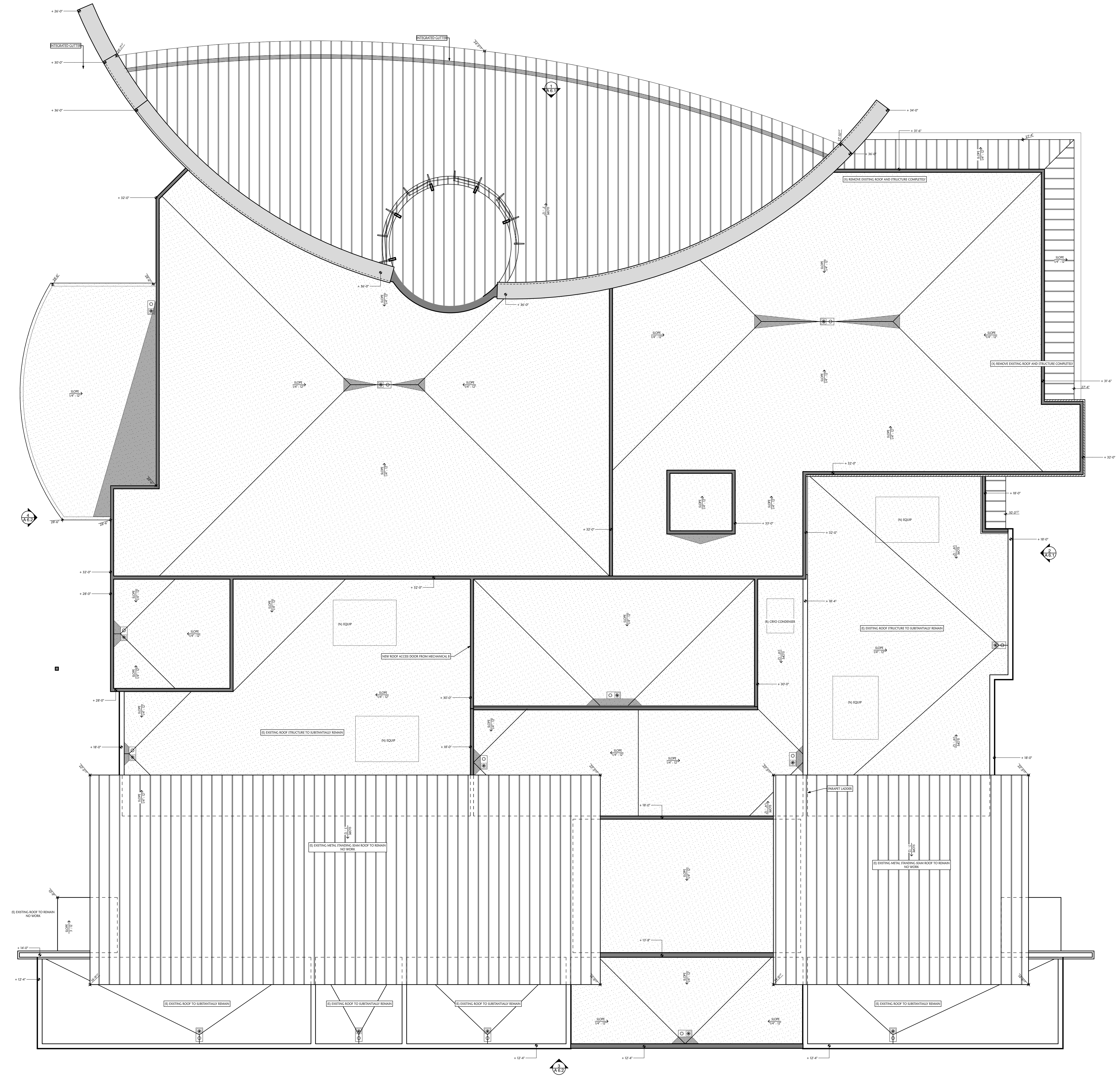
**ROOF PLAN**

SHEET #  
**A 5.2**  
DATE: 9/12/24  
Q.C.

**ROOF MATERIALS & LEGEND**

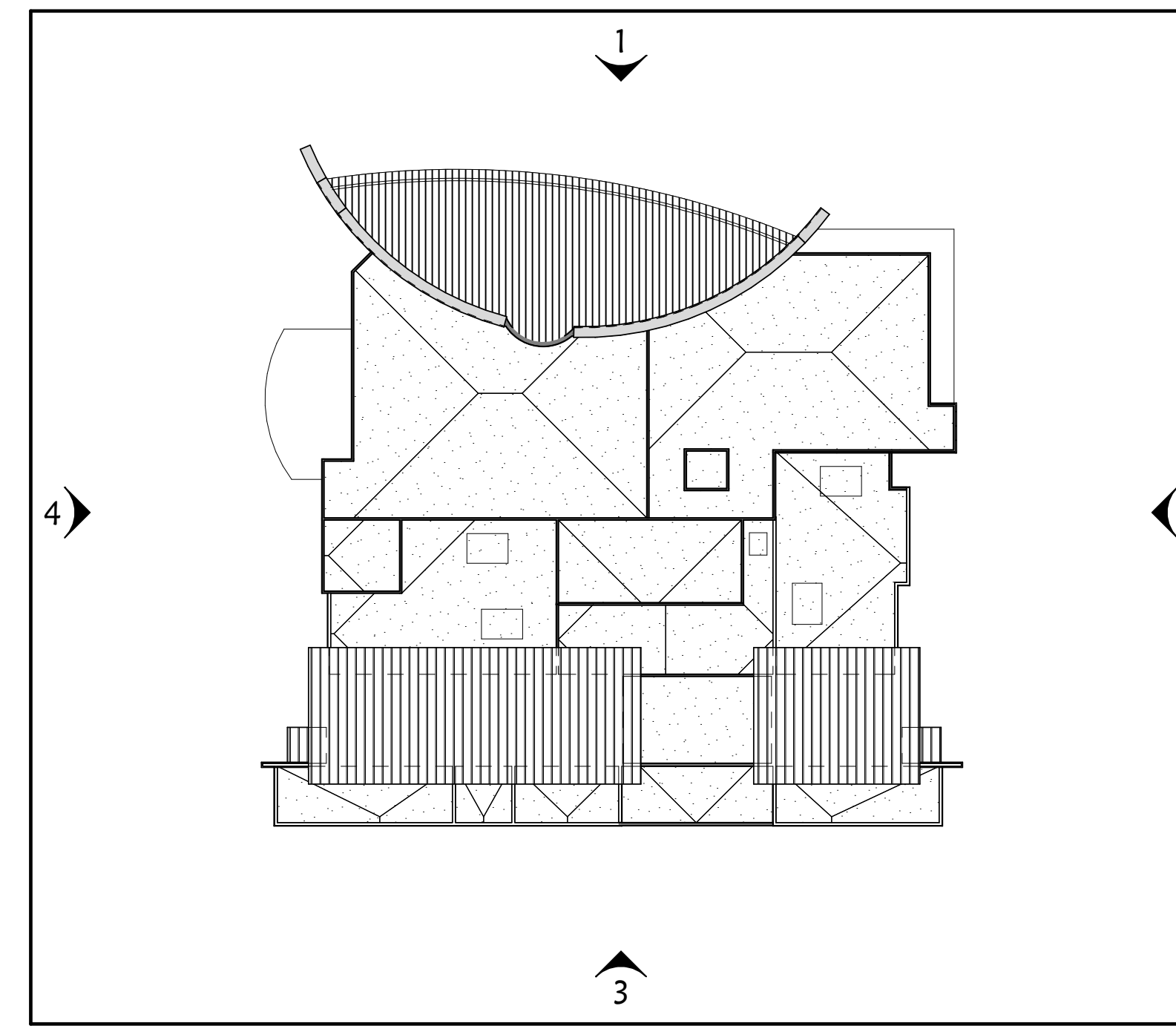
-  18 PVC MEMBRANE ROOF ASSEMBLY  
COLOR: COOL SAND  
CRIC ID NO: 9640-003  
SOLAR REFLECTANCE: 0.77  
THERMAL EMITTANCE: 0.87  
IRI VALUE INITIAL: 95  
IRI VALUE 3-YEAR AGED: 78  
LRV: 65
-  PAC-CLAD STANDING SEAM SNAP-ON:  
BATTEN ROOFING SYSTEM,  
MEDIUM BRONZE FINISH.
-  26 GA. GALV. METAL FLASHING  
PAINT TO MATCH ADJACENT  
SURFACE MATERIAL. VERIFY WITH  
ARCHITECT AT EACH LOCATION.
-  DENOTES DIRECTION OF SLOPE AND  
MINIMUM SLOPE REQUIRED
-  ROOF CRICKET
-  ROOF DRAIN

NOTE:  
ALL ELEVATIONS ARE NOTED IN  
RELATIONSHIP TO F.F. / DATUM 0' 0"





ELEVATION KEY

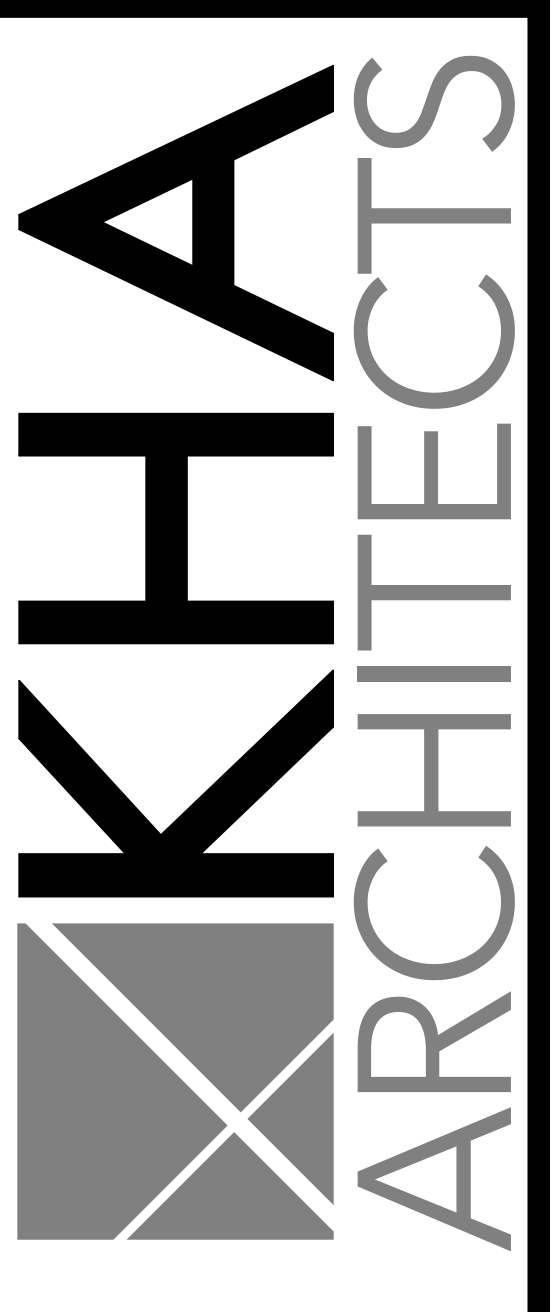


EXTERIOR MATERIALS & COLORS

- STUCCO WALLS
  - ◆ SHERWIN WILLIAMS PAINT SW9111 LRV 43 SMOOTH HAND TROWELED FINISH
  - ◆ SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH
- STONE VENEER:
  - ◆ TRAVERTINE
  - ◆ VERTICAL ORIENTATION. SEE LAYOUT PATTERN. PANEL SIZES: 48" X 12" - 36" X 18" - 30" X 24"
- METAL PANELS:
  - ◆ PAC-CLAD OR EQUAL BY BERTRIDGE MANUFACTURING CO. BOX RIB 1. VERTICAL ORIENTATION. "MEDIUM BRONZE" FINISH
- DOORS & WINDOWS:
  - ◆ ARCADIA WINDOWS & DOORS
  - ◆ MEDIUM BRONZE ANODIZED ALUMINUM FINISH
- STUCCO EAVES & FACIAS:
  - ◆ PAINT TO MATCH METAL ROOF
  - ◆ SMOOTH HAND TROWELED FINISH
- STANDING SEAM ROOF:
  - ◆ PAC-CLAD OR EQUAL BY BERTRIDGE MANUFACTURING CO. "SNAP-ON-BATTERY" STYLE STANDING SEAM ROOF
  - ◆ "MEDIUM BRONZE" FINISH
- EQUIPMENT SHROUD:
  - ◆ METAL. PAINT TO MATCH DR/W/N FRAME
- METAL COLUMNS:
  - ◆ PAC-CLAD - 1000F COLUMN COVER
  - ◆ FINISH TO MATCH METAL ROOF

NOTE:  
ALL ELEVATIONS ARE NOTED IN RELATIONSHIP TO FF / DATUM 0'-0"

\*\* CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT & HOA FOR APPROVAL PRIOR TO INSTALLATION.



72-185 PAINTERS PATH  
SUITE A  
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760.776.4068

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**NOT FOR CONSTRUCTION**

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256 PALOWET DRIVE  
PALM DESERT, CA 92260



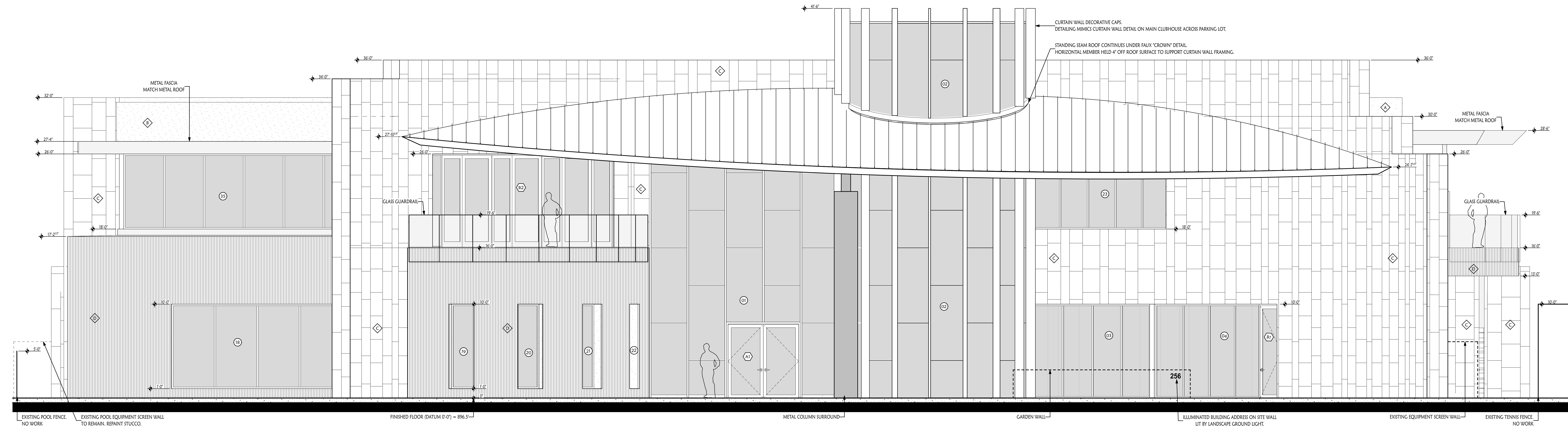
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SCHEMATIC	JULY 30, 2024
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CITY SUB. 1	
CITY SUB. 2	
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CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI

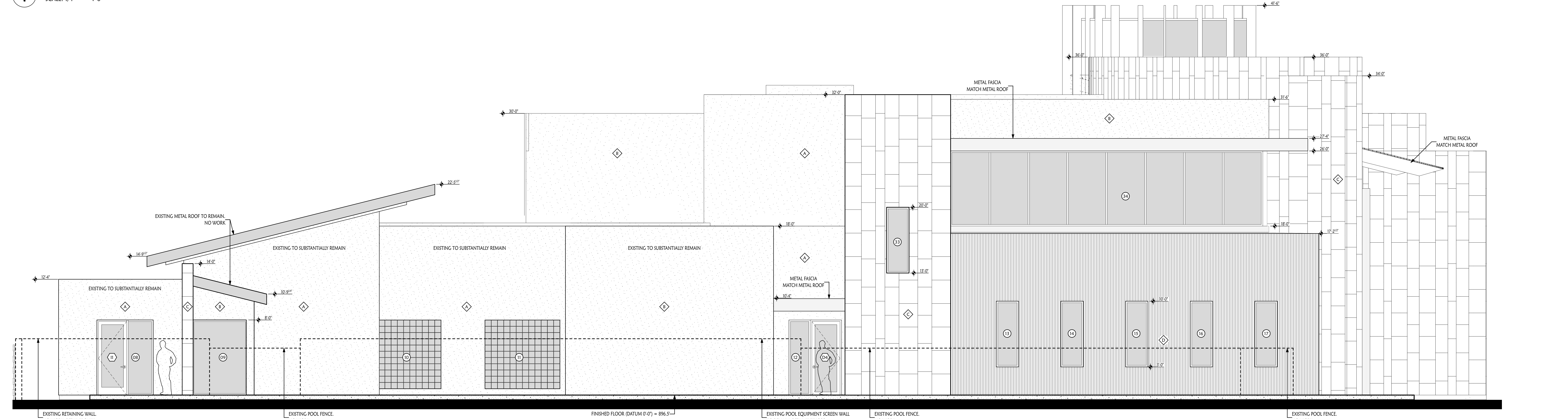
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EXTERIOR ELEVATIONS

SHEET # **A 6.1**  
DATE: 8/12/24  
Q.C.



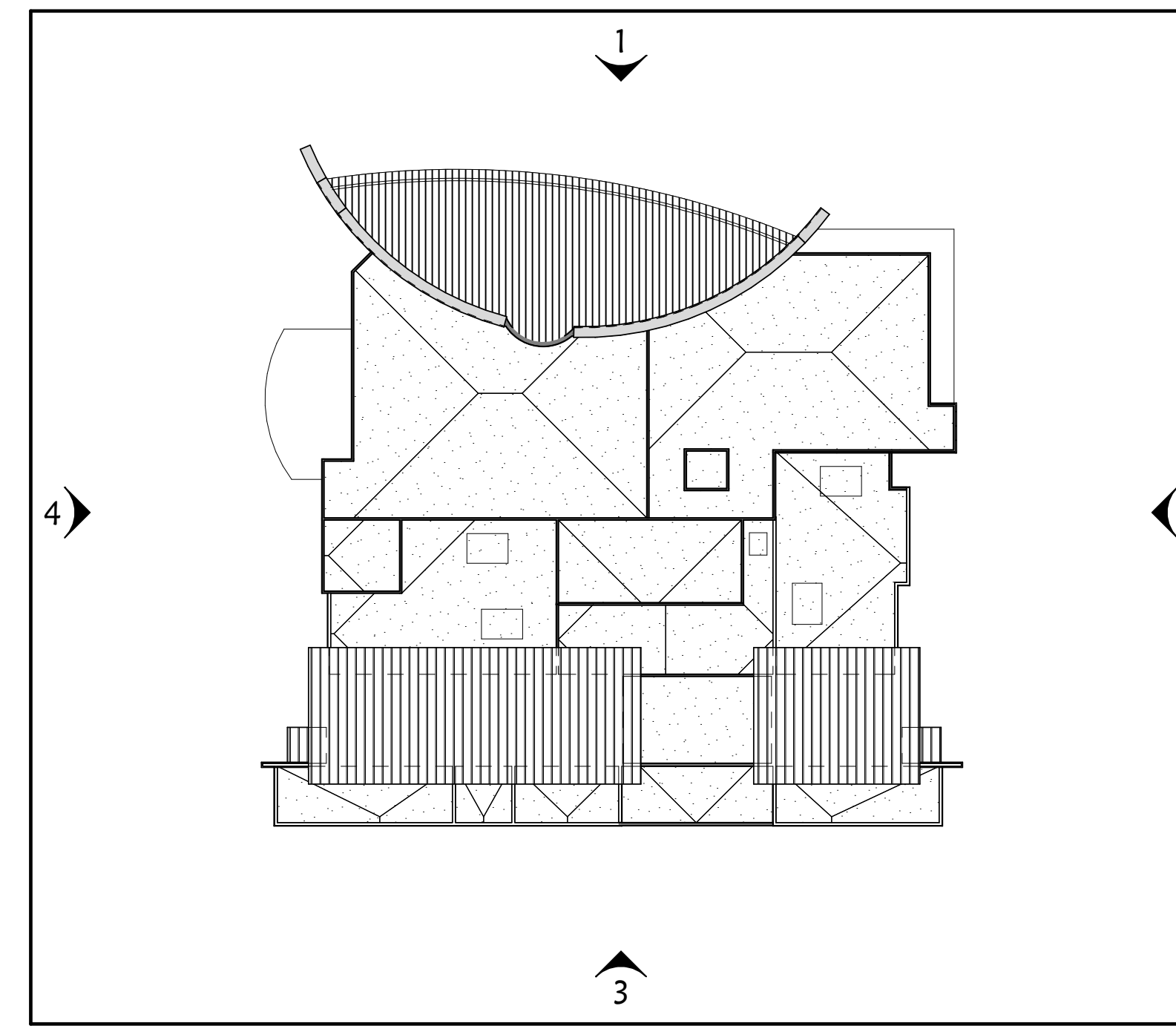
**1 NORTH ELEVATION (FRONT)**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION (POOL SIDE)**  
SCALE: 1/4" = 1'-0"



ELEVATION KEY

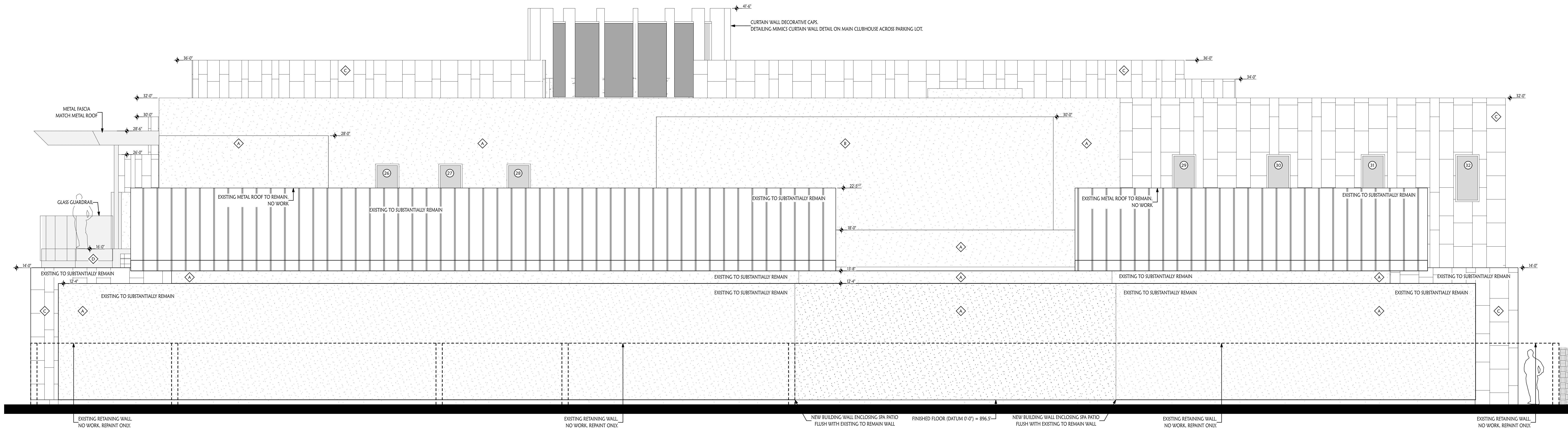


EXTERIOR MATERIALS & COLORS

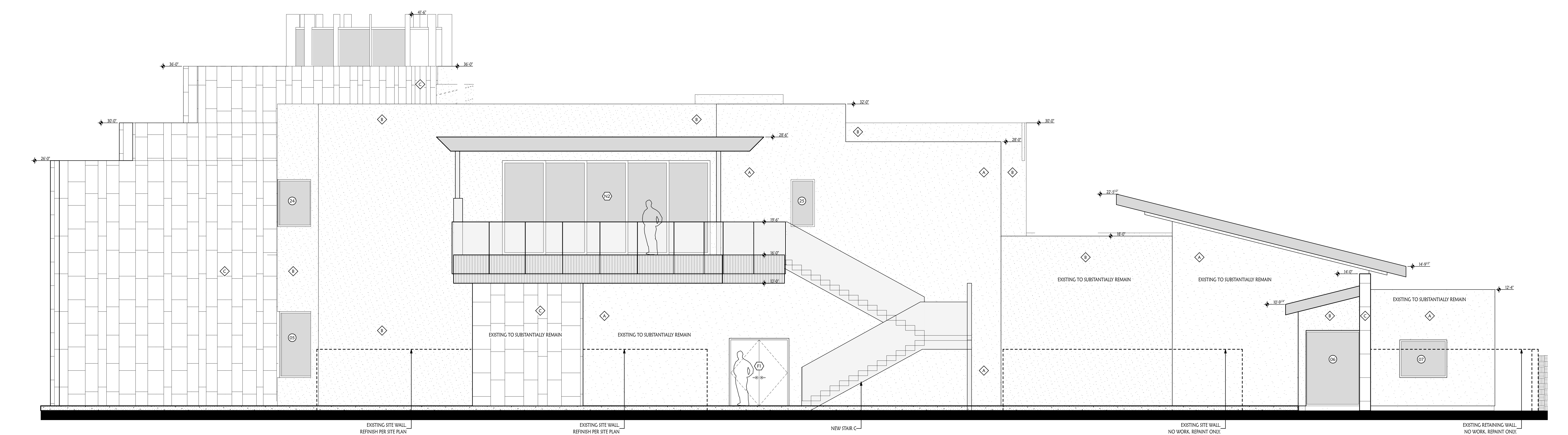
- STUCCO WALLS:
  - ◇ SHERWIN WILLIAMS PAINT SW9111 LRV 43 SMOOTH HAND TROWELED FINISH
  - ◇ SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH
- STONE VENEER:
  - ◇ TRAVERTINE
  - ◇ VERTICAL ORIENTATION. SEE LAYOUT PATTERN. PANEL SIZES: 48" X 12" - 36" X 18" - 30" X 24"
- METAL PANELS:
  - ◇ PAC-CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO. BOX RIB 1. VERTICAL ORIENTATION. "MEDIUM BRONZE" FINISH
- DOORS & WINDOWS:
  - ◇ ARCADIA WINDOWS & DOORS
  - ◇ MEDIUM BRONZE ANODIZED ALUMINUM FINISH
- STUCCO EAVES & FACIAS:
  - ◇ PAINT TO MATCH METAL ROOF
  - ◇ SMOOTH HAND TROWELED FINISH
- STANDING SEAM ROOF:
  - ◇ PAC-CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO. "SNAP-ON-BATTERY" STYLE STANDING SEAM ROOF
  - ◇ "MEDIUM BRONZE" FINISH
- EQUIPMENT SHROUD:
  - ◇ METAL. PAINT TO MATCH DR/W/N FRAME
- METAL COLUMNS:
  - ◇ PAC-CLAD - 1000F COLUMN COVER
  - ◇ FINISH TO MATCH METAL ROOF

NOTE:  
ALL ELEVATIONS ARE NOTED IN RELATIONSHIP TO FF. / DATUM 0'-0"

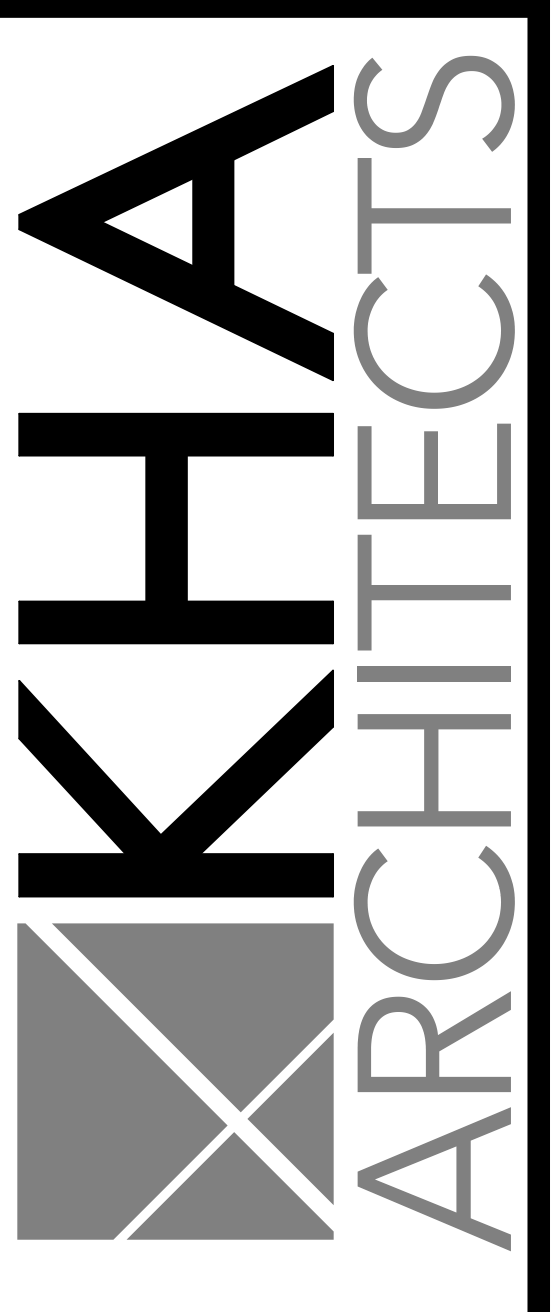
\*\* CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT & HOA FOR APPROVAL PRIOR TO INSTALLATION.



3 SOUTH ELEVATION (REAR)  
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION (TENNIS SIDE)  
SCALE: 1/4" = 1'-0"



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CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

SHEET #  
**A 6.2**  
DATE: 8/12/24  
Q.C.

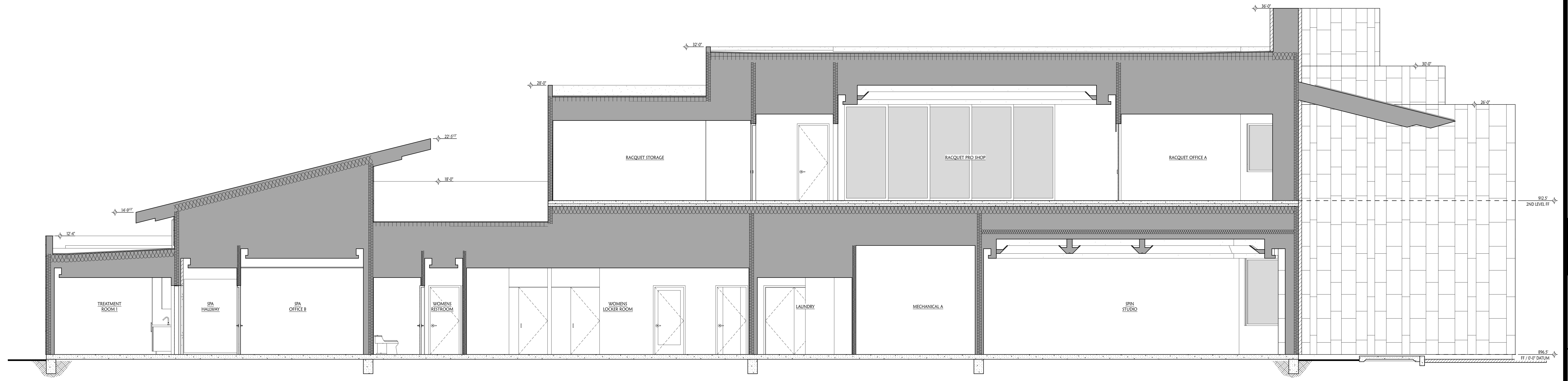


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CONSTR. REV 3	

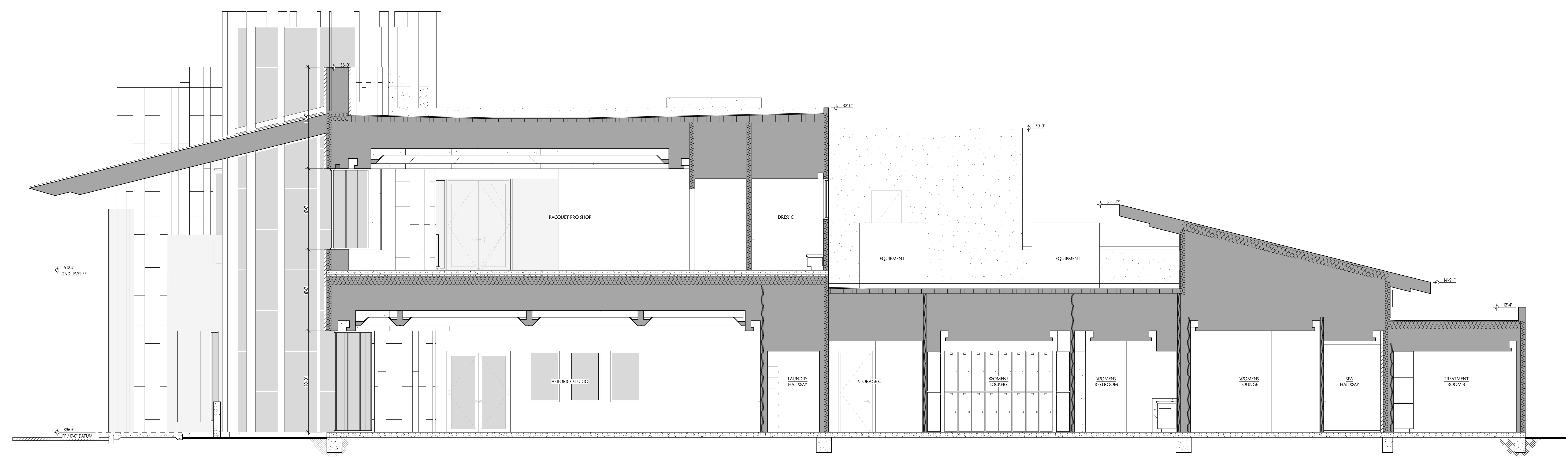
PROJECT #: 2209  
CONTACT: KRISTI  
SCALE: 1/4" = 1'-0"

**BUILDING SECTIONS**

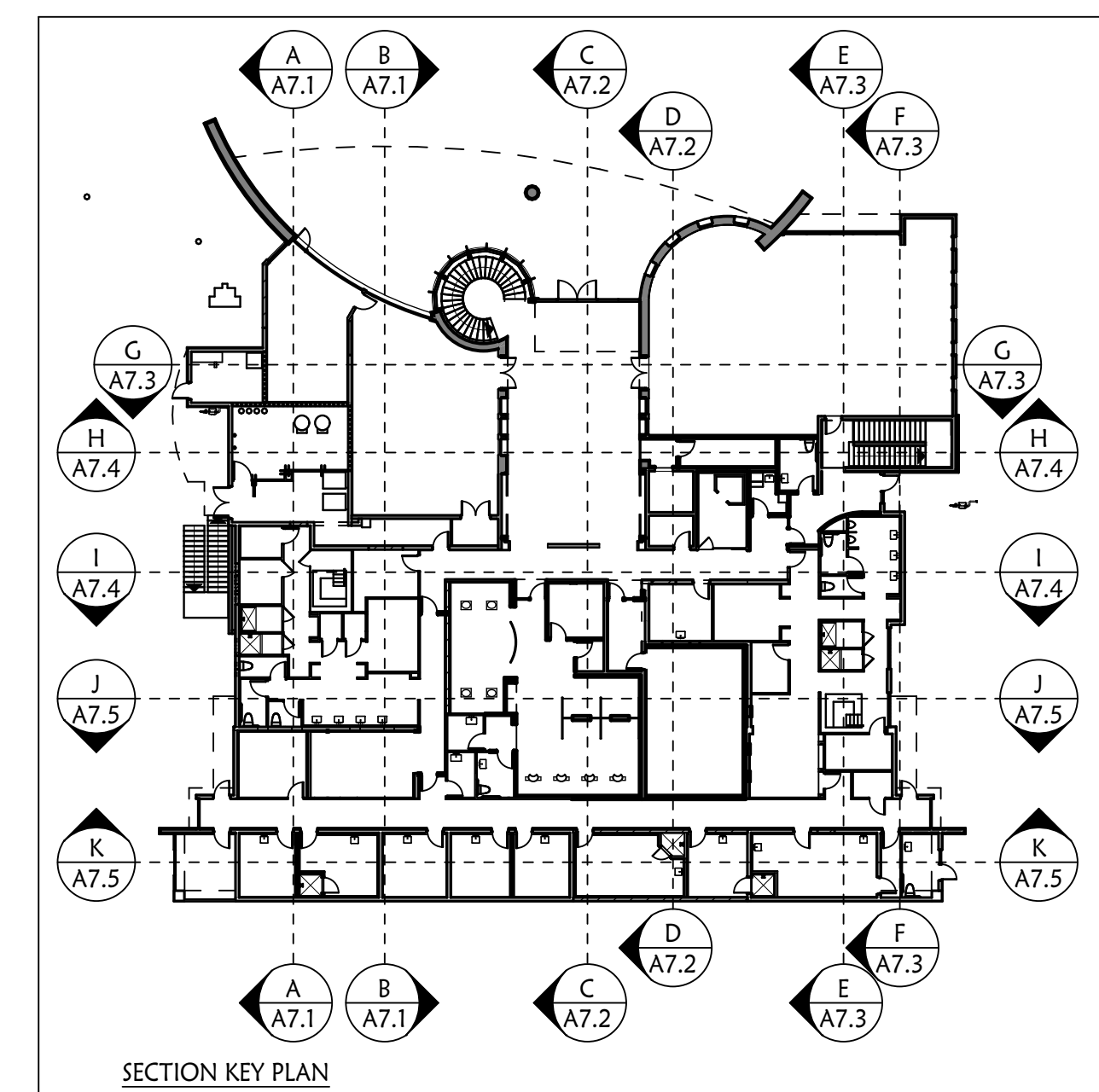
SHEET #  
**A7.1**  
DATE: 9/12/24  
Q.C.



**A** SECTION REFERENCE  
SCALE: 1/4" = 1'-0"



**B** SECTION REFERENCE  
SCALE: 1/4" = 1'-0"



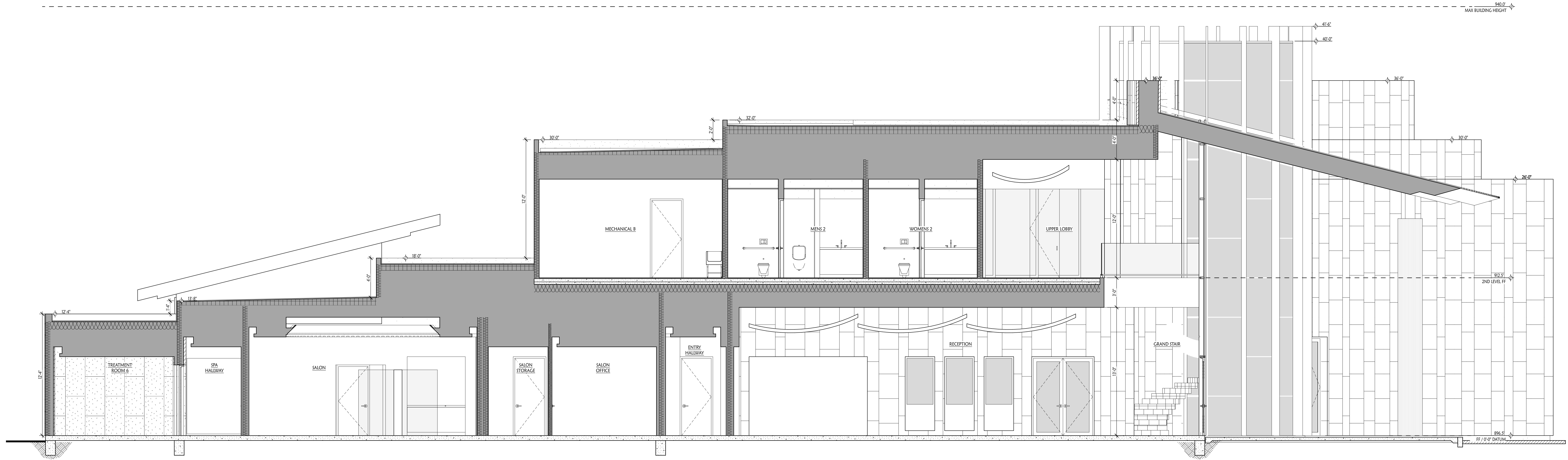


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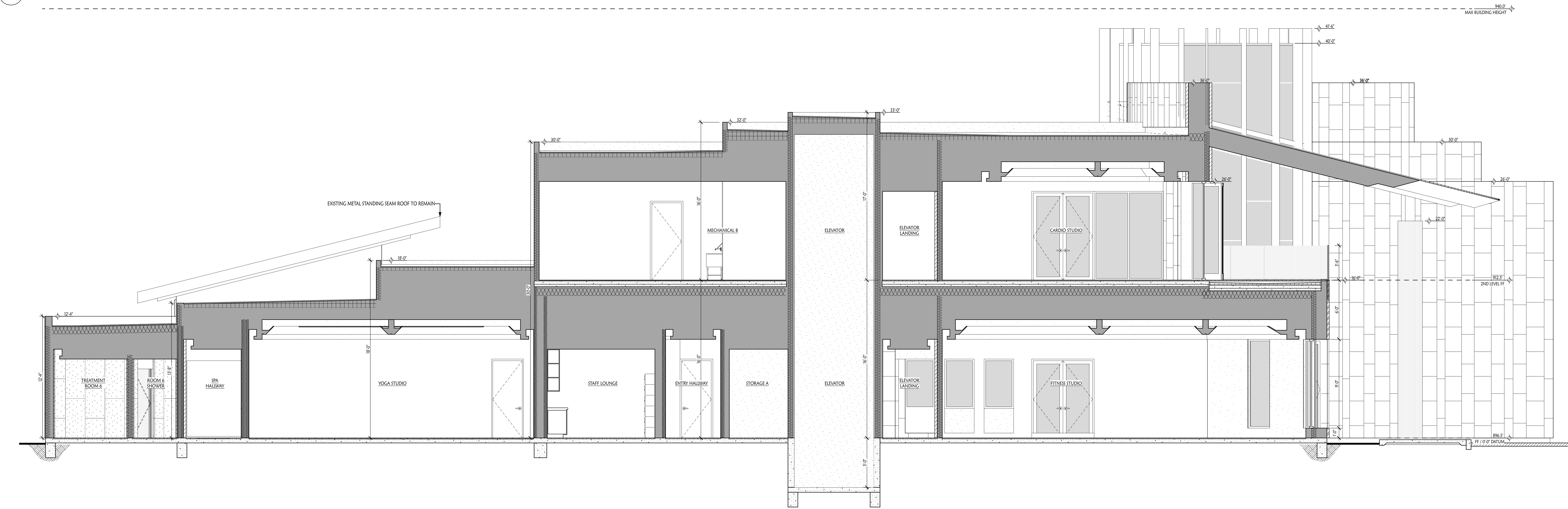
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CONTACT: KRISTI  
SCALE: 1/4" = 1'-0"

**BUILDING SECTIONS**

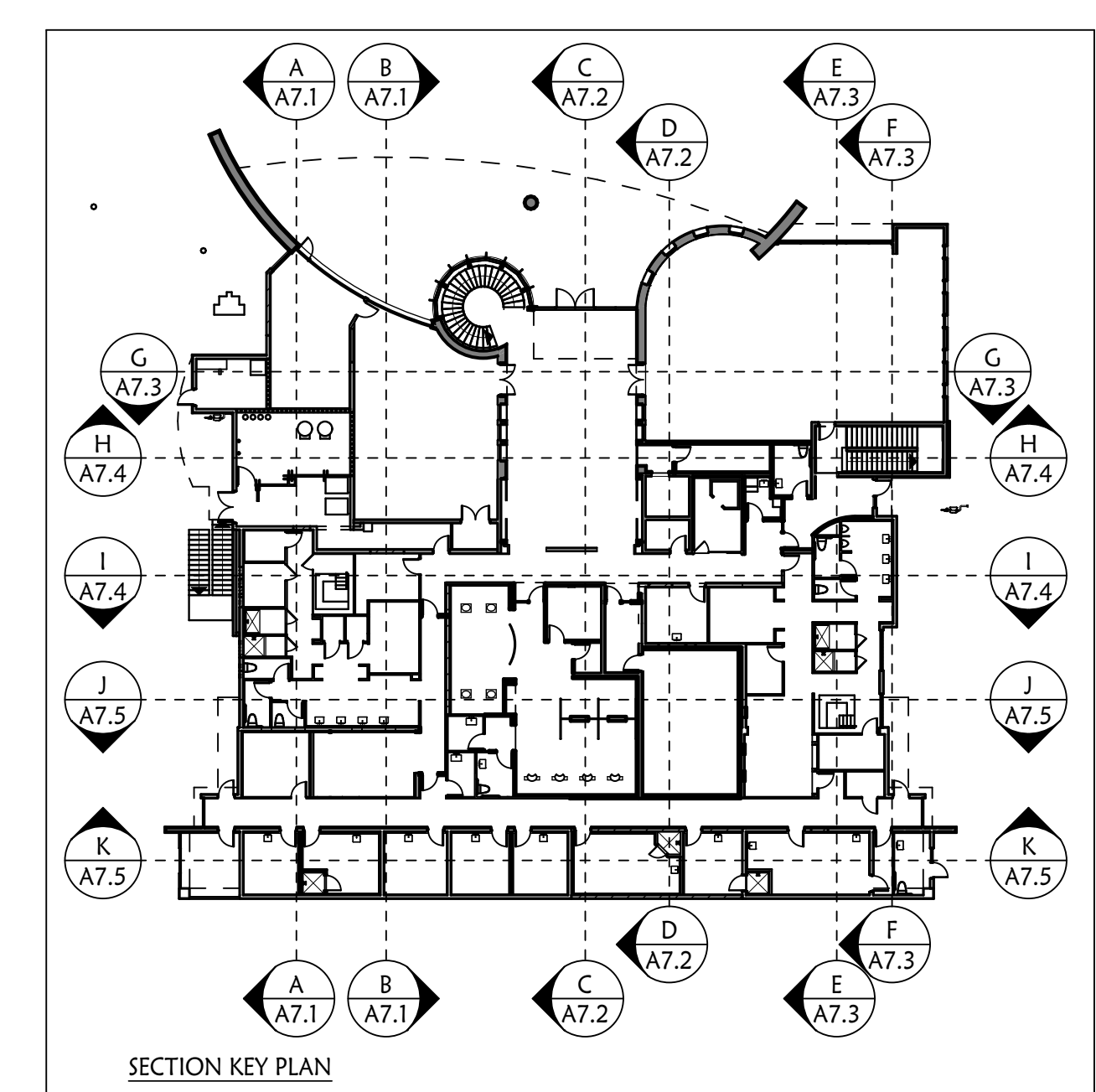
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**A7.2**  
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**C SECTION REFERENCE**  
SCALE: 1/4" = 1'-0"



**D SECTION REFERENCE**  
SCALE: 1/4" = 1'-0"





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7	CONSTR. REV 1				
8	CONSTR. REV 2				
9	CONSTR. REV 3				

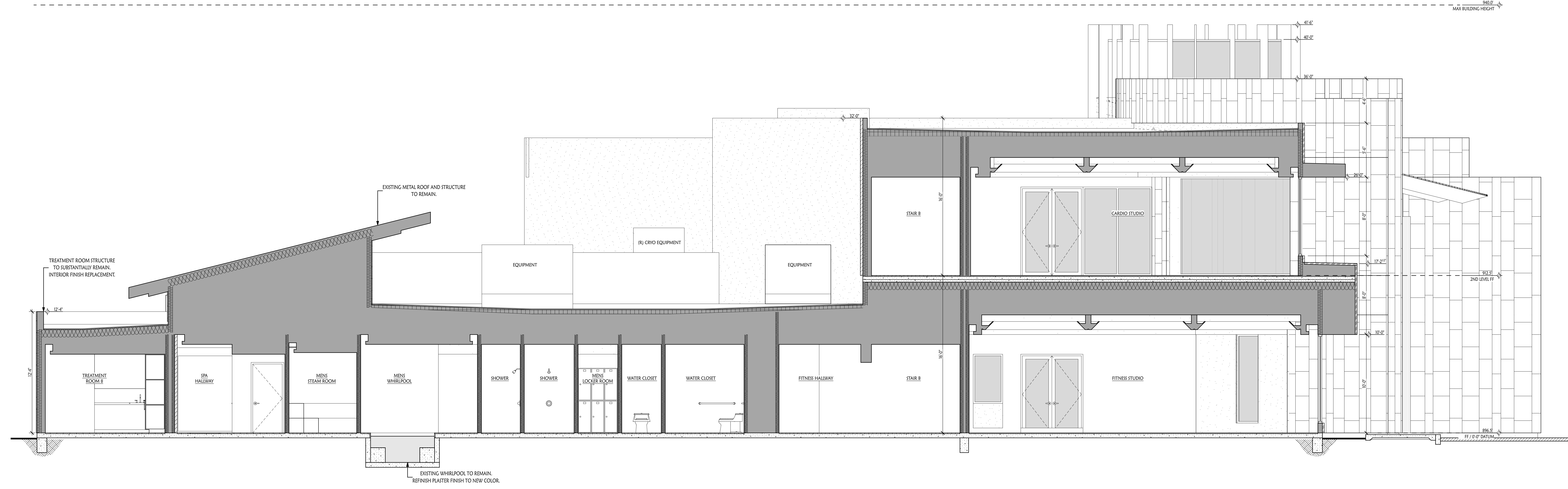
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CONTACT: KRISTI

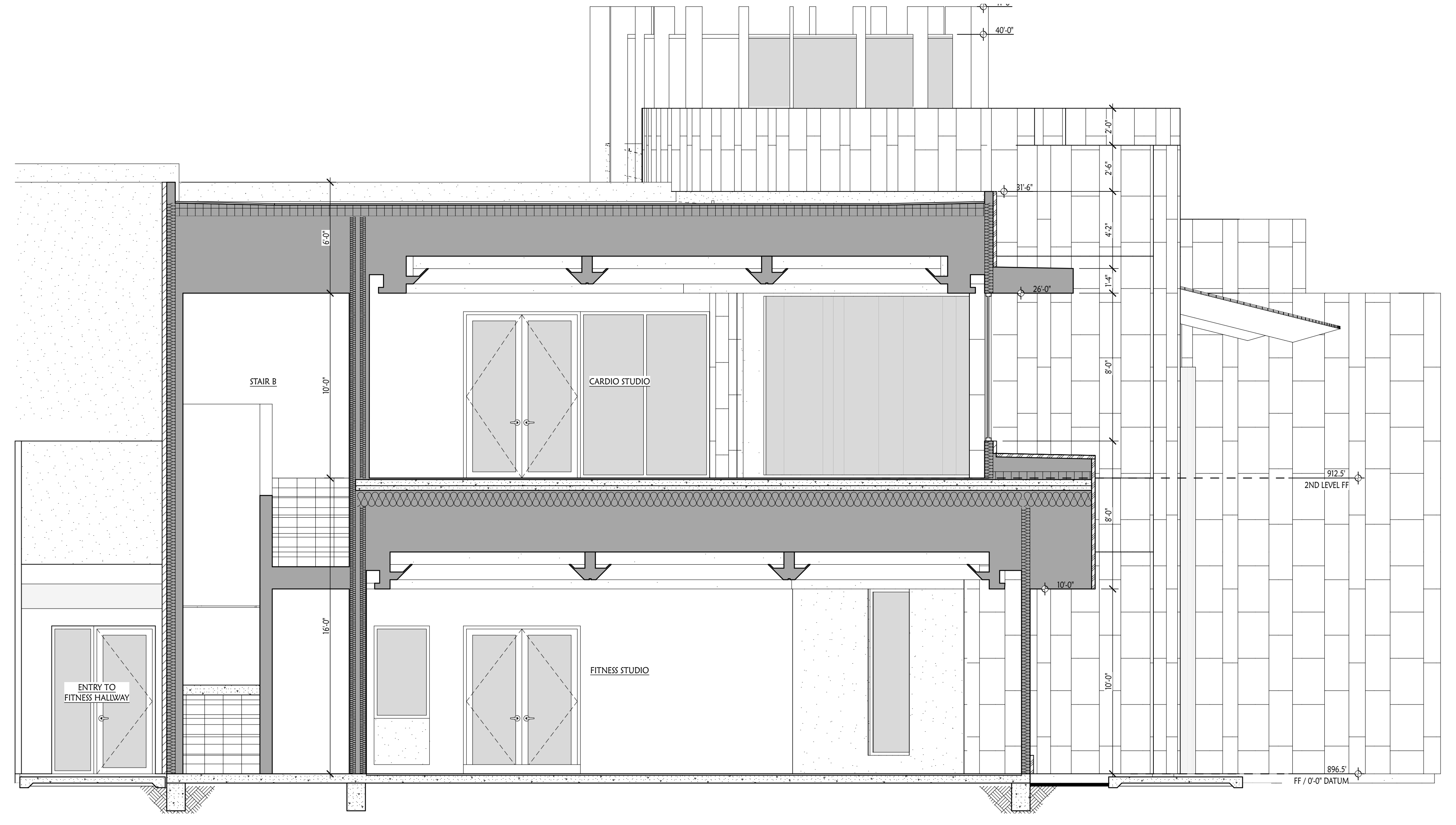
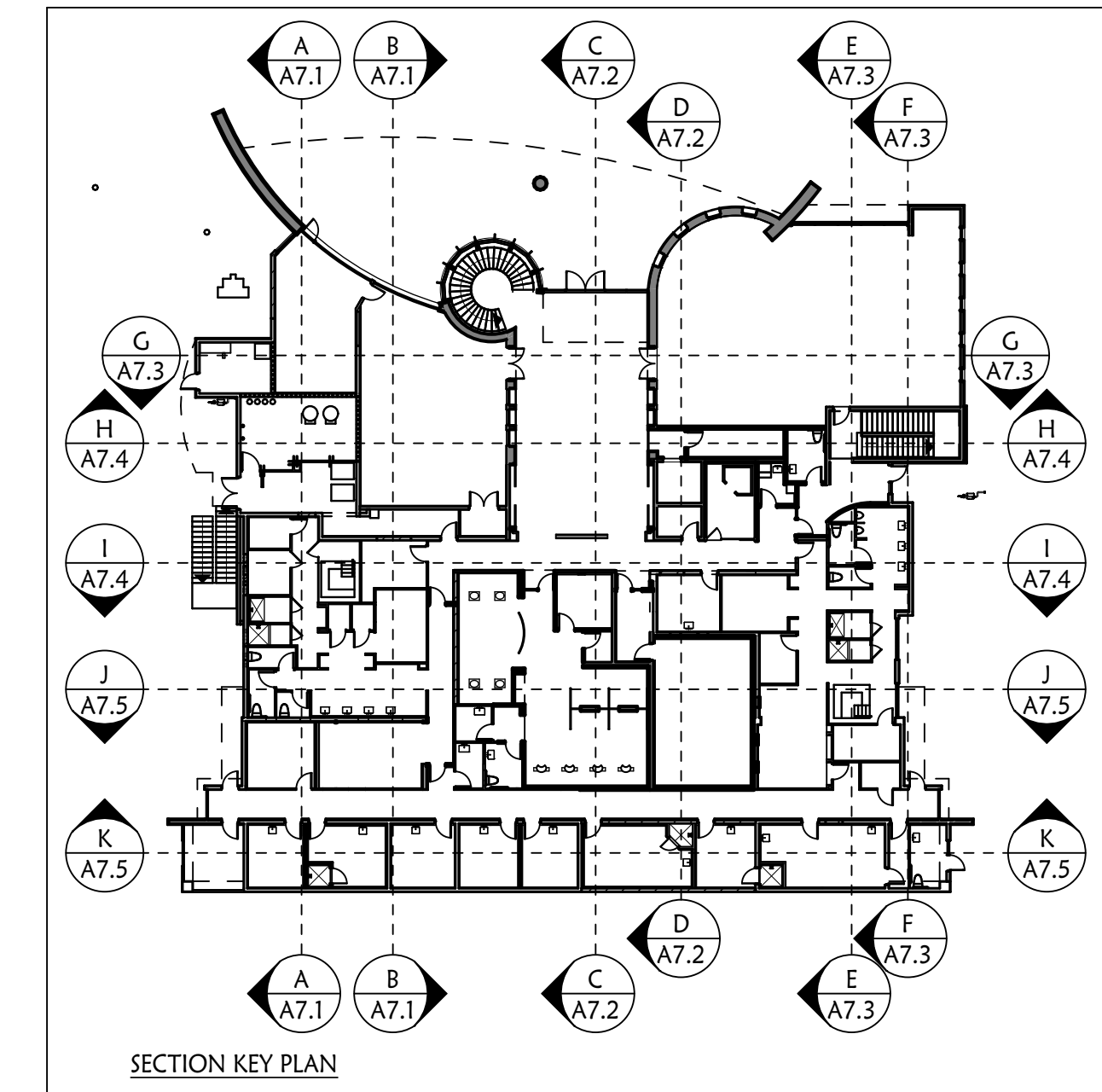
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**BUILDING SECTIONS**

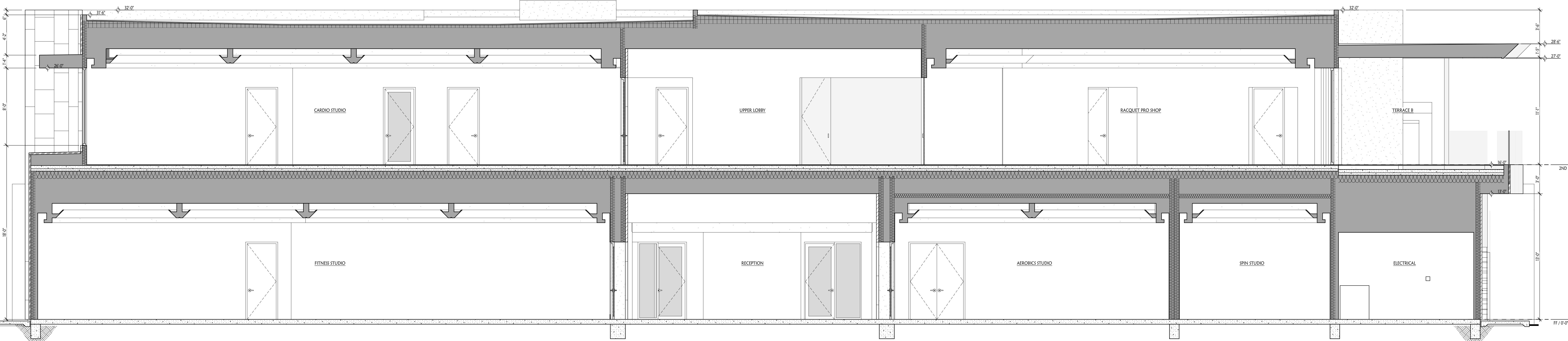
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DATE: 8/12/24  
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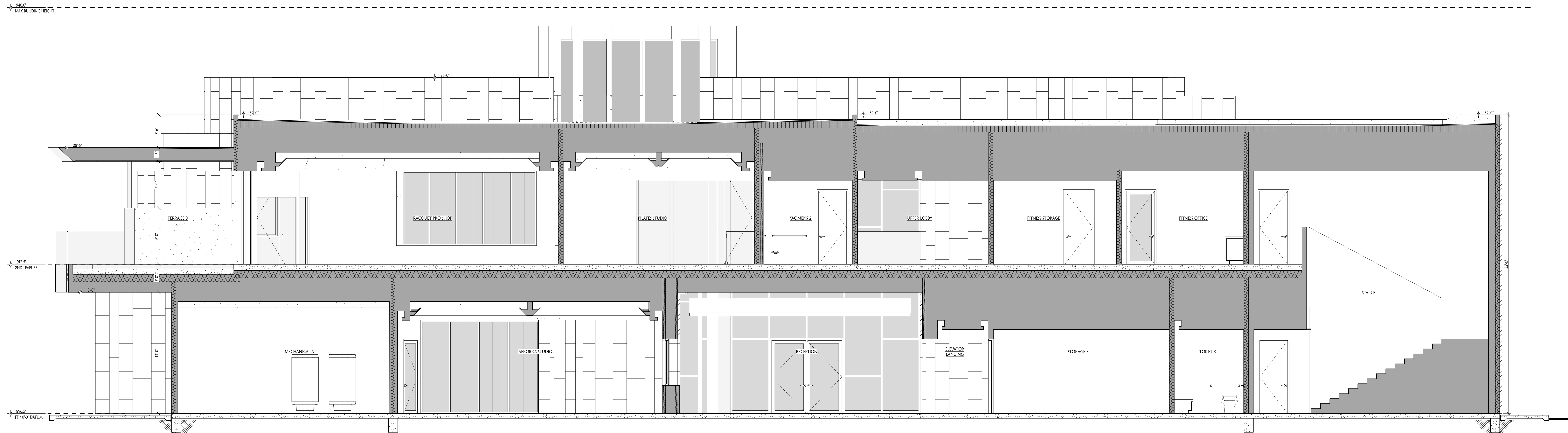


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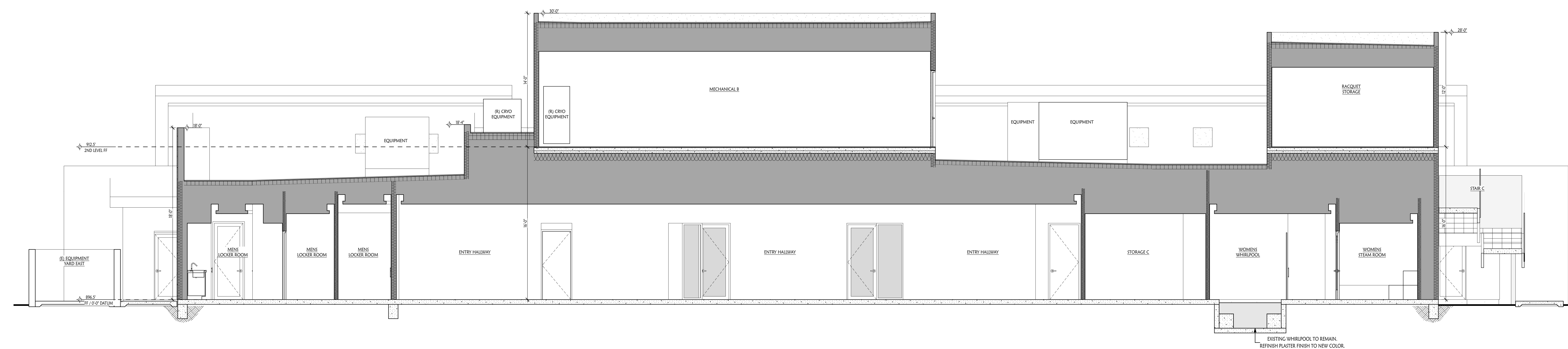


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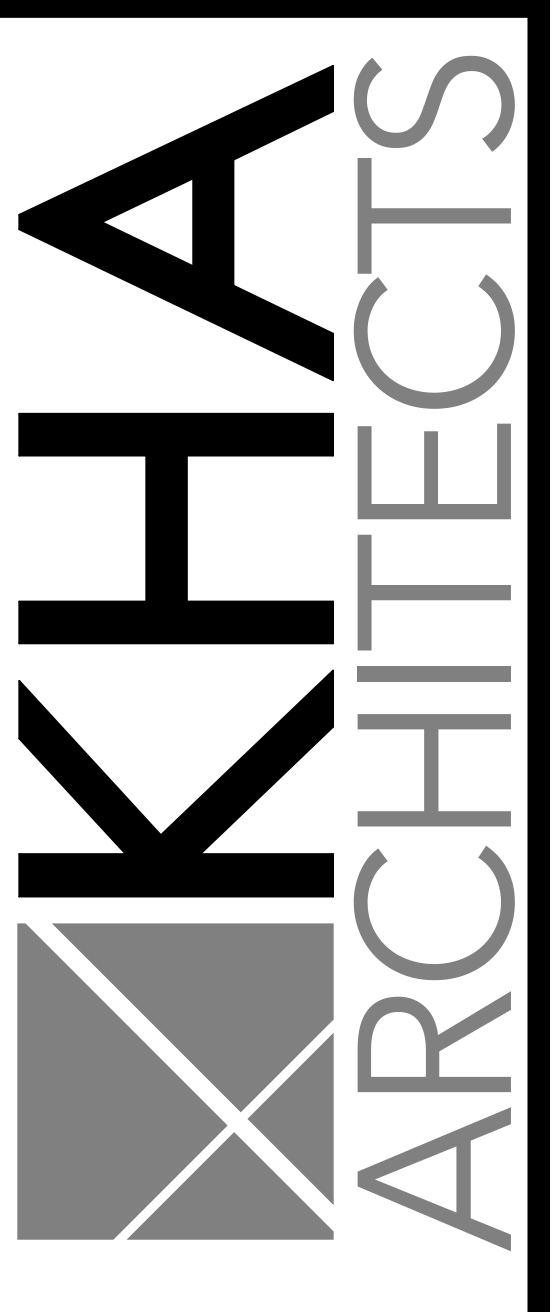
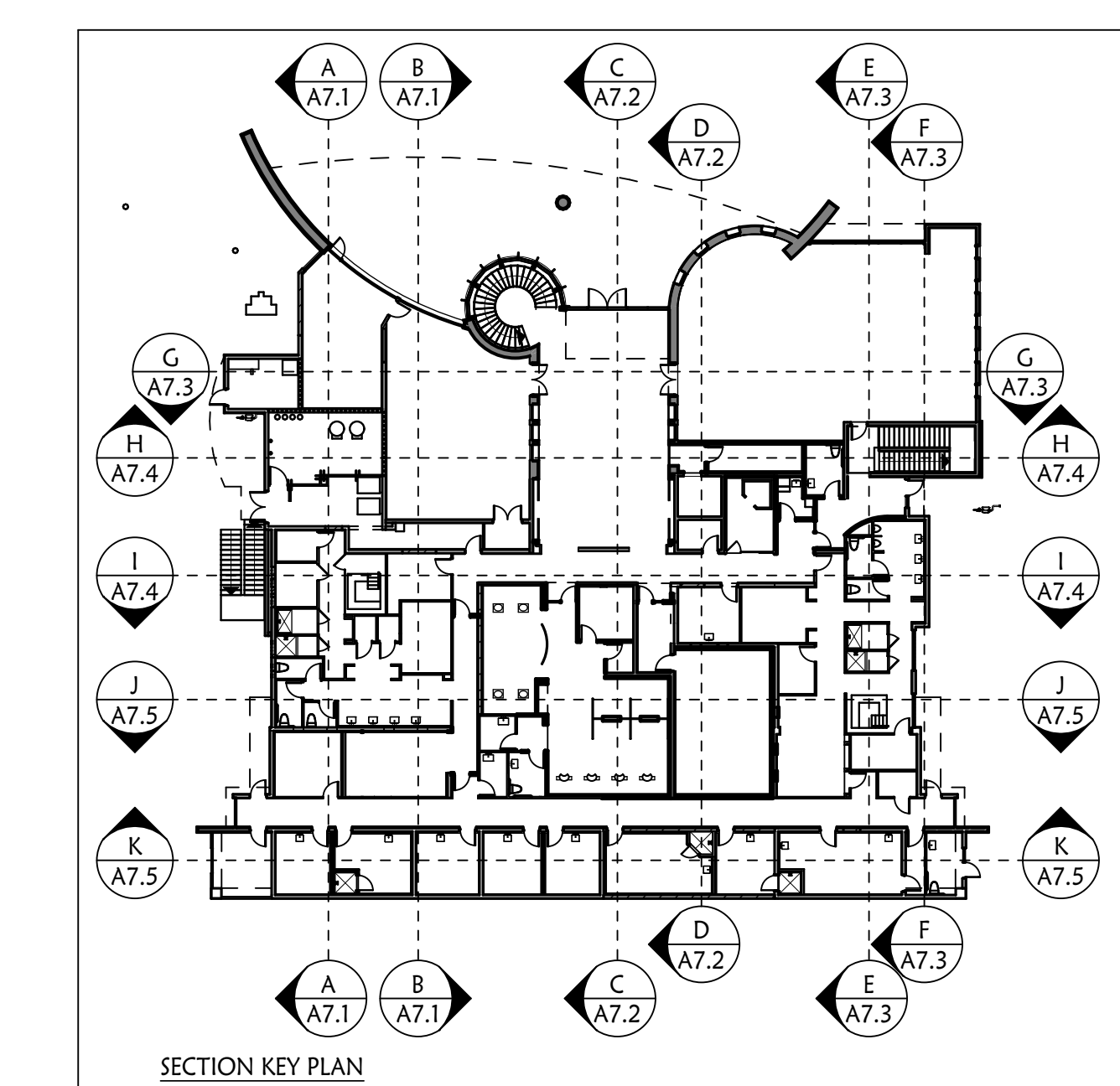




**H SECTION REFERENCE**  
SCALE: 1/4" = 1'-0"



**I SECTION REFERENCE**  
SCALE: 1/4" = 1'-0"



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CONSTRUCTION**

**NOT FOR  
CONSTRUCTION**

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CONSTR. REV 1	CONSTRUCTION
CONSTR. REV 2	
CONSTR. REV 3	

PROJECT #: 2209  
CONTACT: KRISTI  
SCALE: 1/4" = 1'-0"

**BUILDING SECTIONS**

SHEET #  
**A7.4**  
DATE: 9/12/24  
Q.C.



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3	CONST. DOCS.			
4	CITY PLANNING SUB. 1	AUG 27, 2024		
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6	CITY SUB. 2			
7	CONSTR. REV 1			
8	CONSTR. REV 2			
9	CONSTR. REV 3			

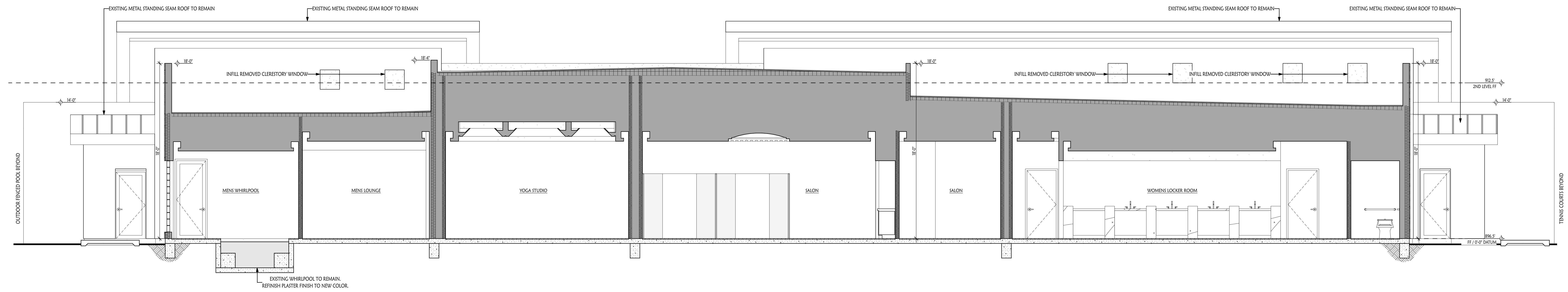
PROJECT #: 2209

CONTACT: KRISTI

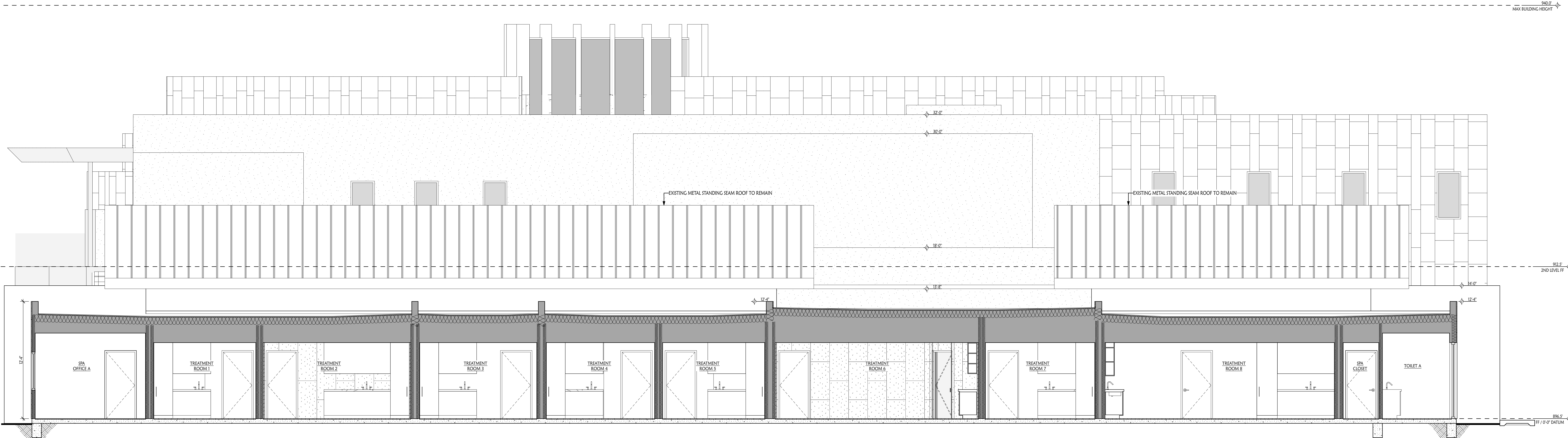
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**BUILDING SECTIONS**

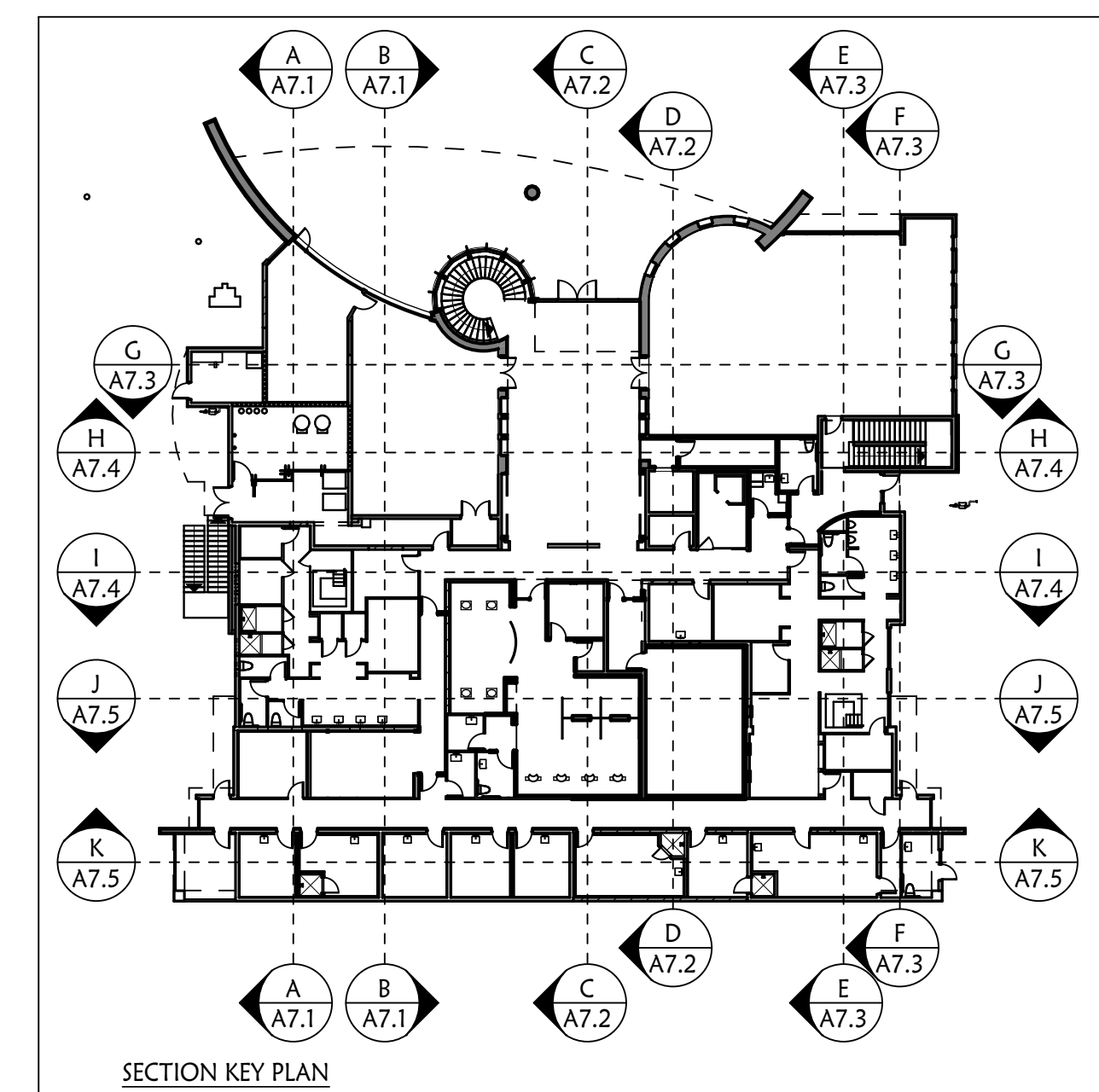
SHEET #  
**A7.5**  
DATE: 9/12/24  
Q.C.



**J** SECTION REFERENCE  
SCALE: 1/4" = 1'-0"



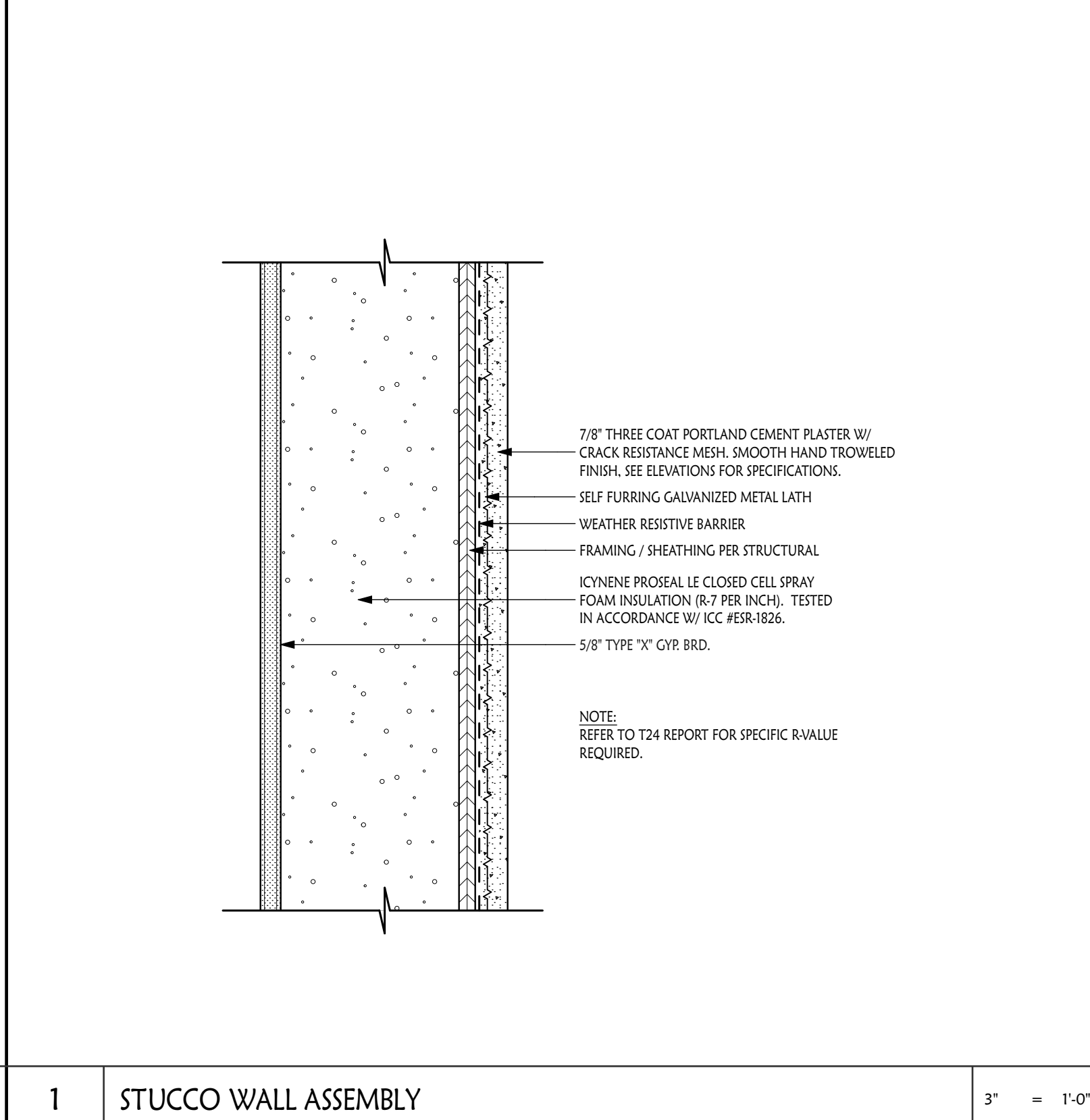
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SCALE: 1/4" = 1'-0"



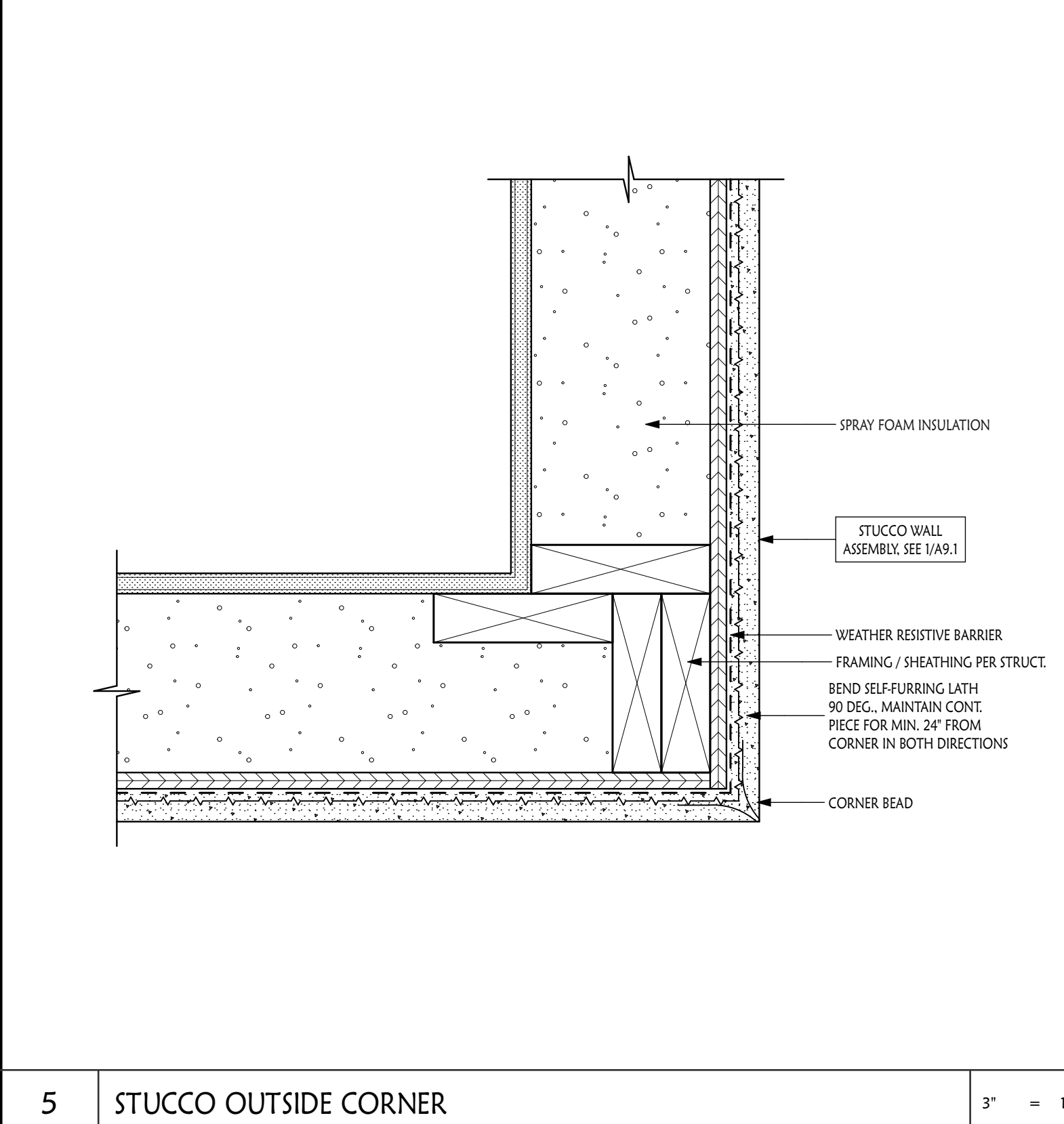
SECTION KEY PLAN



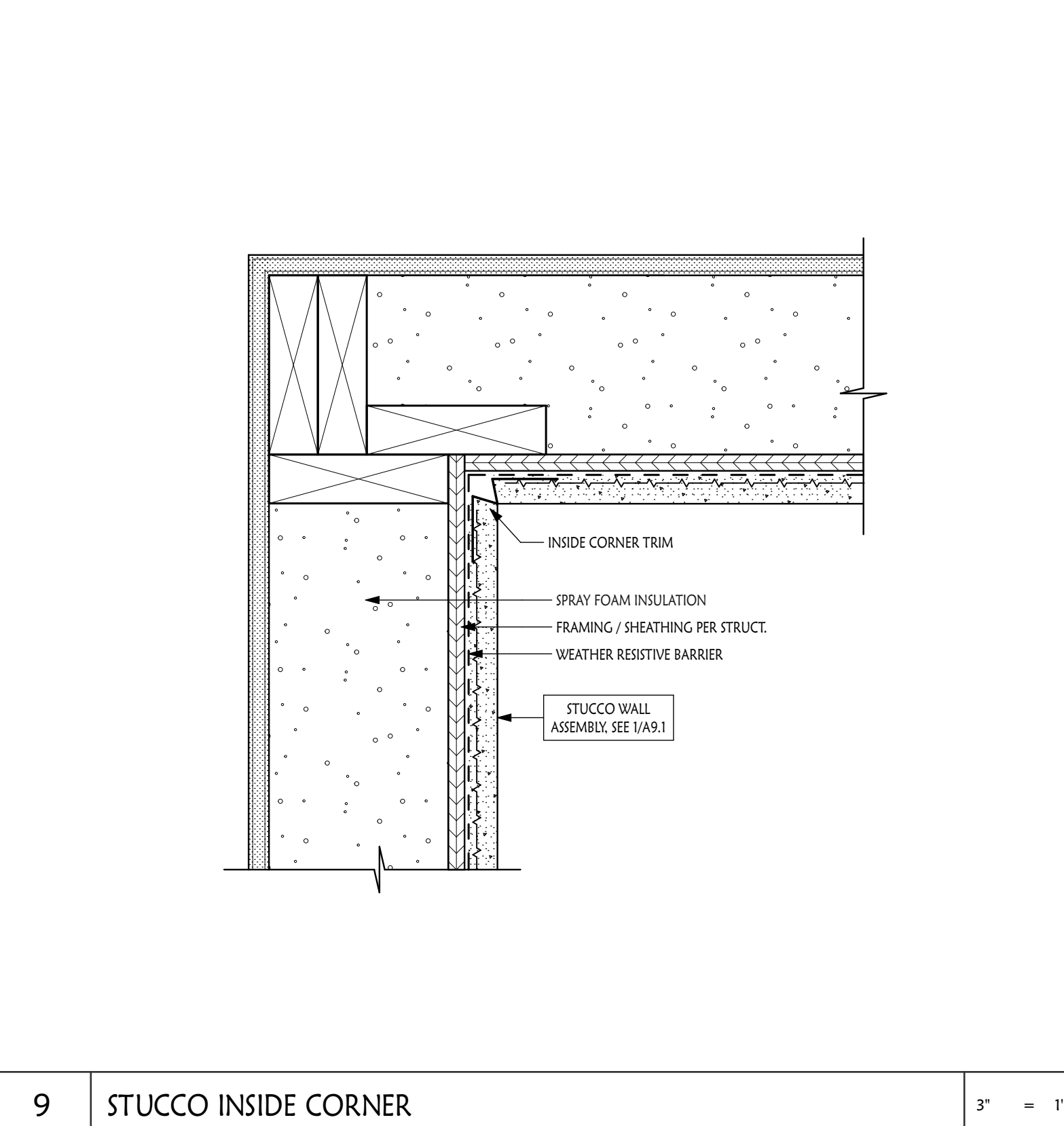
NO.	DATE	DESCRIPTION
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2	AUG 27, 2024	DESIGN DEV.
3	AUG 27, 2024	CONST. DOCS.
4	AUG 27, 2024	CITY PLANNING SUB. 1
5	AUG 27, 2024	CITY SUB. 1
6	AUG 27, 2024	CITY SUB. 2
7	AUG 27, 2024	CONSTR. REV 1
8	AUG 27, 2024	CONSTR. REV 2
9	AUG 27, 2024	CONSTR. REV 3



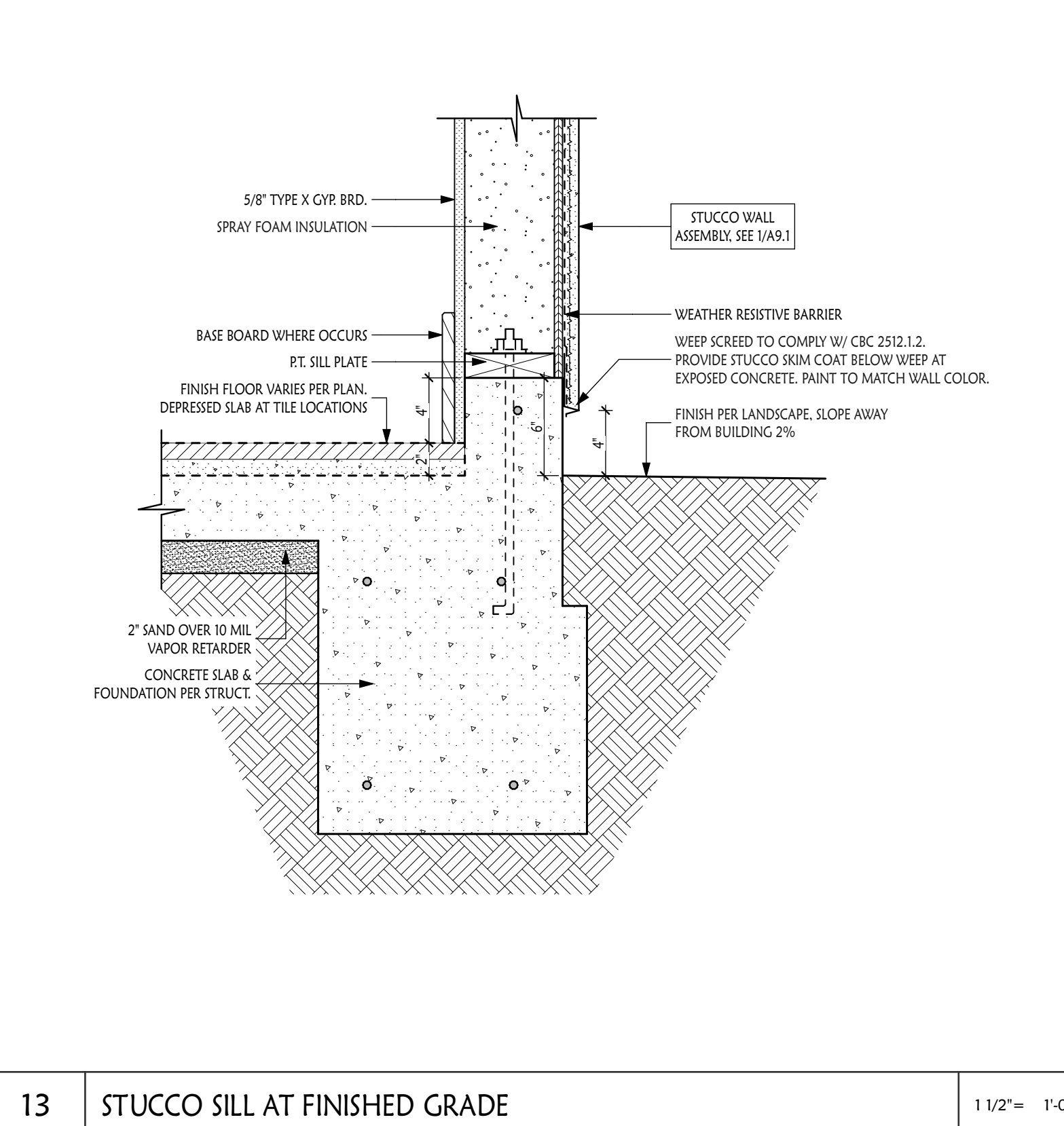
1 STUCCO WALL ASSEMBLY 3" = 1'-0"



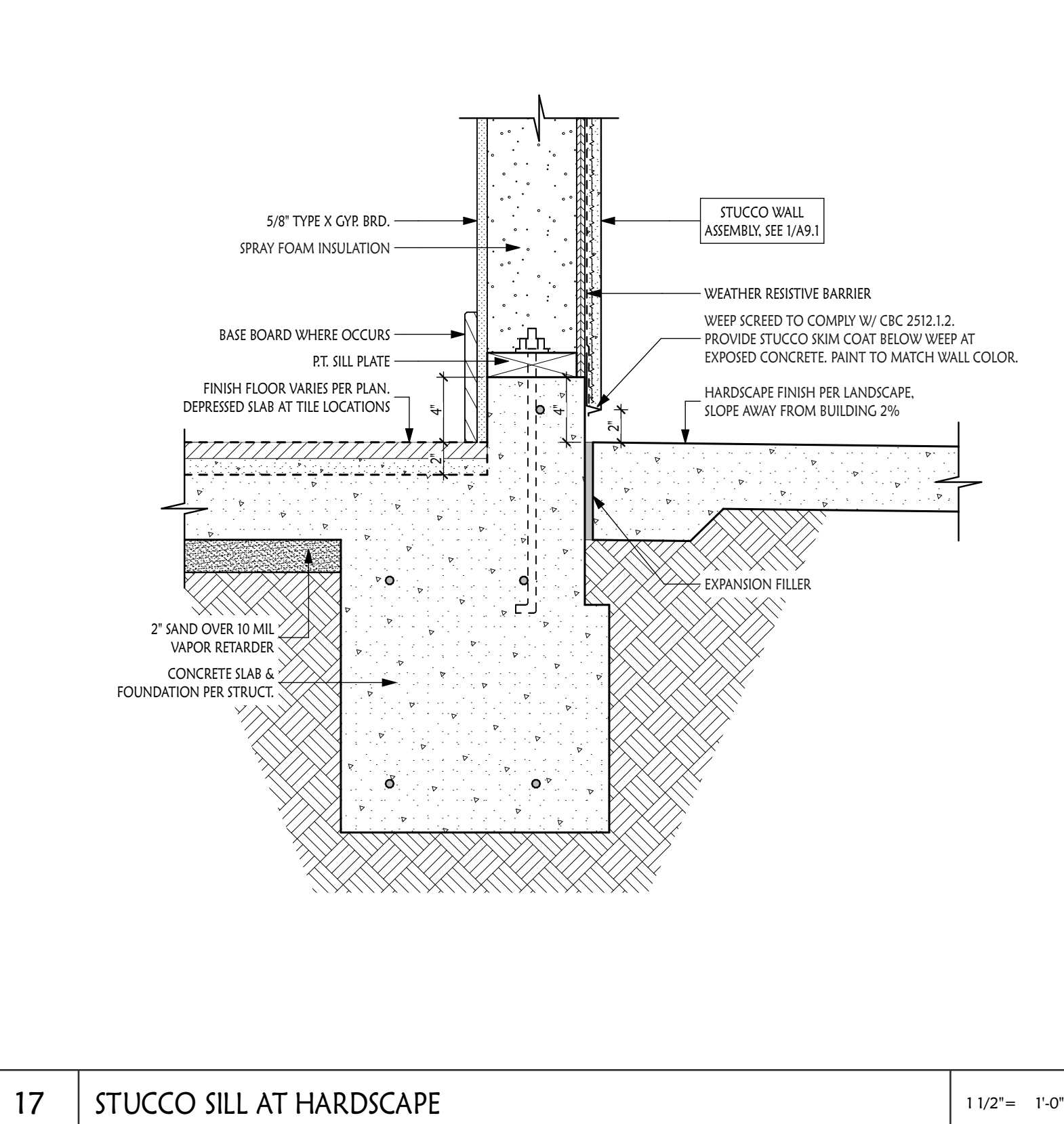
5 STUCCO OUTSIDE CORNER 3" = 1'-0"



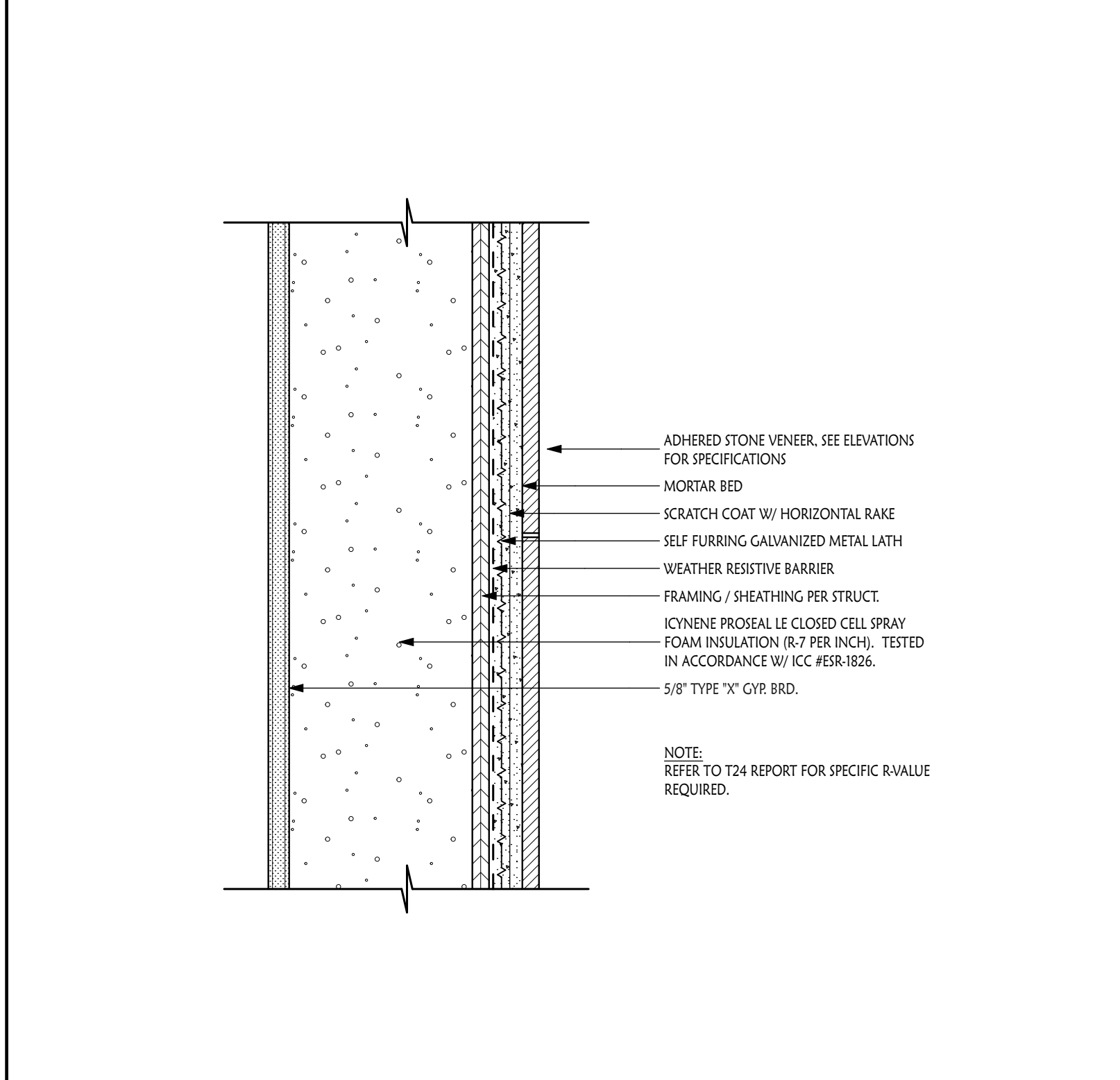
9 STUCCO INSIDE CORNER 3" = 1'-0"



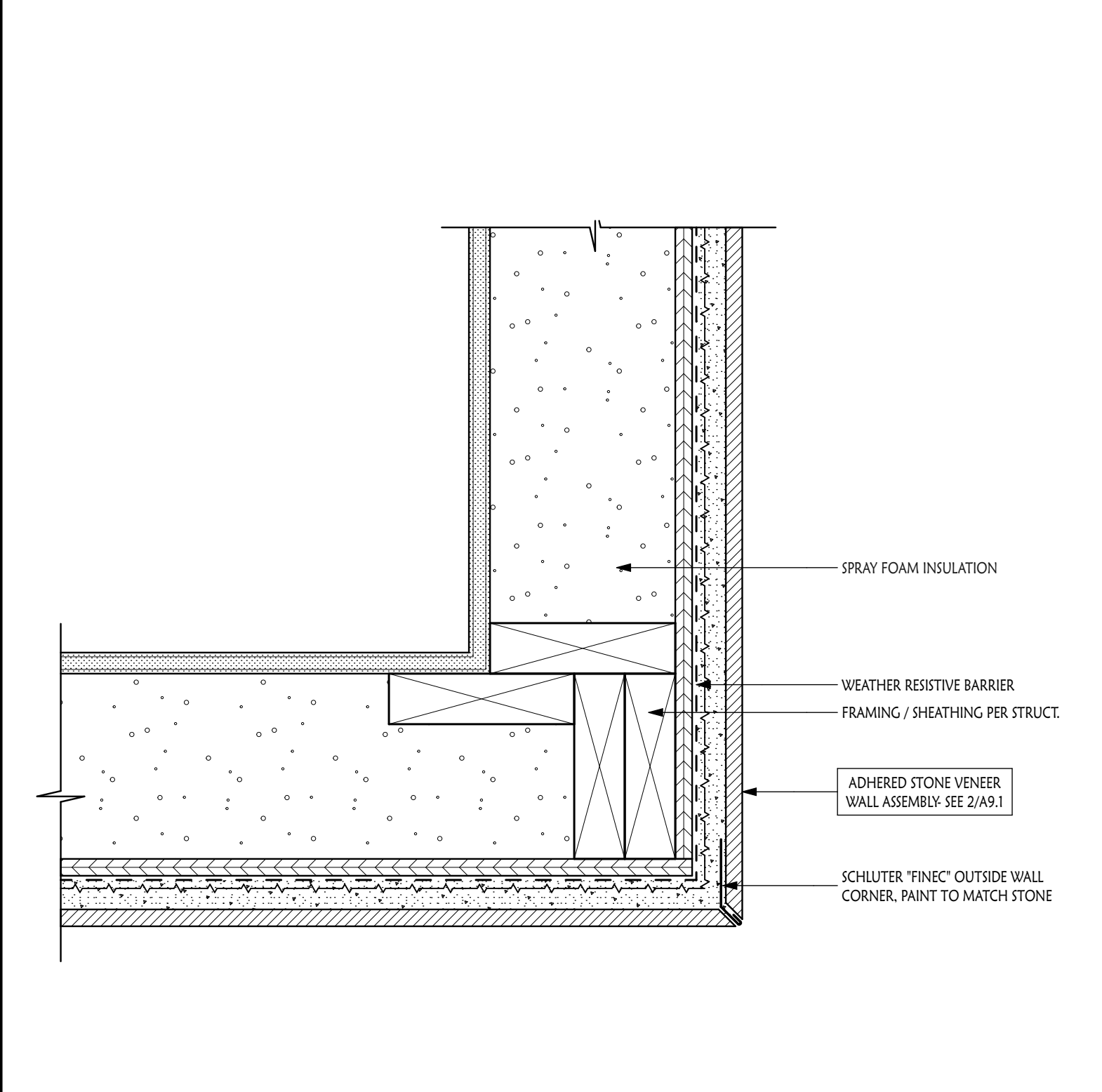
13 STUCCO SILL AT FINISHED GRADE 1 1/2" = 1'-0"



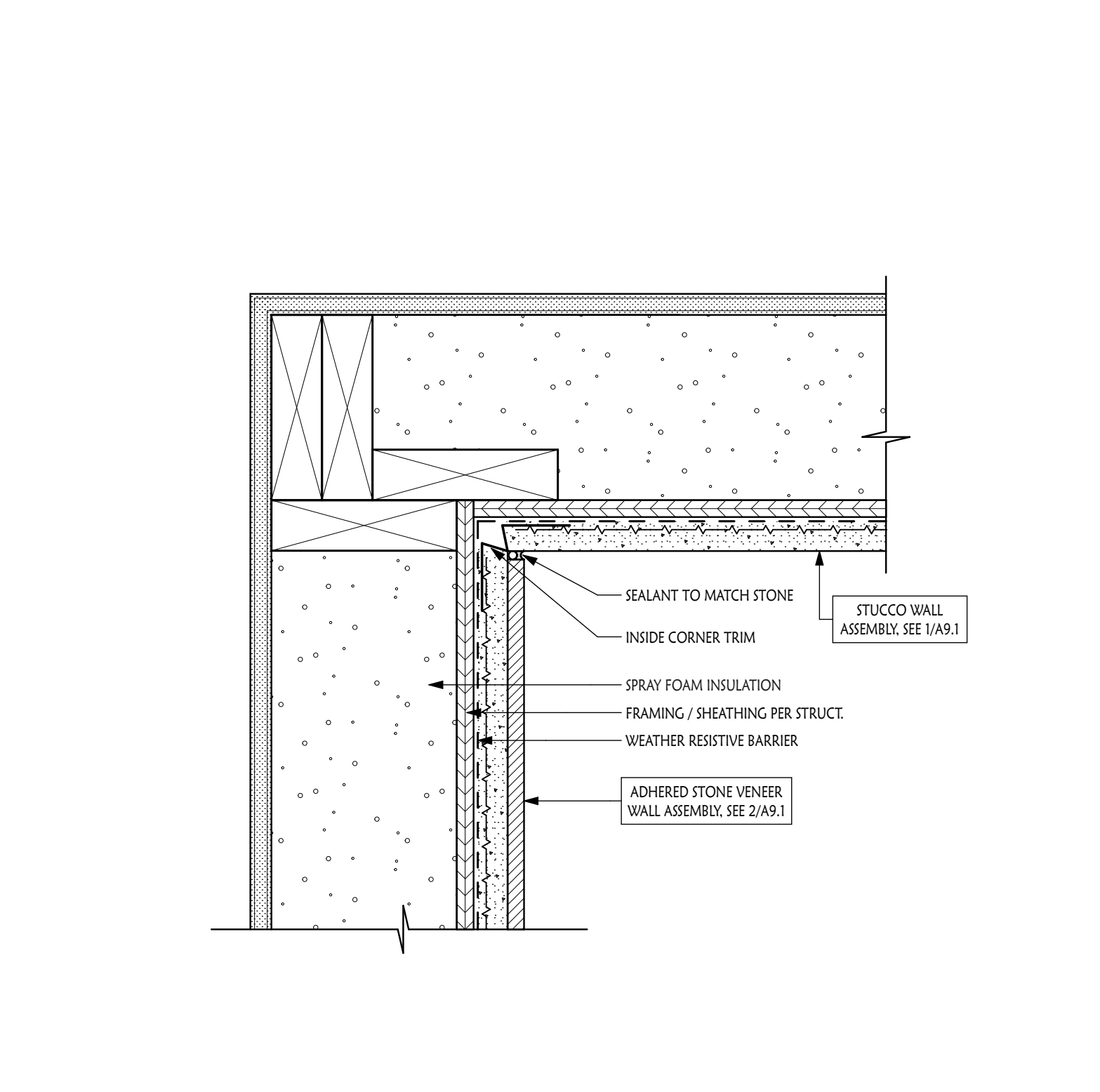
17 STUCCO SILL AT HARDSCAPE 1 1/2" = 1'-0"



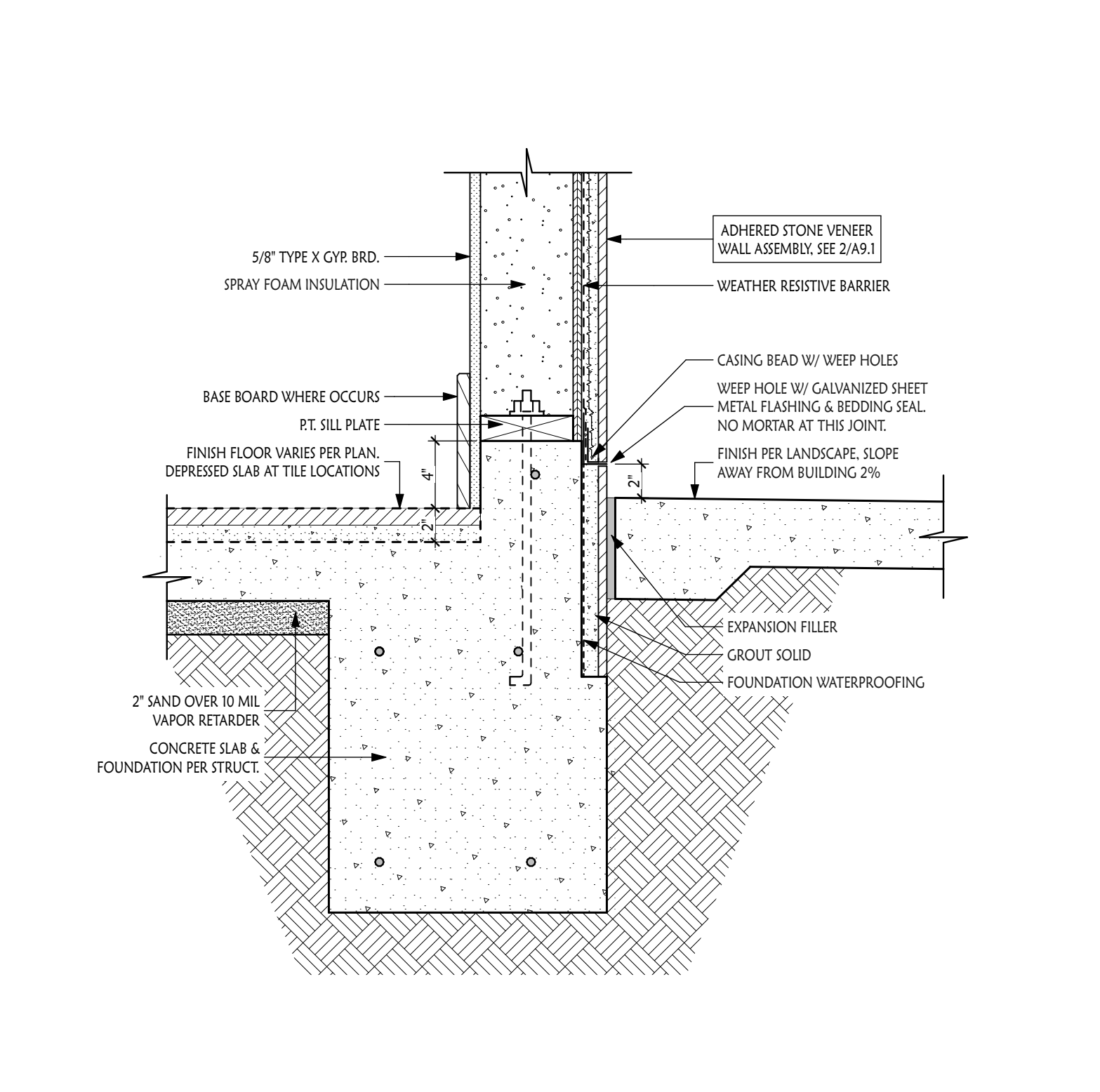
2 ADHERED STONE VENEER WALL ASSEMBLY 3" = 1'-0"



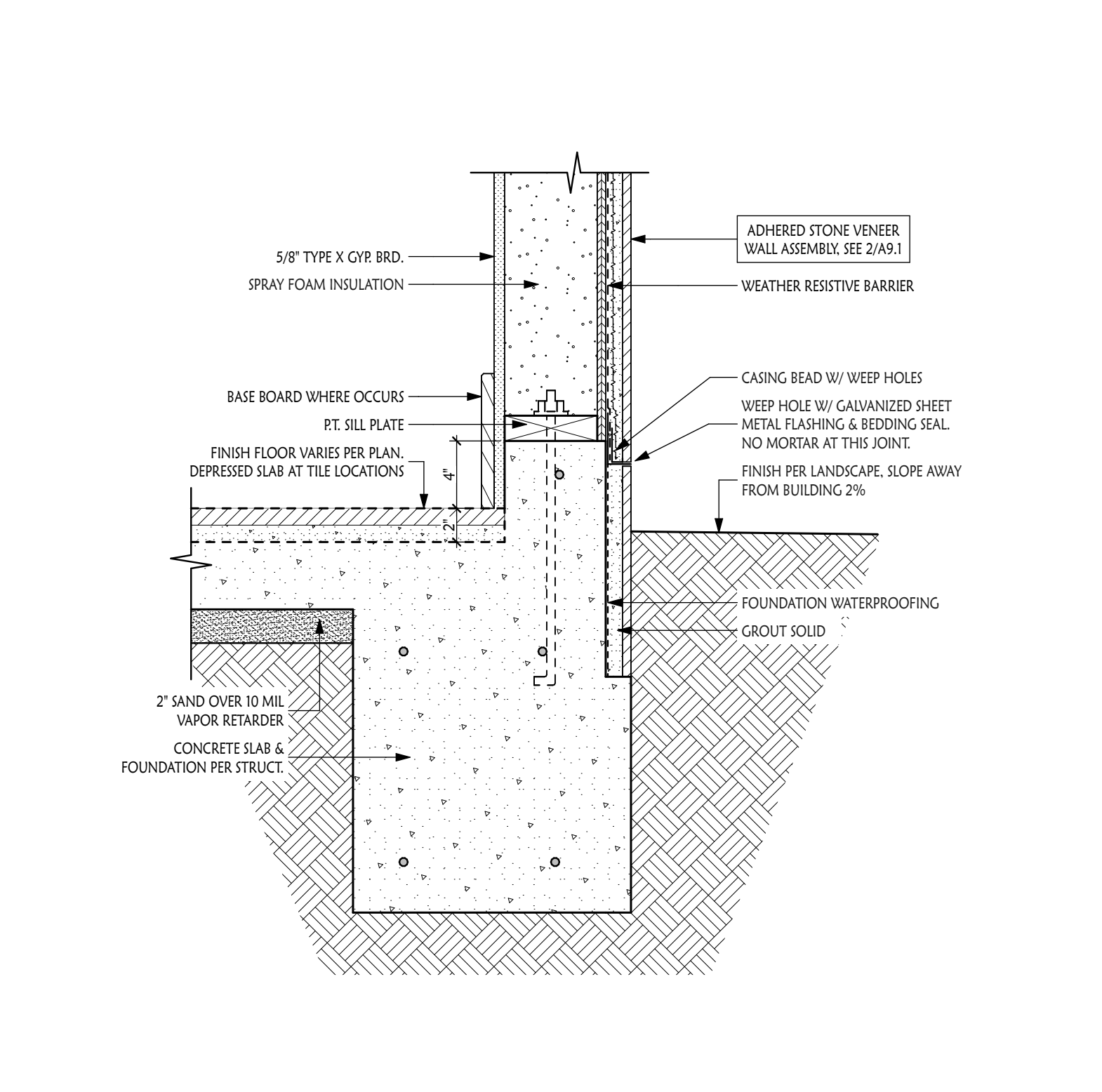
6 ADHERED STONE OUTSIDE CORNER 3" = 1'-0"



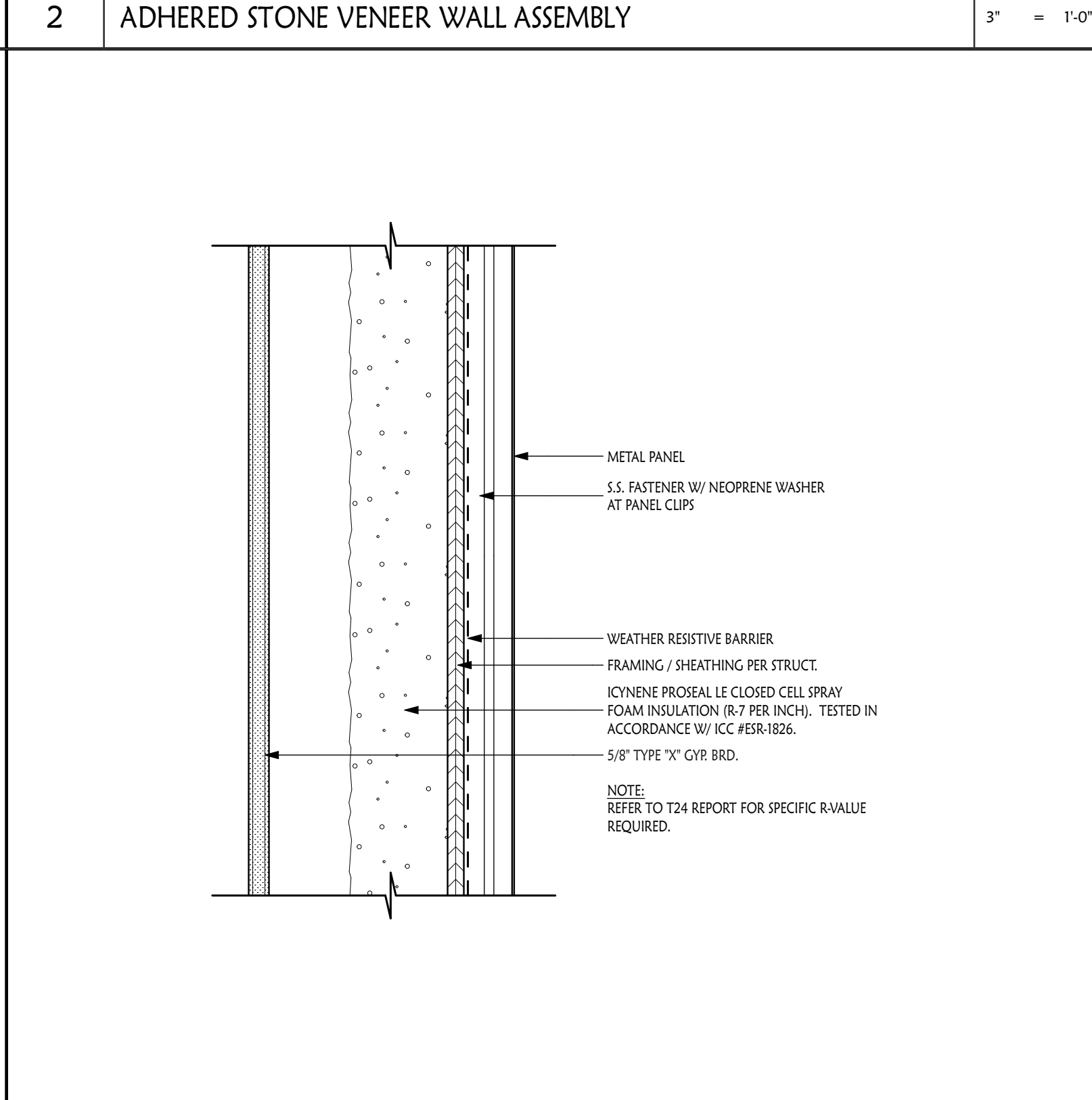
10 ADHERED STONE VENEER INSIDE CORNER 3" = 1'-0"



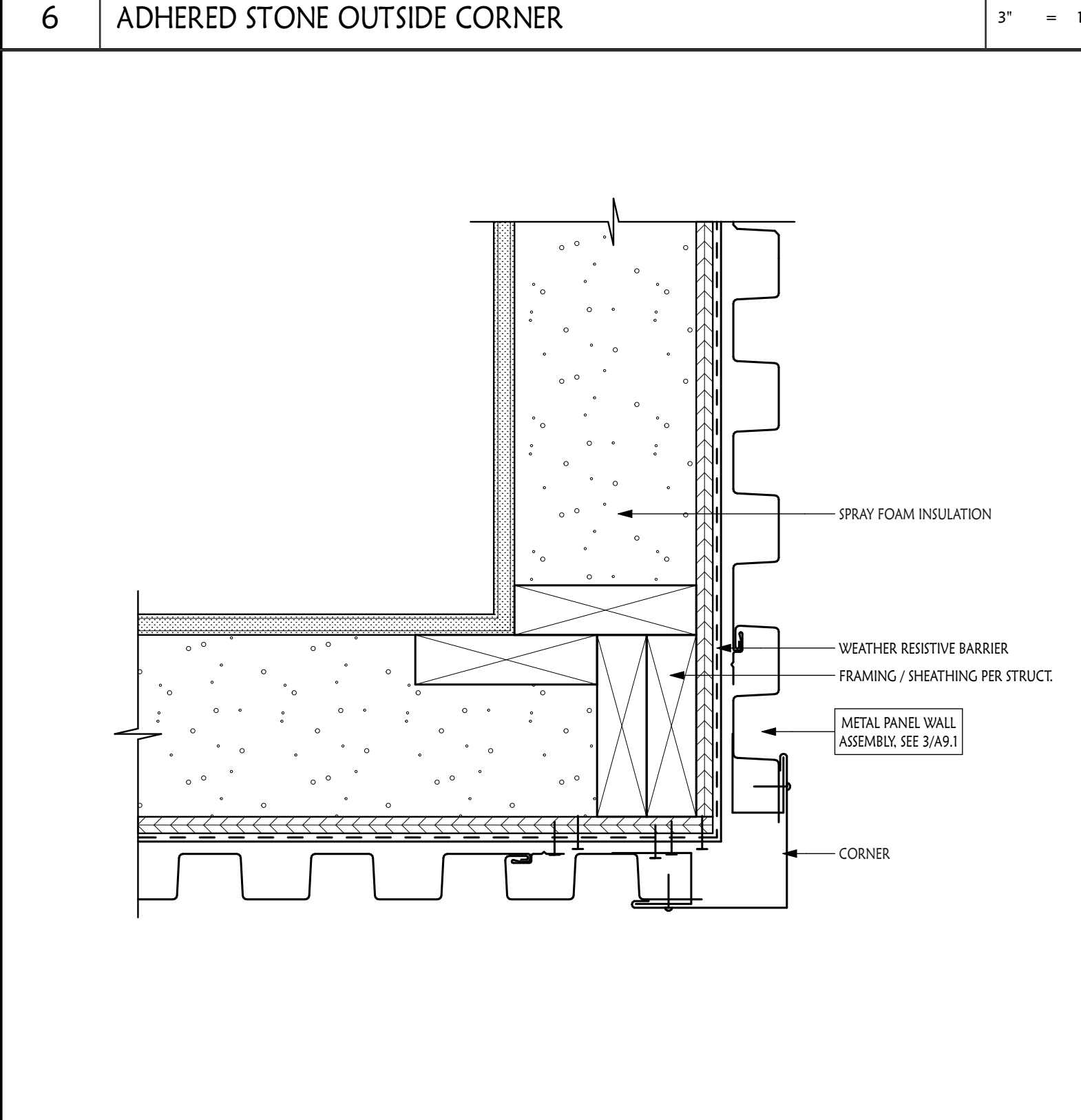
14 ADHERED STONE SILL AT FINISHED GRADE 1 1/2" = 1'-0"



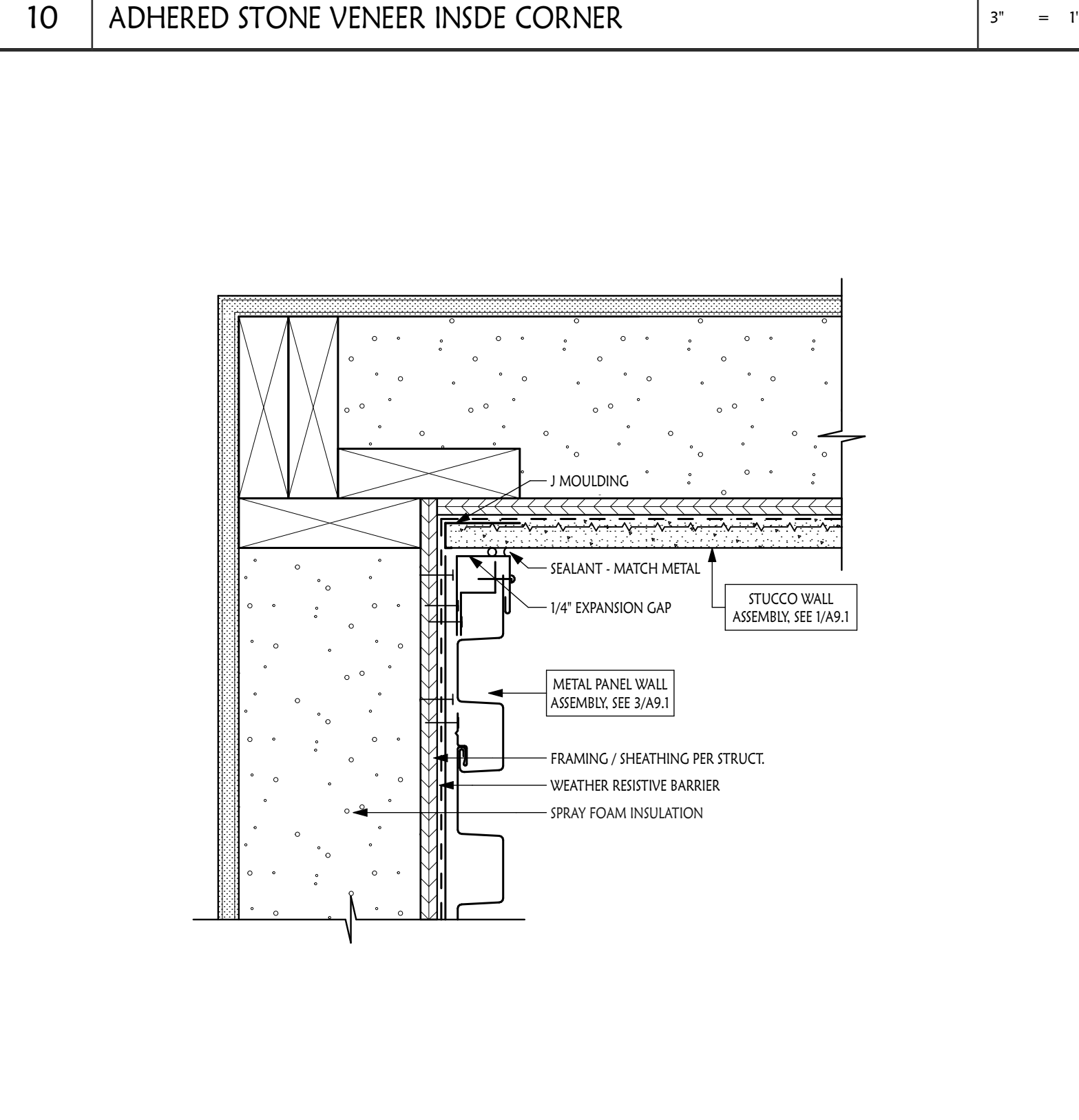
18 ADHERED STONE SILL AT HARDSCAPE 1 1/2" = 1'-0"



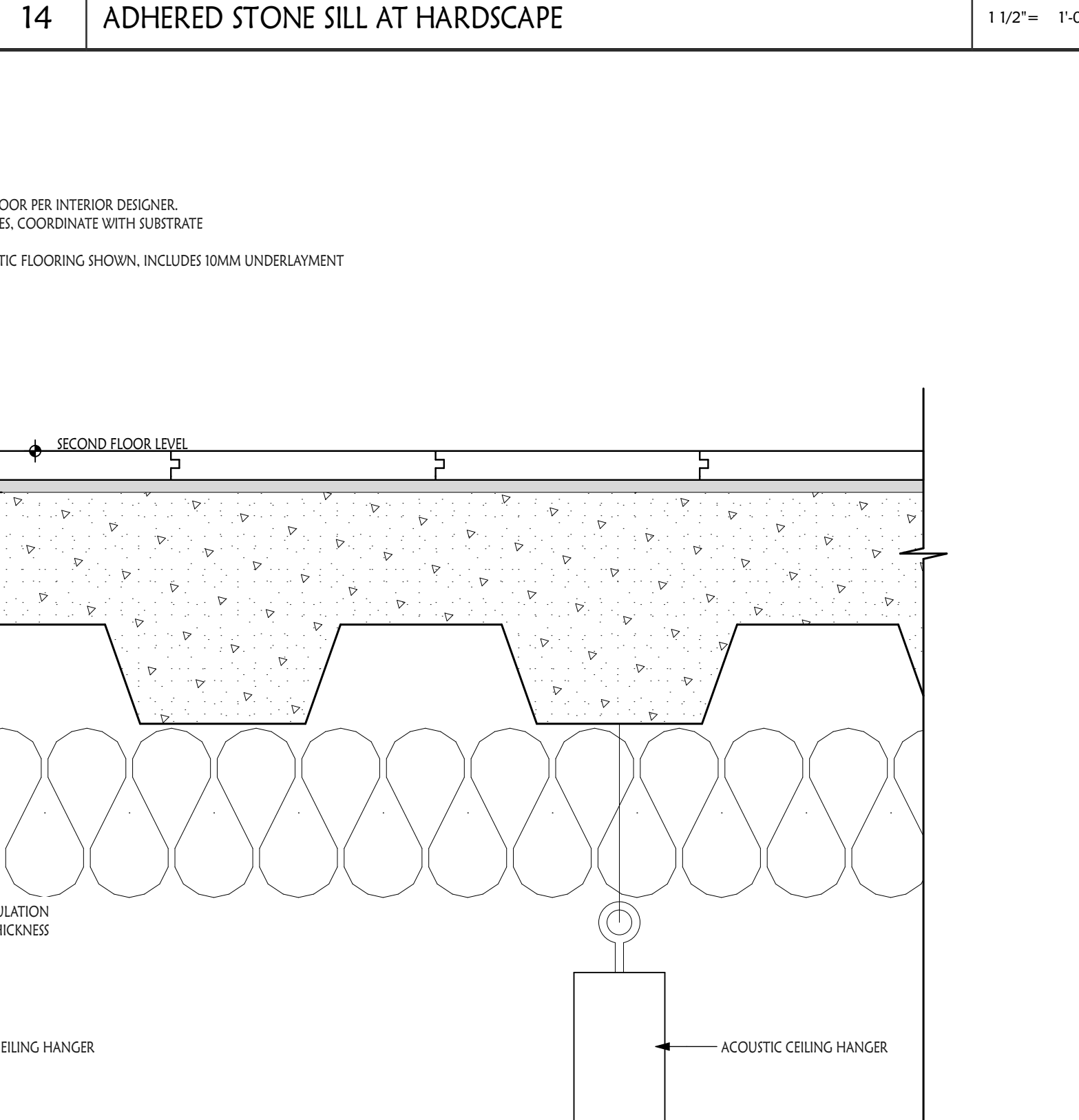
3 METAL WALL PANEL ASSEMBLY 3" = 1'-0"



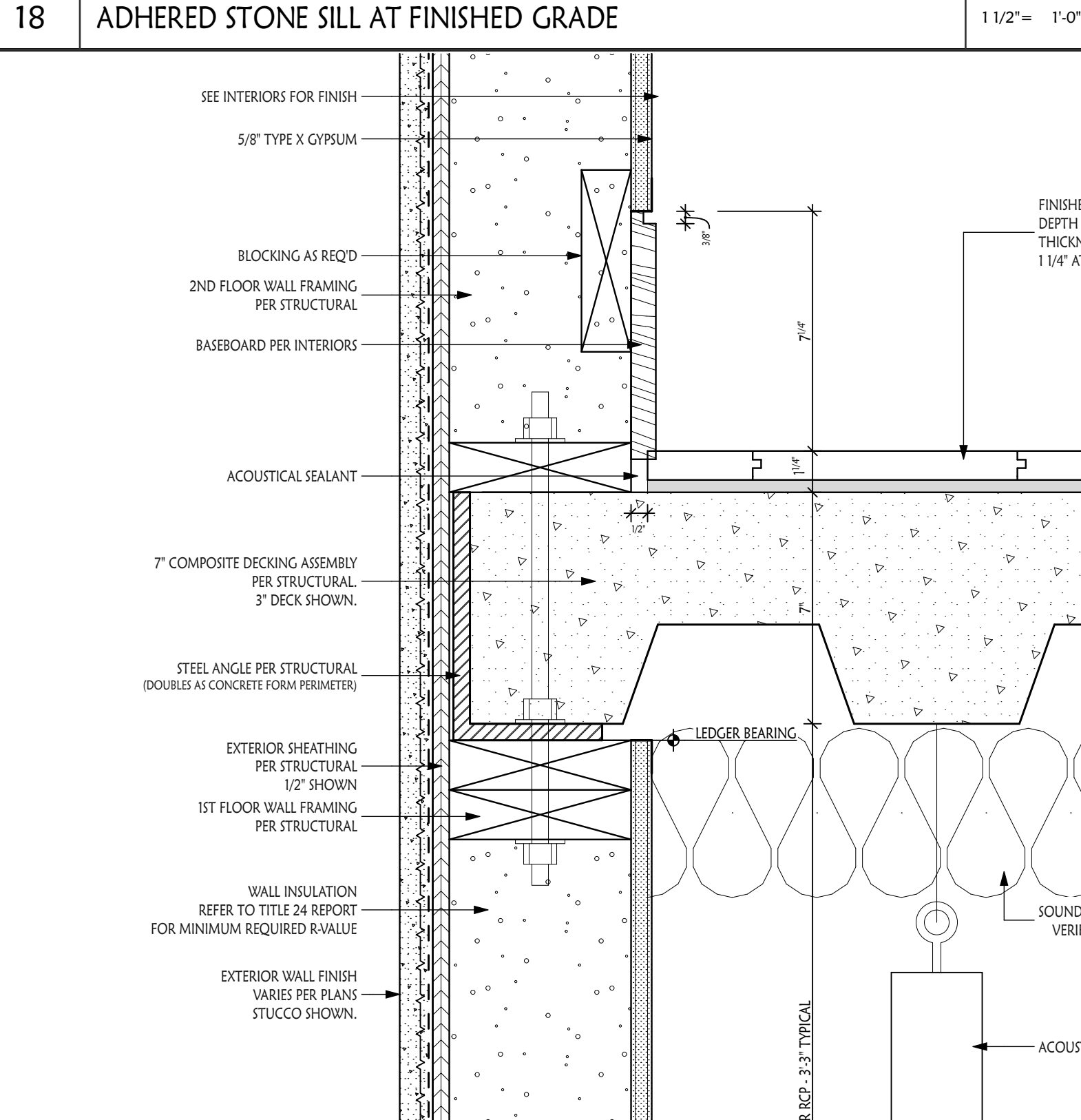
7 METAL PANEL OUTSIDE CORNER 3" = 1'-0"



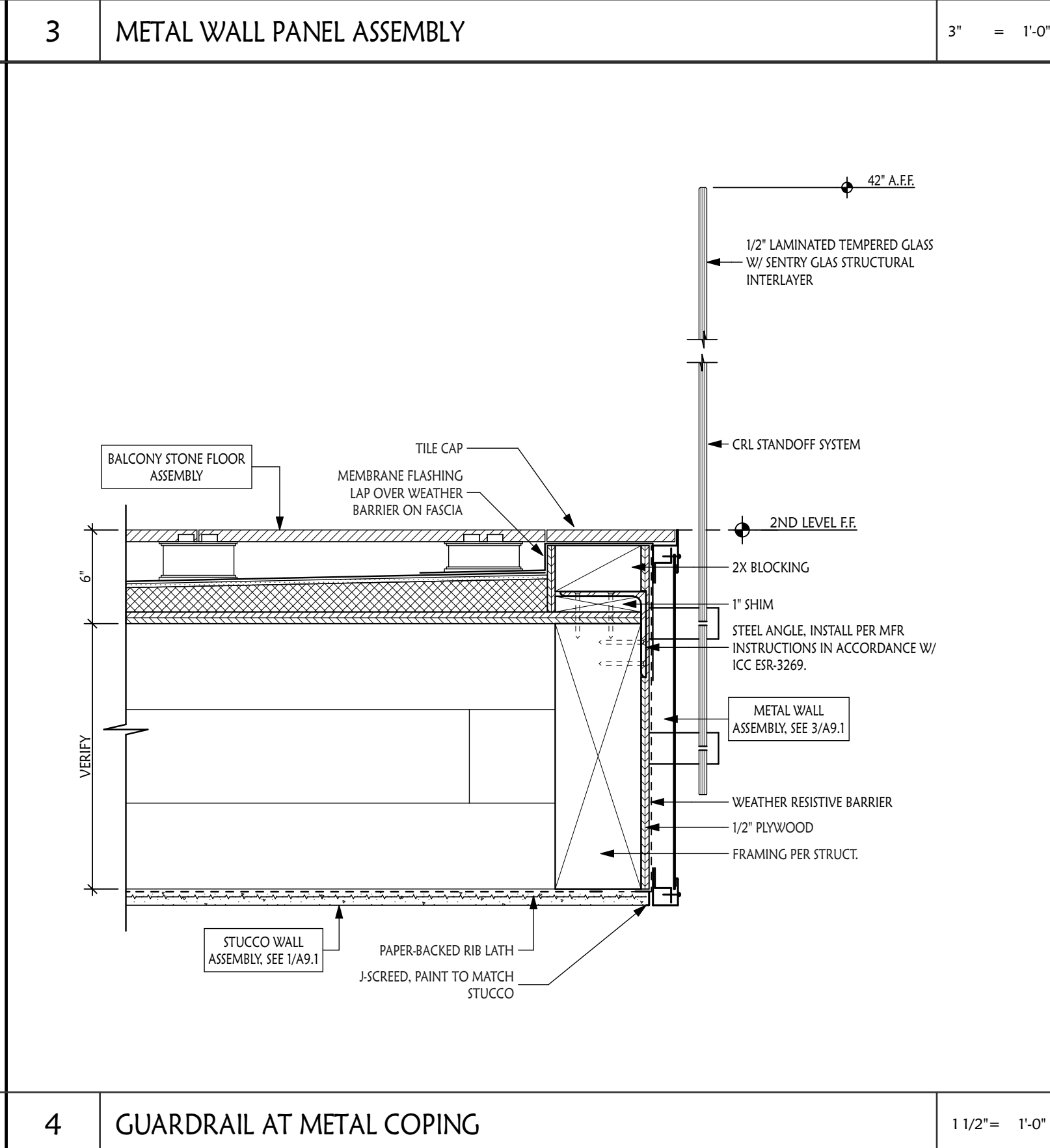
11 METAL PANEL INSIDE CORNER 3" = 1'-0"



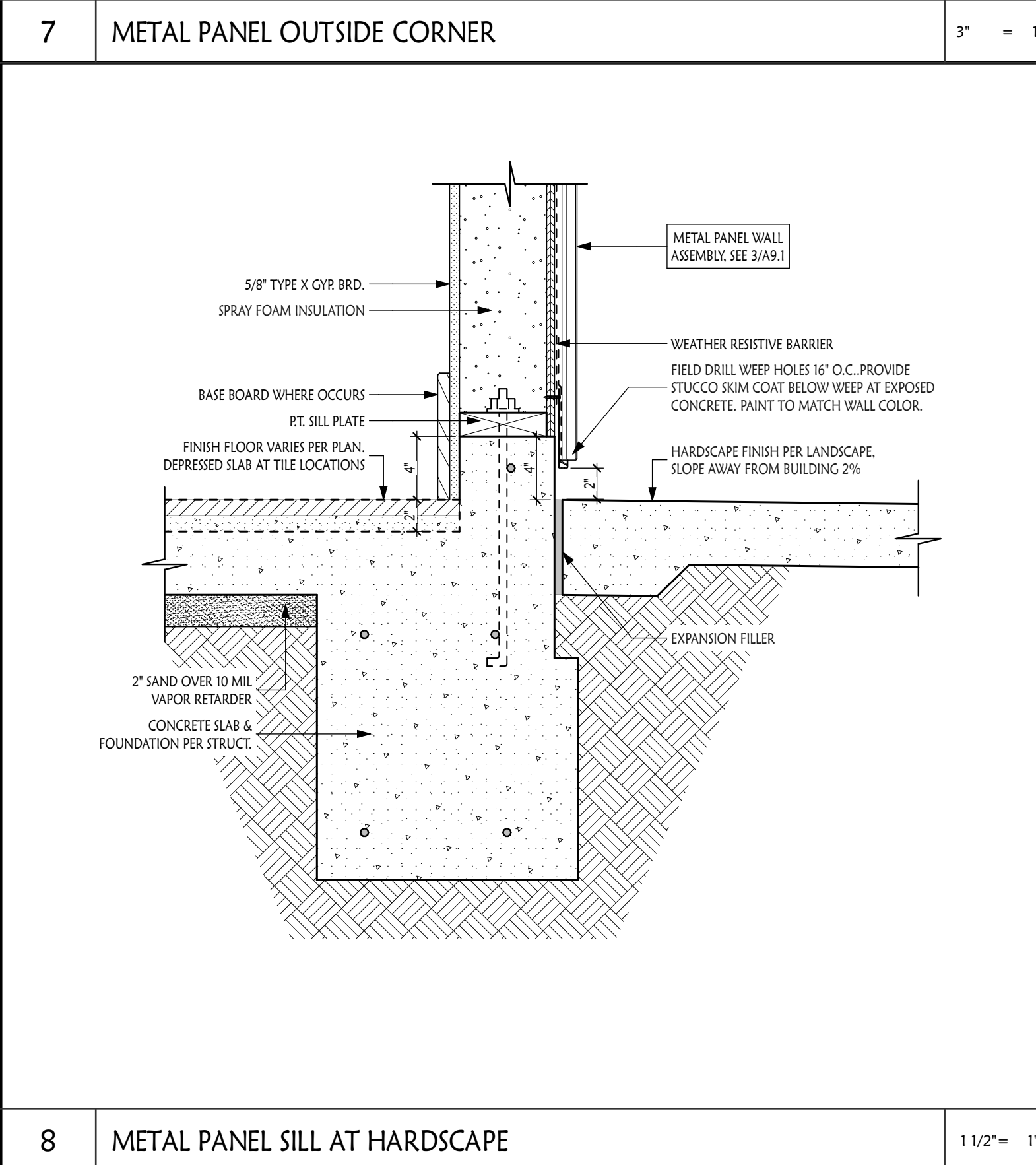
12 METAL PANEL SILL AT FINISHED GRADE 1 1/2" = 1'-0"



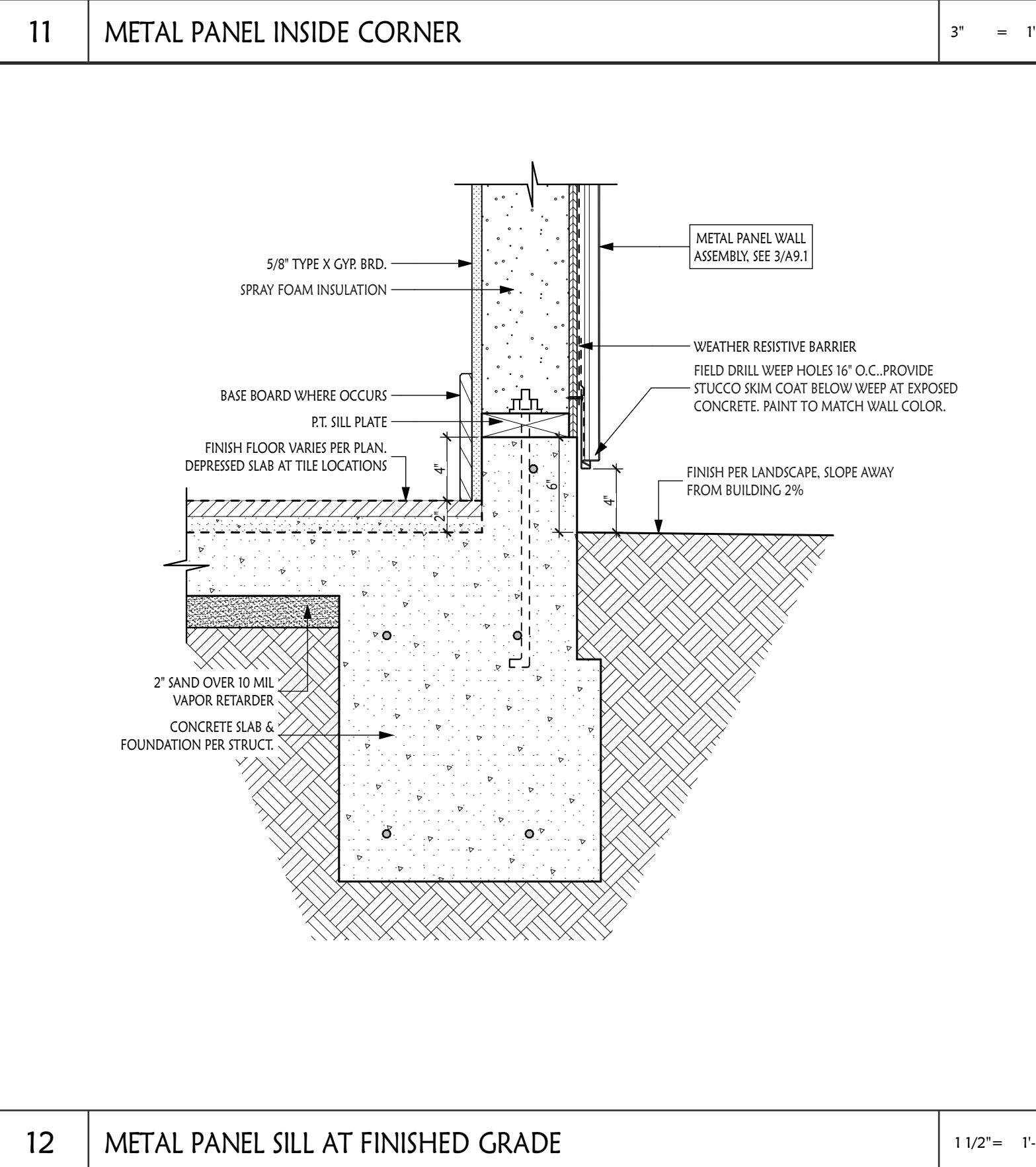
8 METAL PANEL SILL AT HARDSCAPE 1 1/2" = 1'-0"



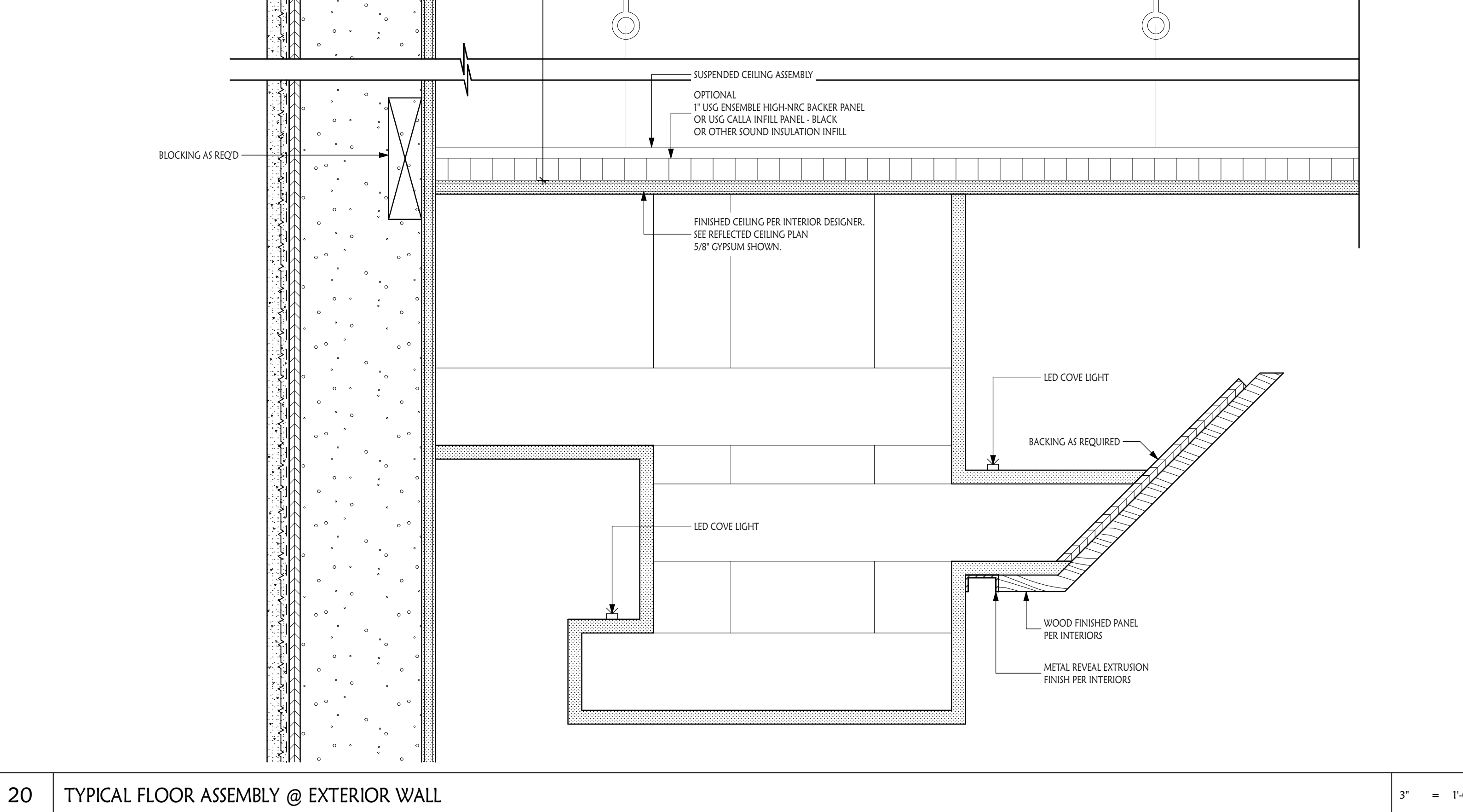
4 GUARDRAIL AT METAL COPING 1 1/2" = 1'-0"



8 METAL PANEL SILL AT HARDSCAPE 1 1/2" = 1'-0"



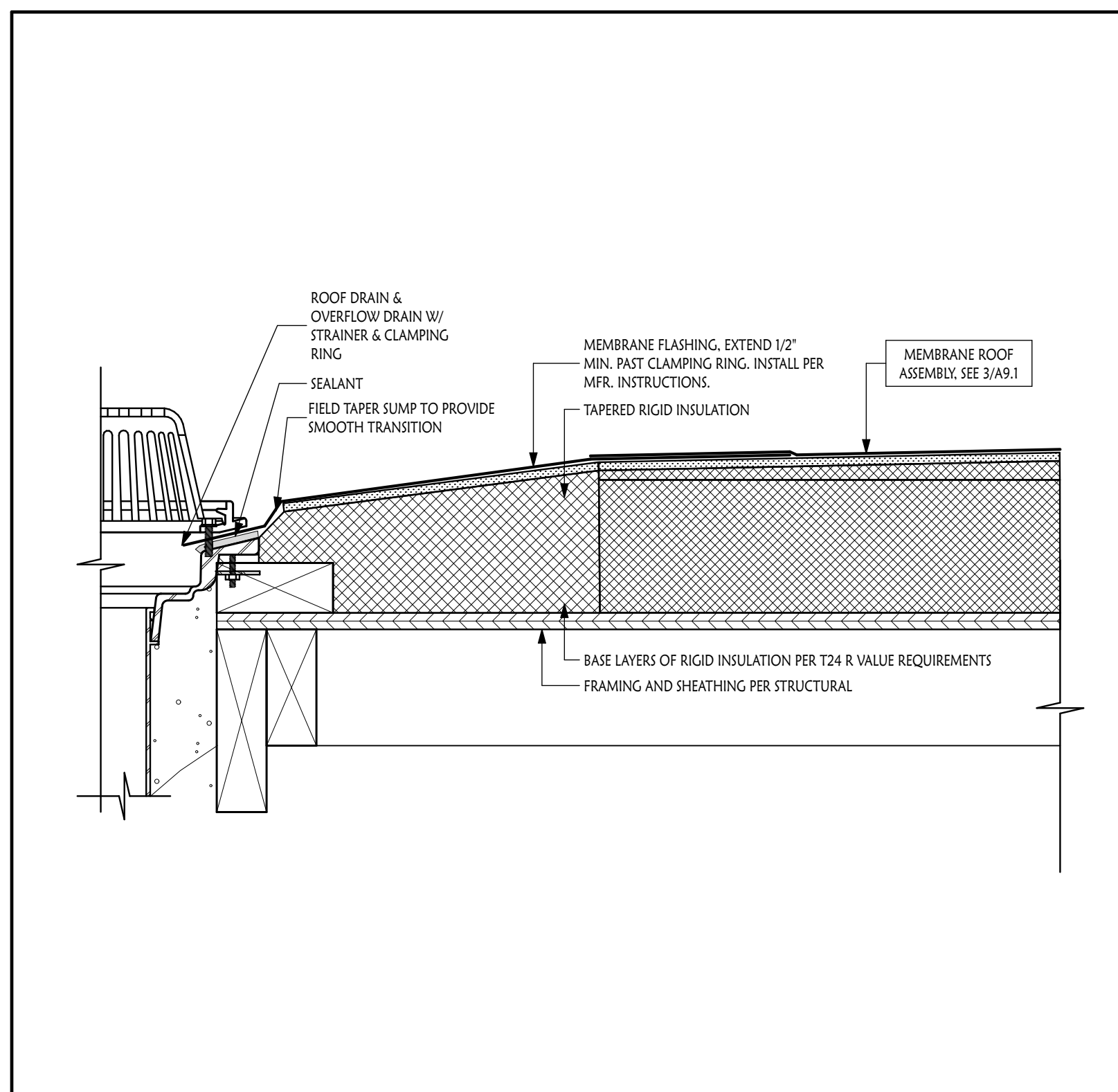
12 METAL PANEL SILL AT FINISHED GRADE 1 1/2" = 1'-0"



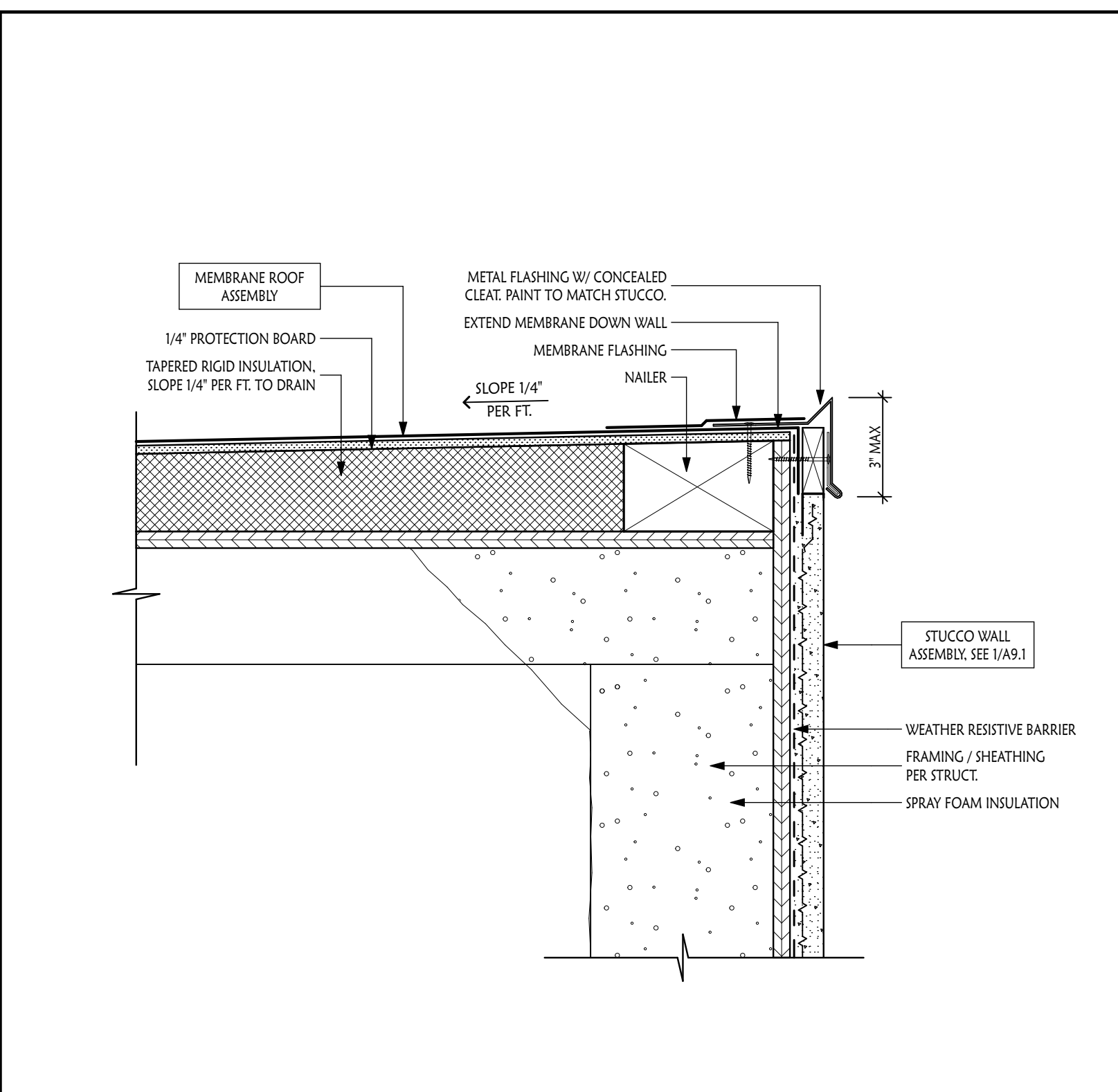
20 TYPICAL FLOOR ASSEMBLY @ EXTERIOR WALL 3" = 1'-0"



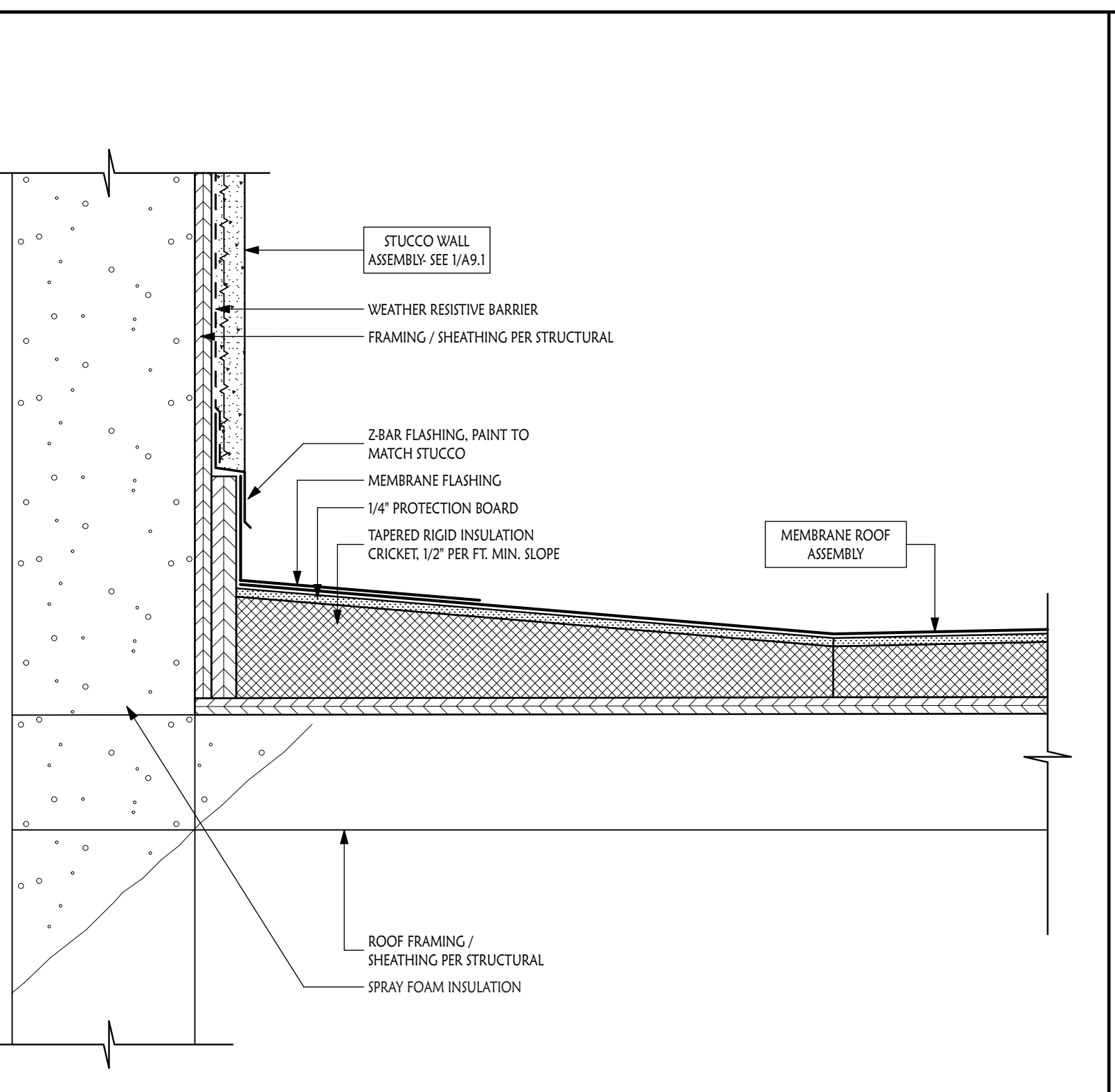
NO.	DESCRIPTION	DATE
1	SCHEMATIC	JULY 30, 2024
2	DESIGN DEV.	
3	CONST. DOCS.	
4	CITY PLANNING SUB. 1	AUG 27, 2024
5	CITY SUB. 1	
6	CITY SUB. 2	
7	CONSTR. REV 1	
8	CONSTR. REV 2	
9	CONSTR. REV 3	



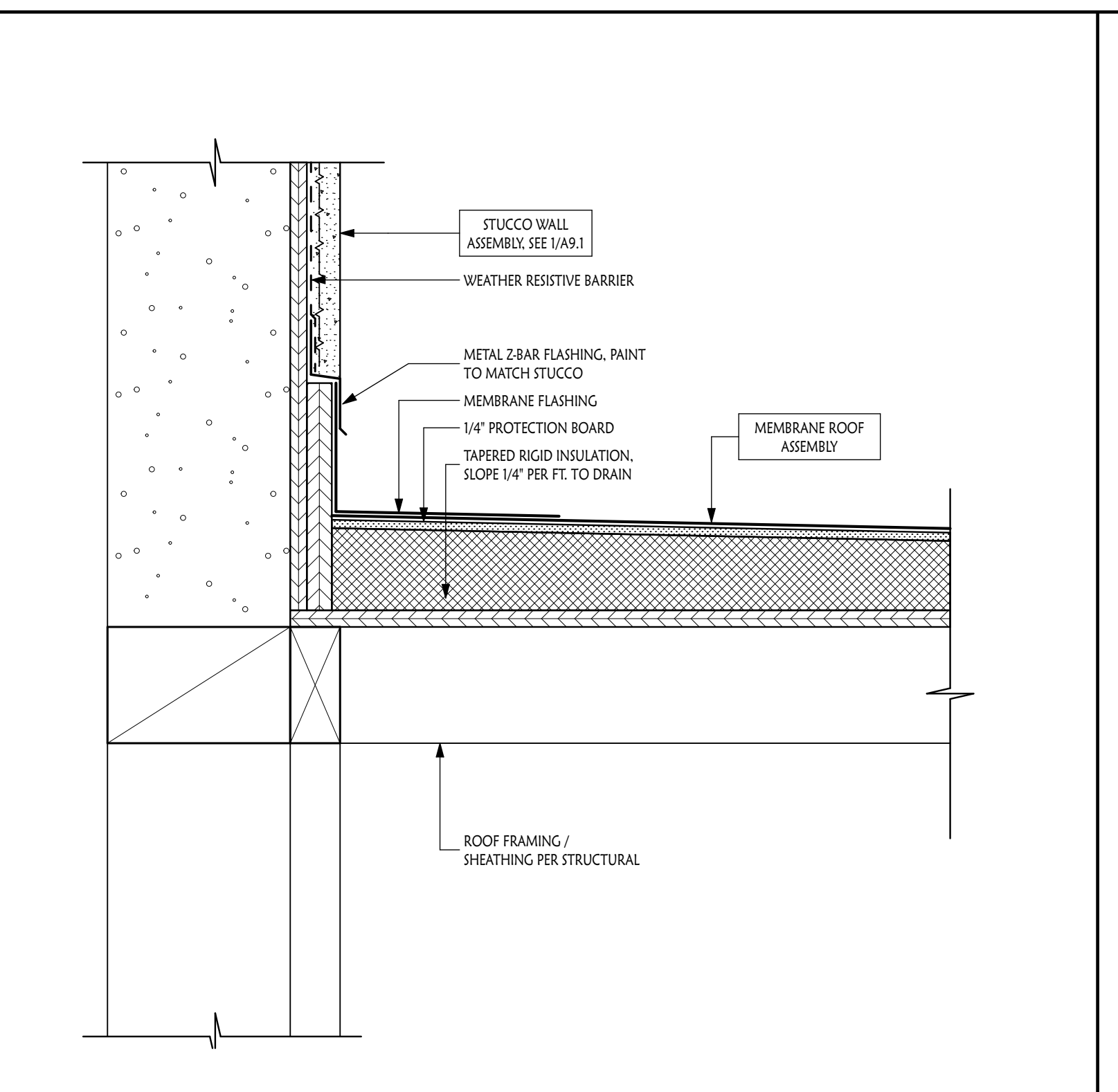
17 ROOF DRAIN AT MEMBRANE ROOF 3' = 1'-0"



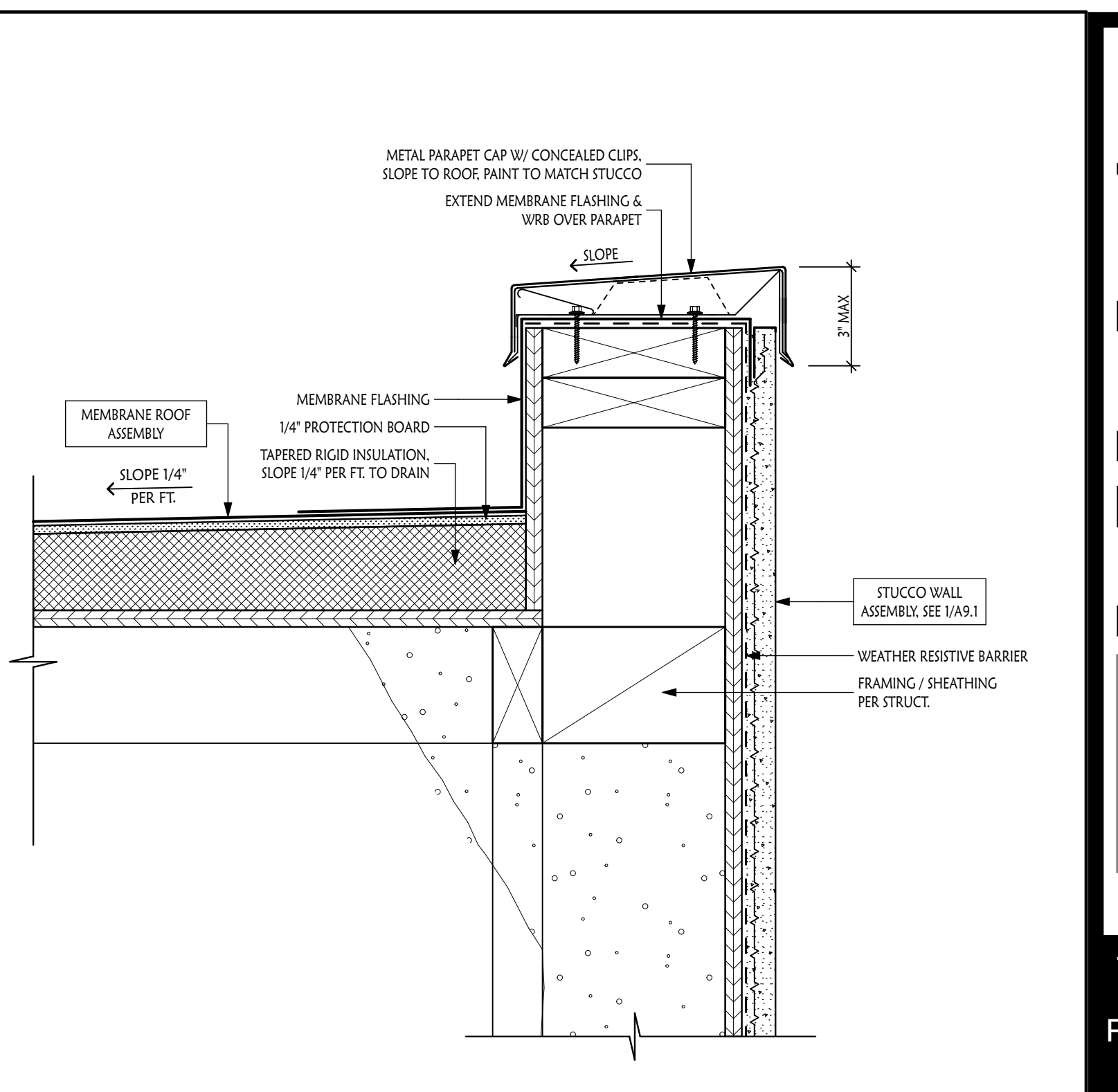
13 ROOF EDGE AT MEMBRANE ROOF / STUCCO WALL 3' = 1'-0"



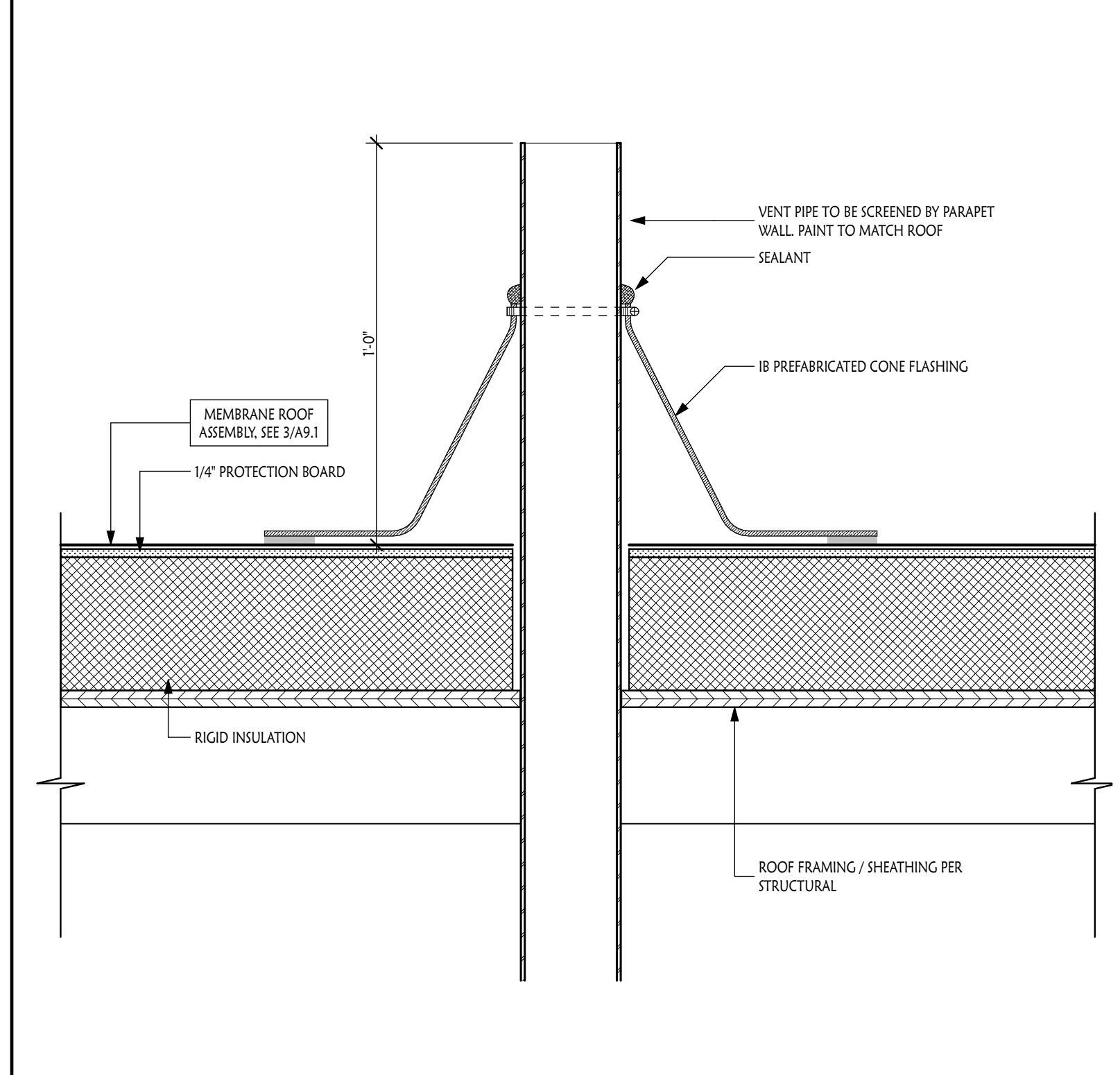
9 MEMBRANE ROOF CRICKET AT STUCCO WALL 3' = 1'-0"



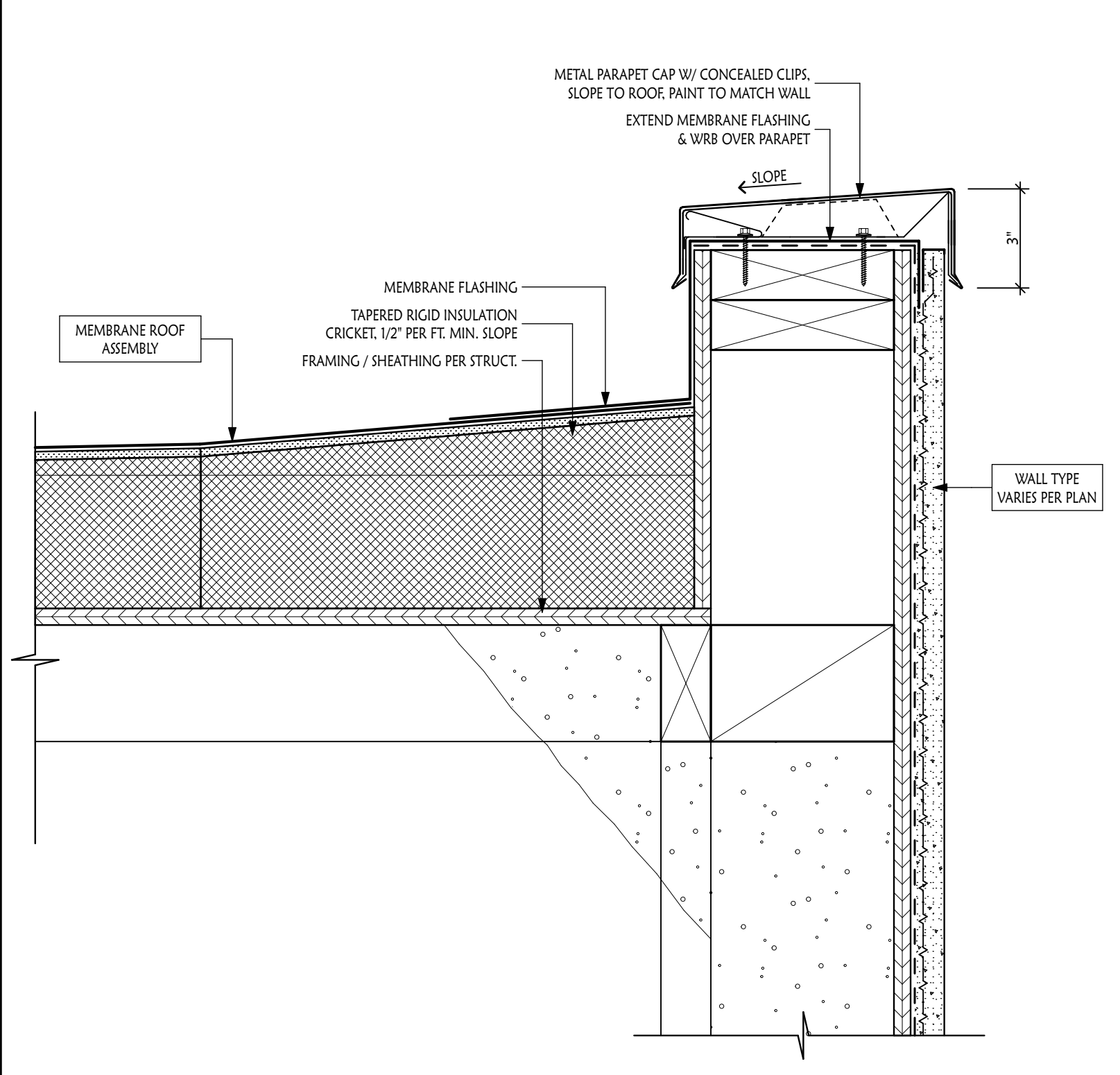
5 MEMBRANE ROOF AT STUCCO WALL 3' = 1'-0"



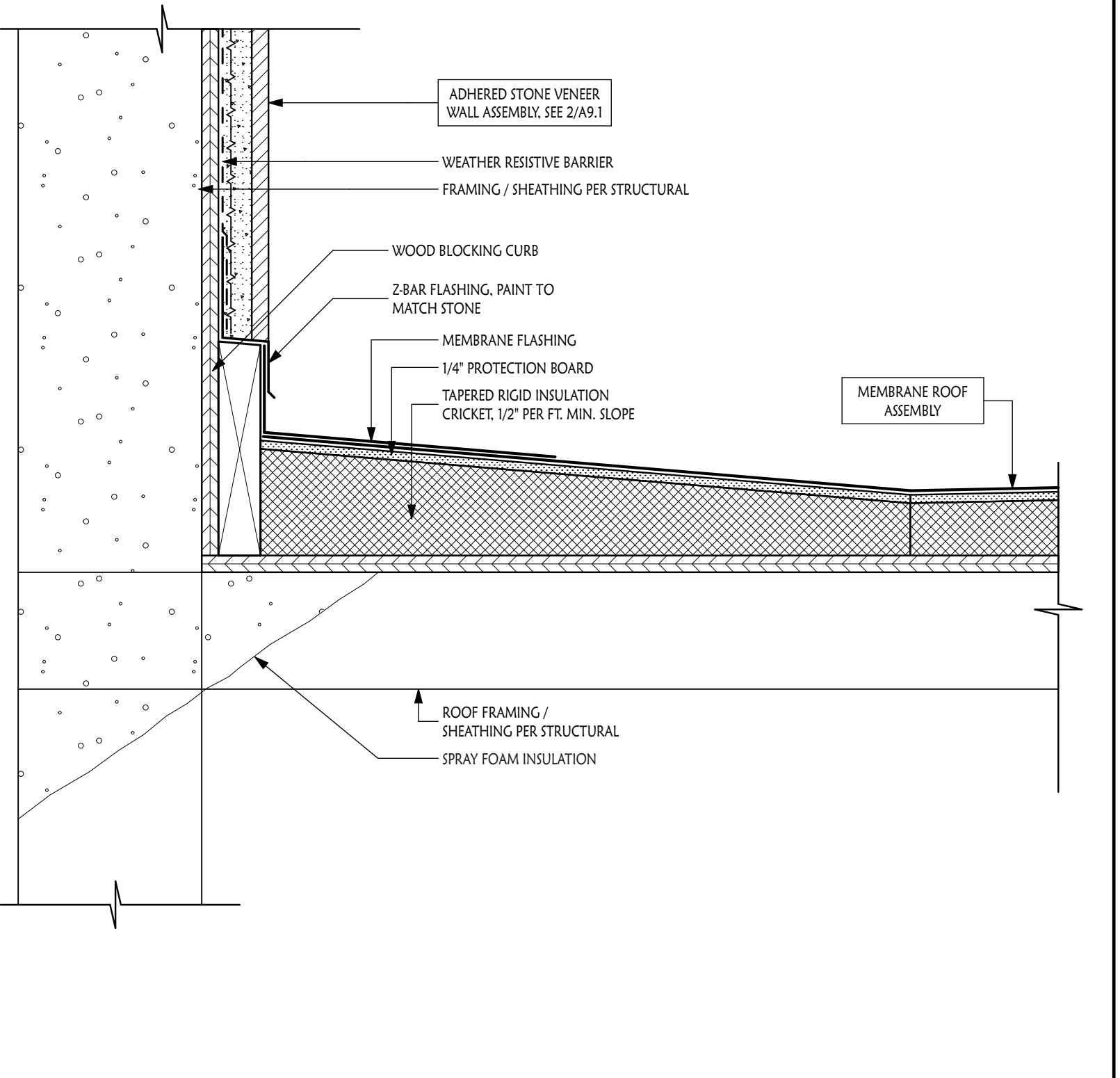
1 PARAPET AT MEMBRANE ROOF / STUCCO WALL 3' = 1'-0"



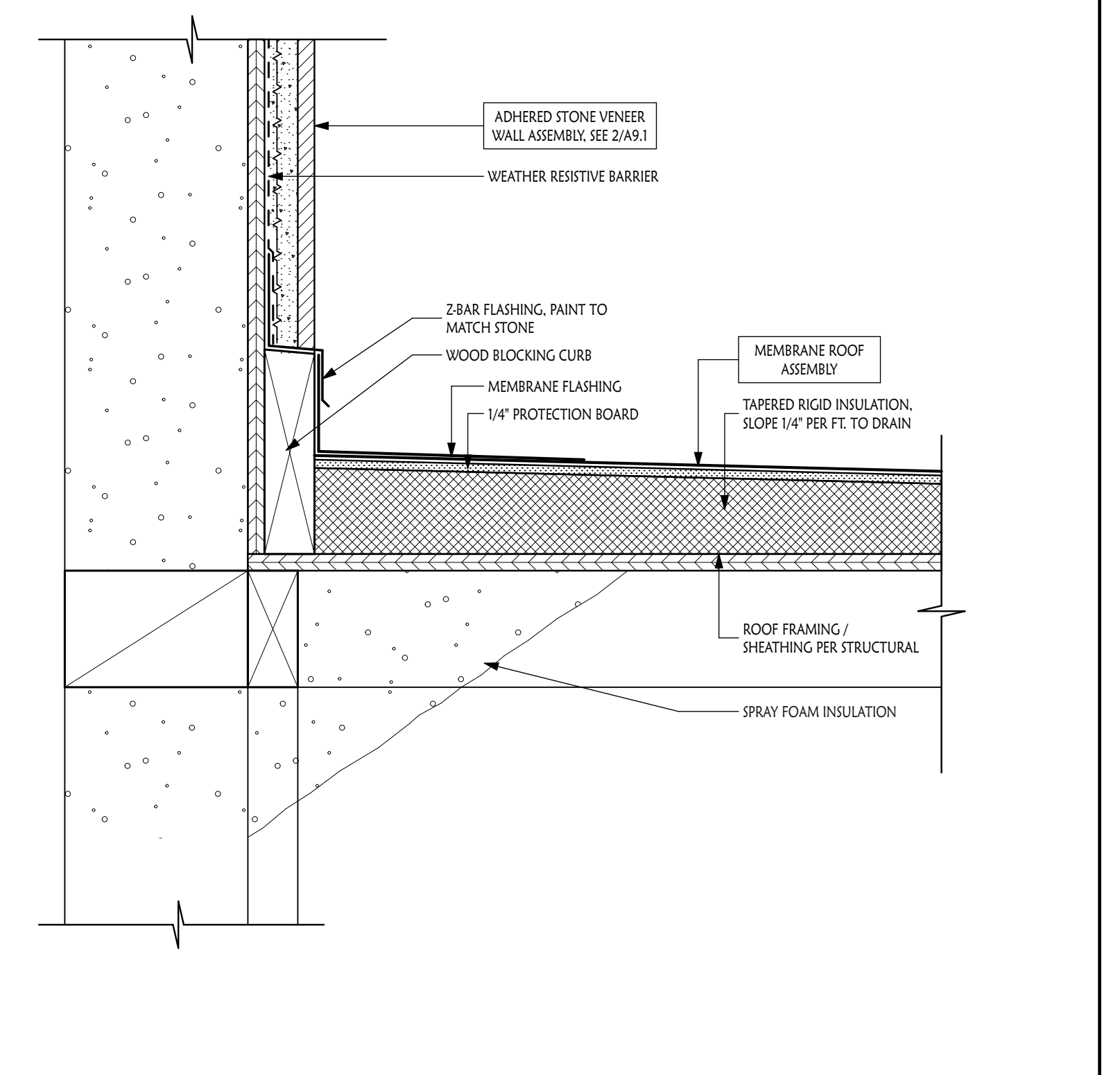
18 VENT PIPE PENETRATION AT MEMBRANE ROOF 3' = 1'-0"



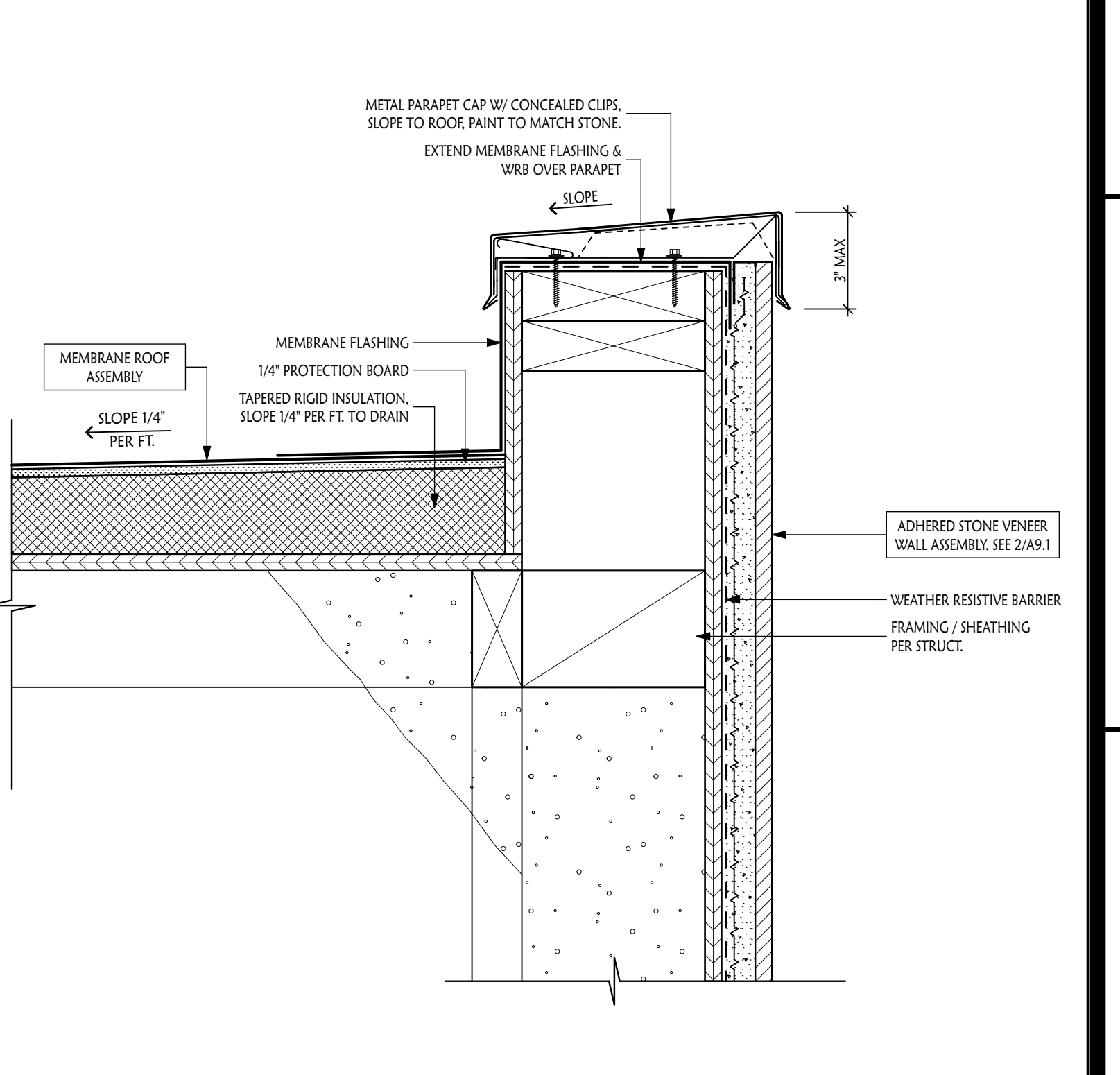
14 TYPICAL CRICKET AT PARAPET 3' = 1'-0"



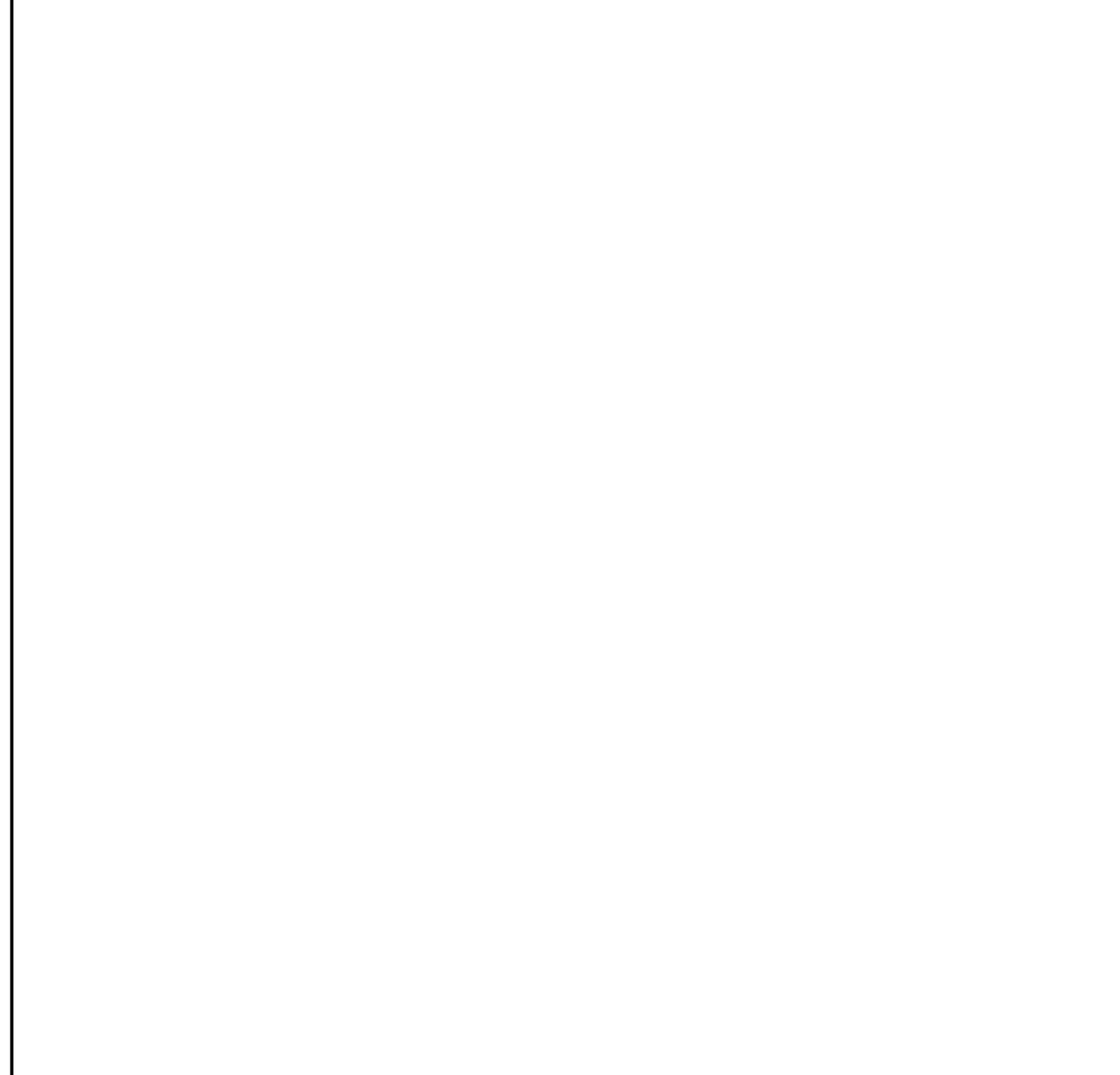
10 MEMBRANE ROOF CRICKET AT ADHERED STONE WALL 3' = 1'-0"



6 MEMBRANE ROOF AT ADHERED STONE VENEER WALL 3' = 1'-0"



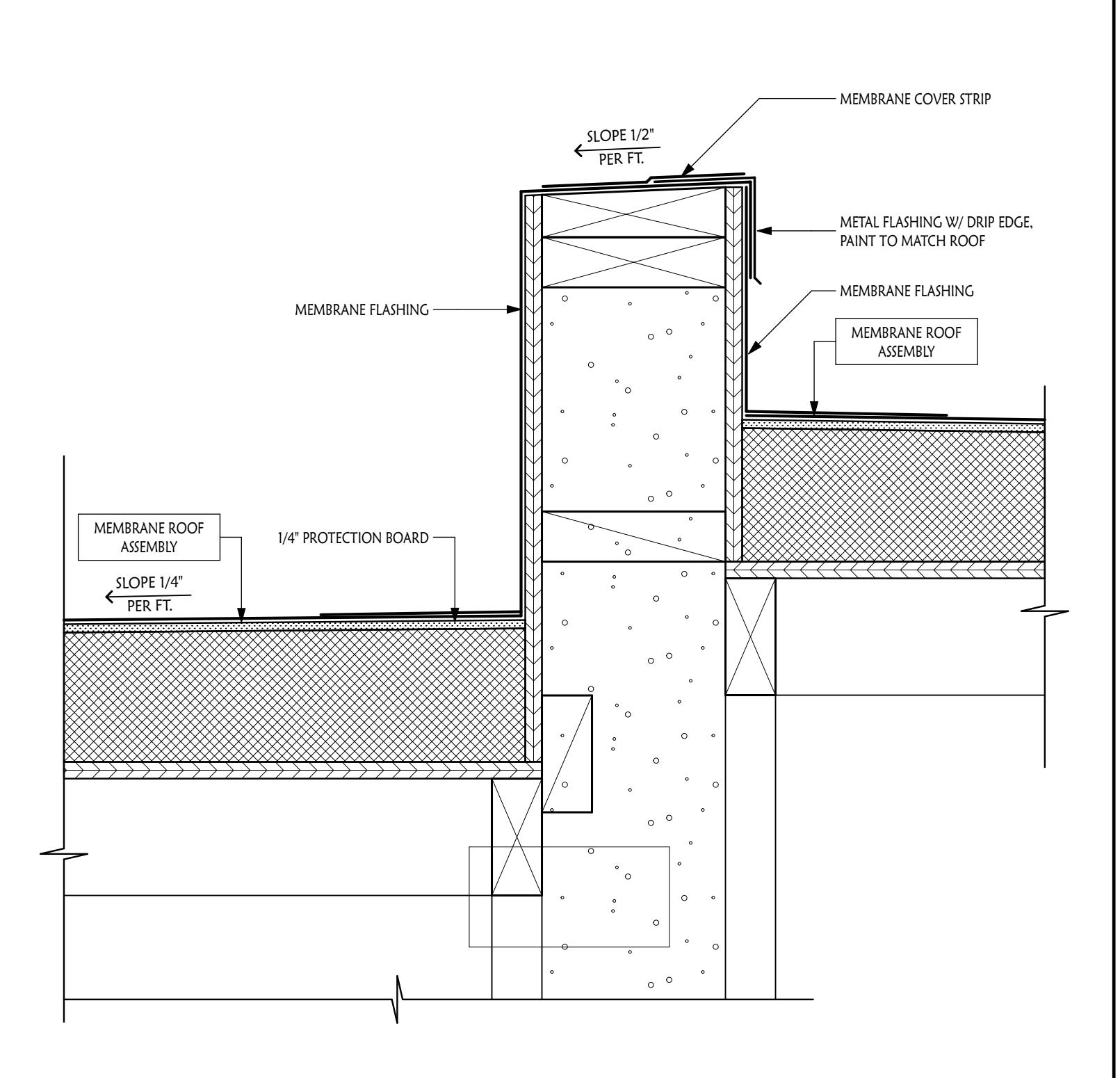
2 PARAPET AT MEMBRANE ROOF / ADHERED STONE WALL 3' = 1'-0"



11 MEMBRANE ROOF AT CURB 3' = 1'-0"



7 METAL PARAPET AT VARYING MEMBRANE ROOF HEIGHTS 3' = 1'-0"



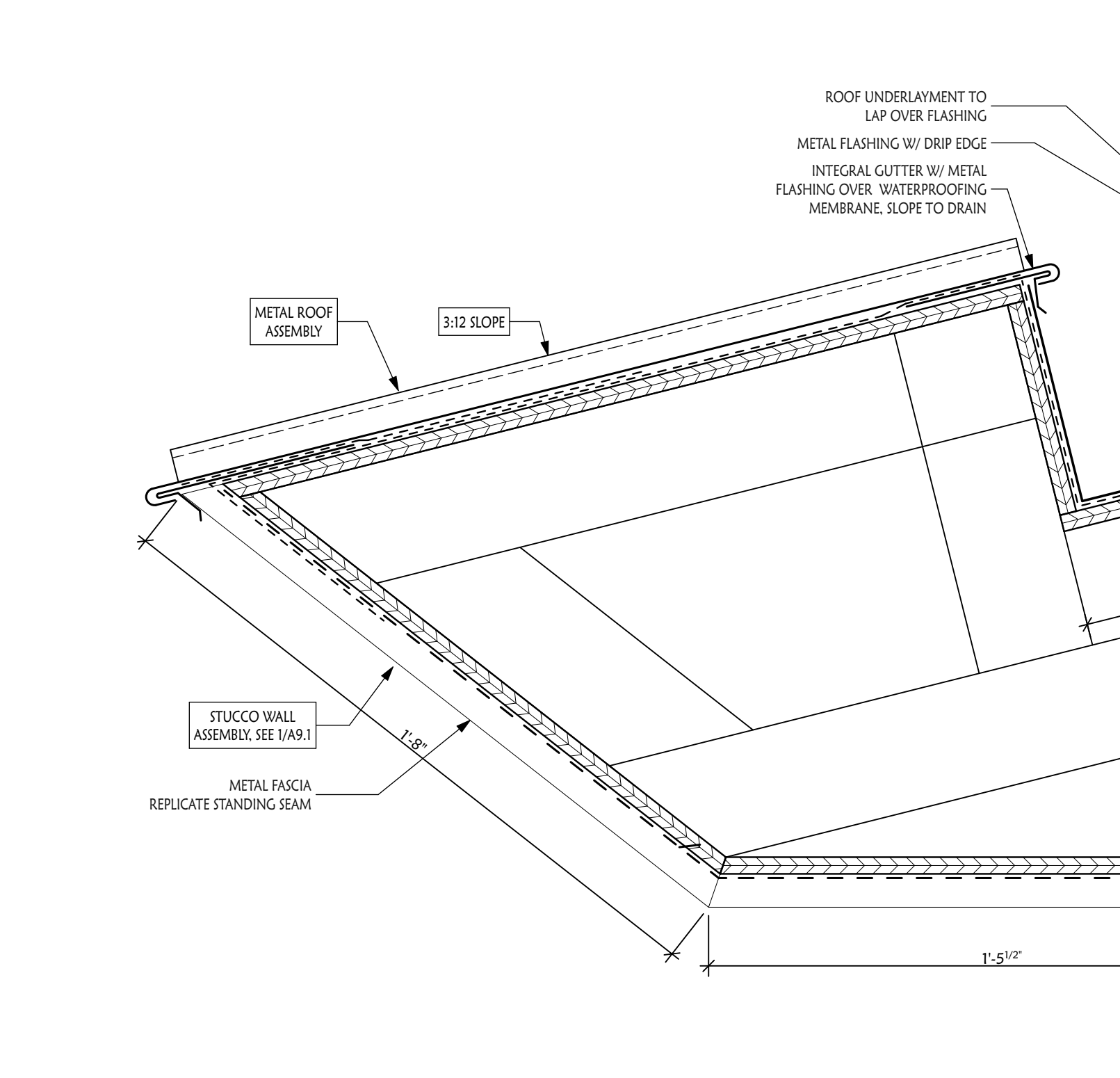
3 PARAPET AT MEMBRANE ROOF / METAL PANEL WALL 3' = 1'-0"



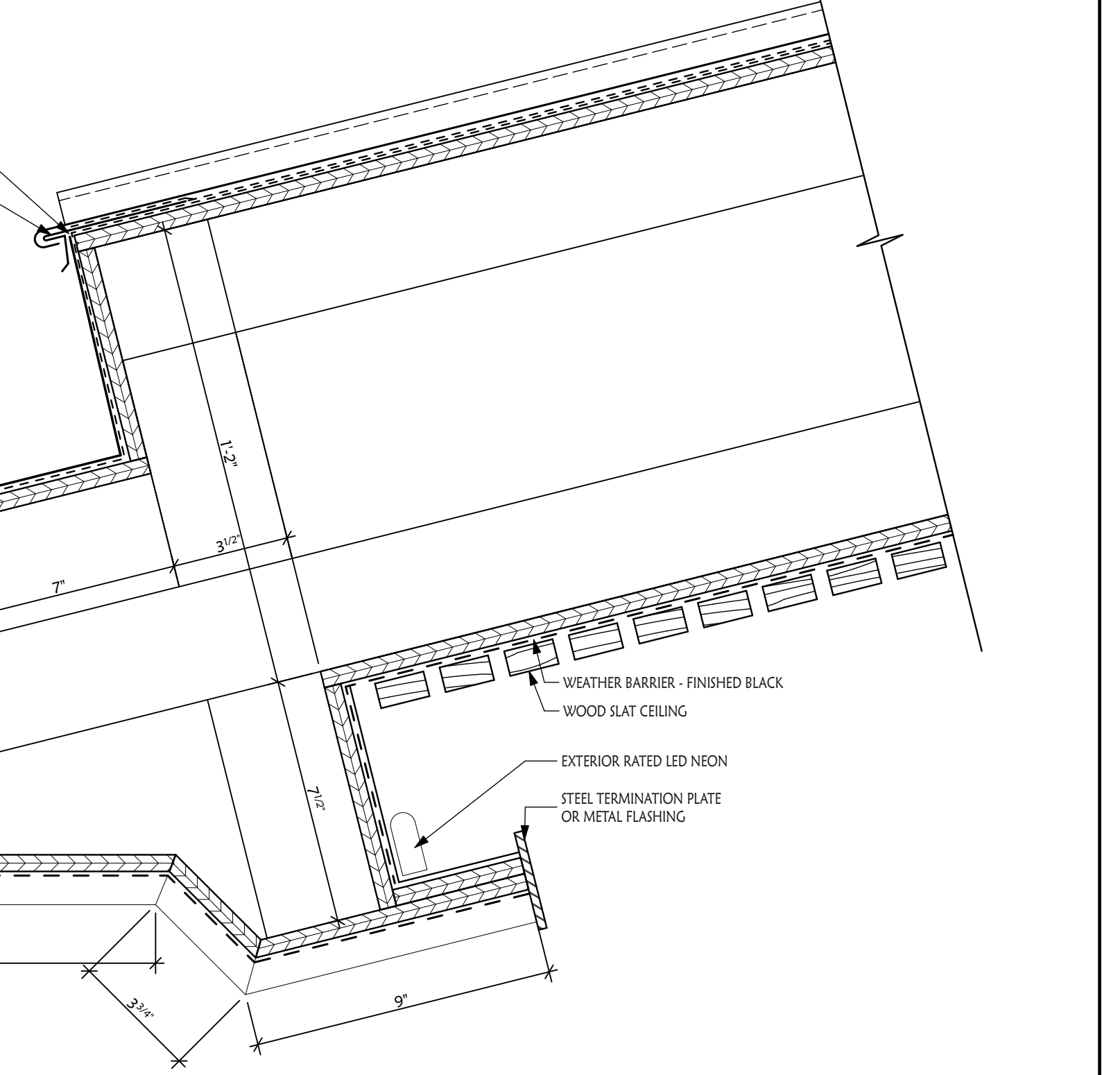
12 INTEGRATED GUTTER IN METAL ROOF FASCIA 3' = 1'-0"



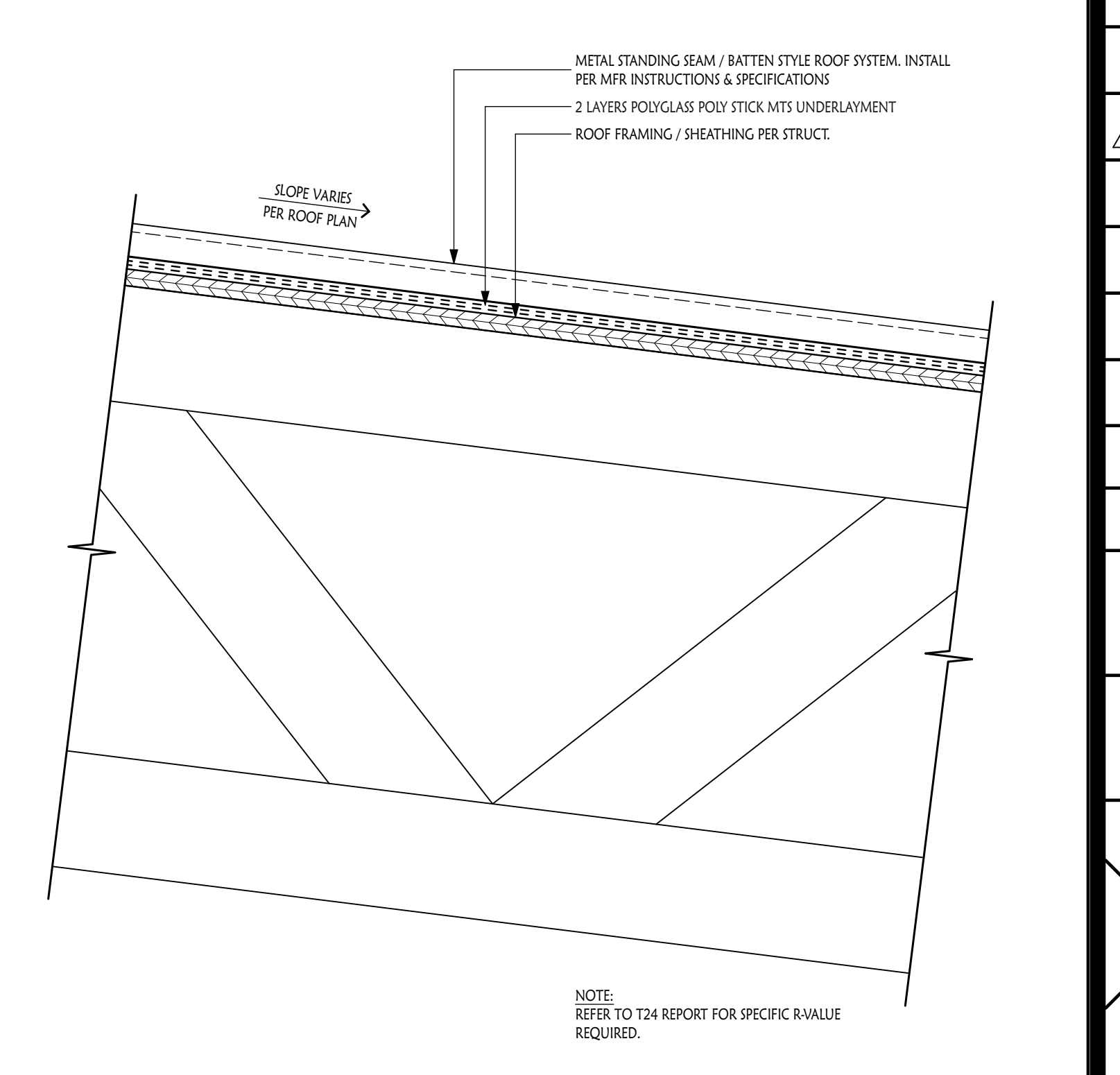
4 METAL ROOF ASSEMBLY 3' = 1'-0"



12 INTEGRATED GUTTER IN METAL ROOF FASCIA 3' = 1'-0"



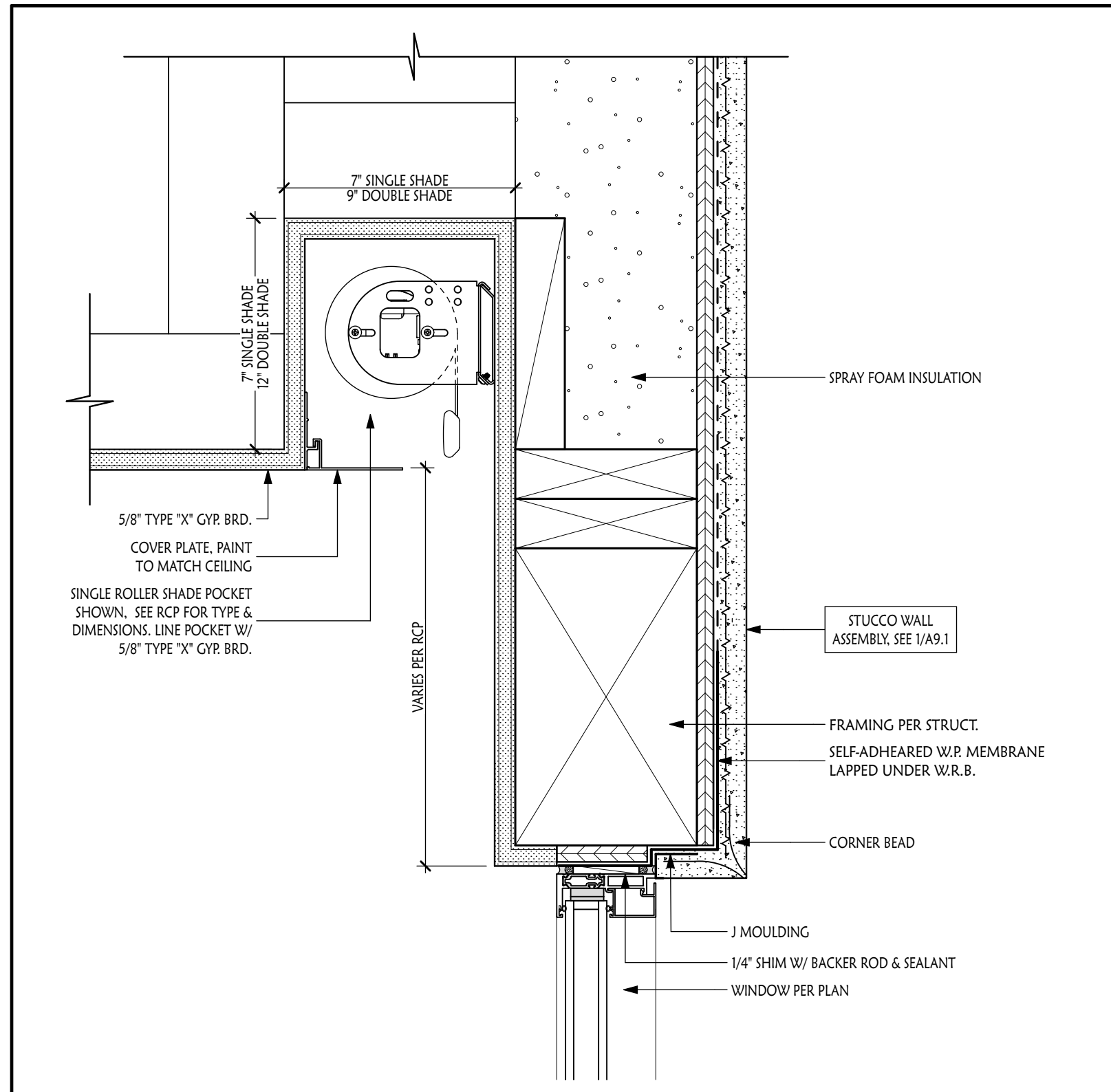
4 METAL ROOF ASSEMBLY 3' = 1'-0"



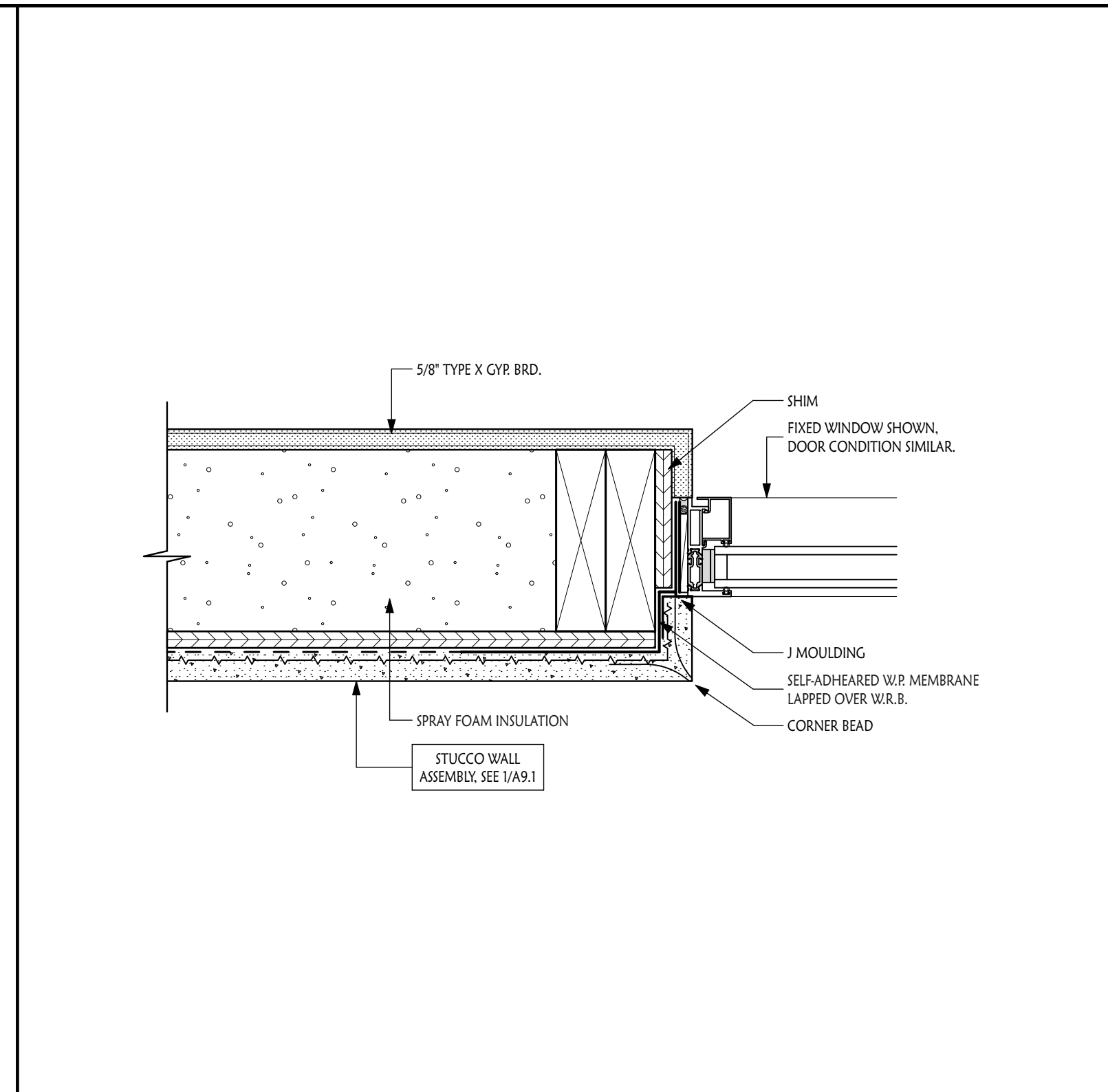
4 METAL ROOF ASSEMBLY 3' = 1'-0"



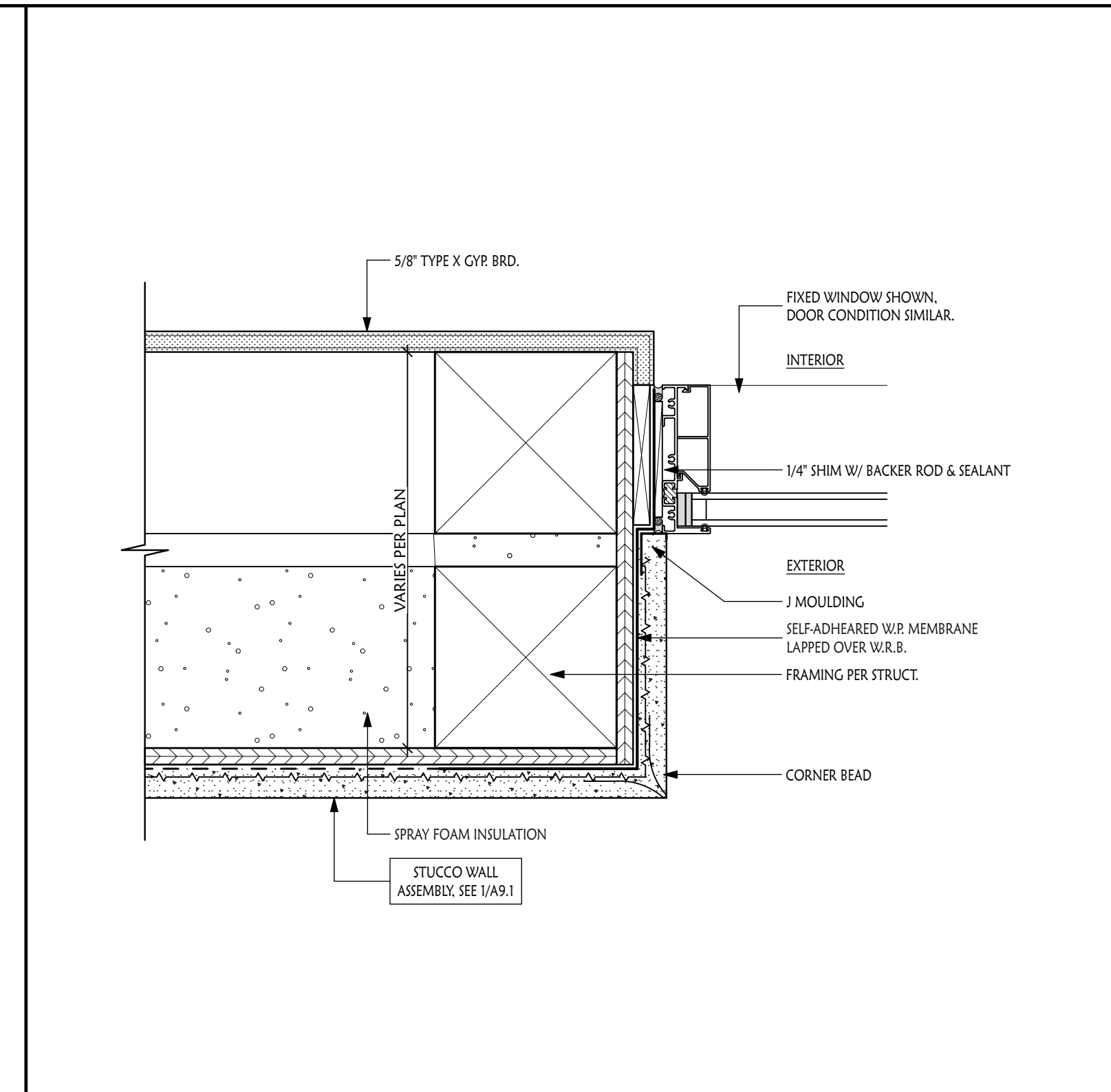
NO.	DESCRIPTION	DATE
1	SCHEMATIC	JULY 30, 2024
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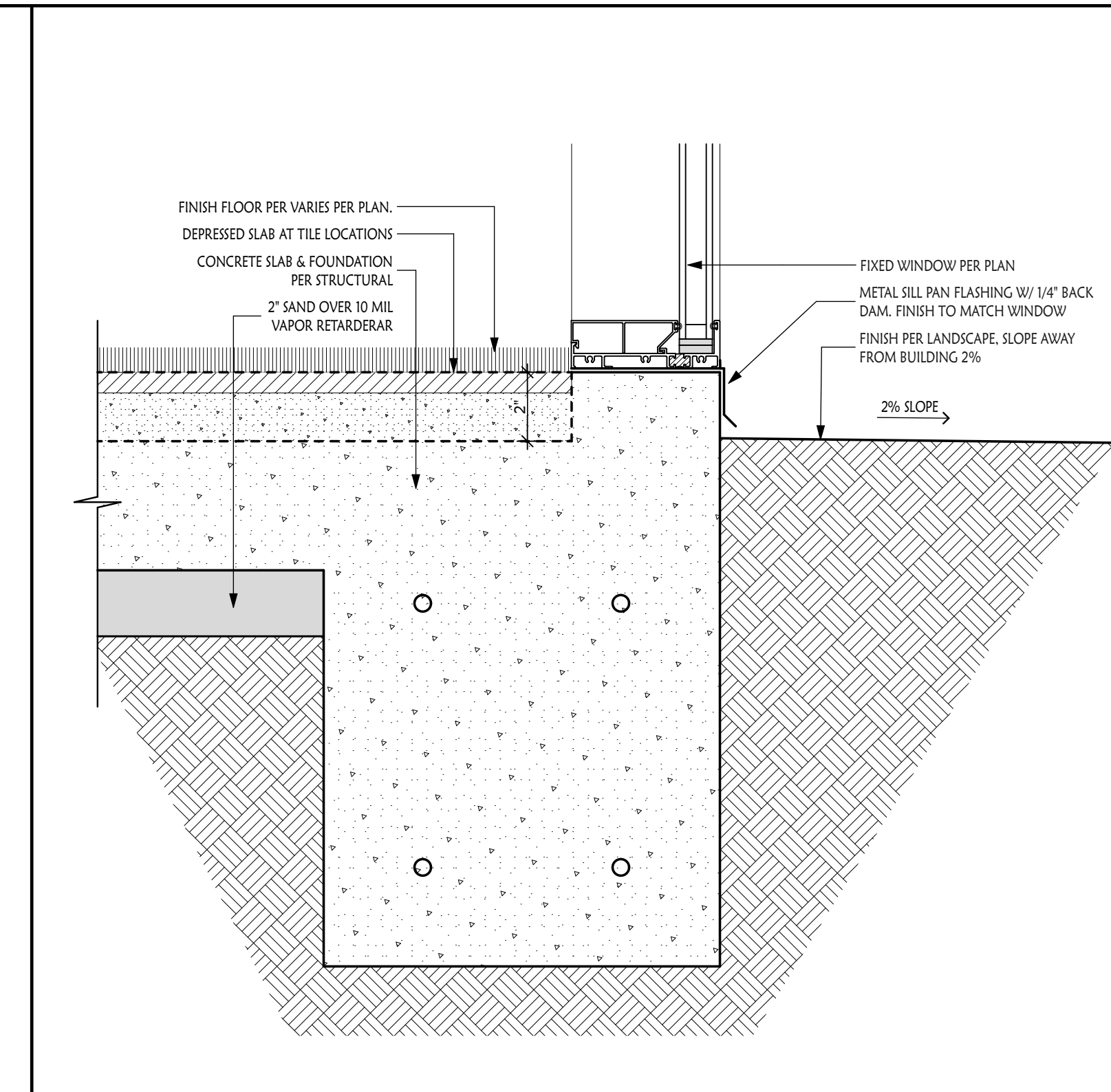
17 WINDOW HEAD AT STUCCO 3' = 1'-0"



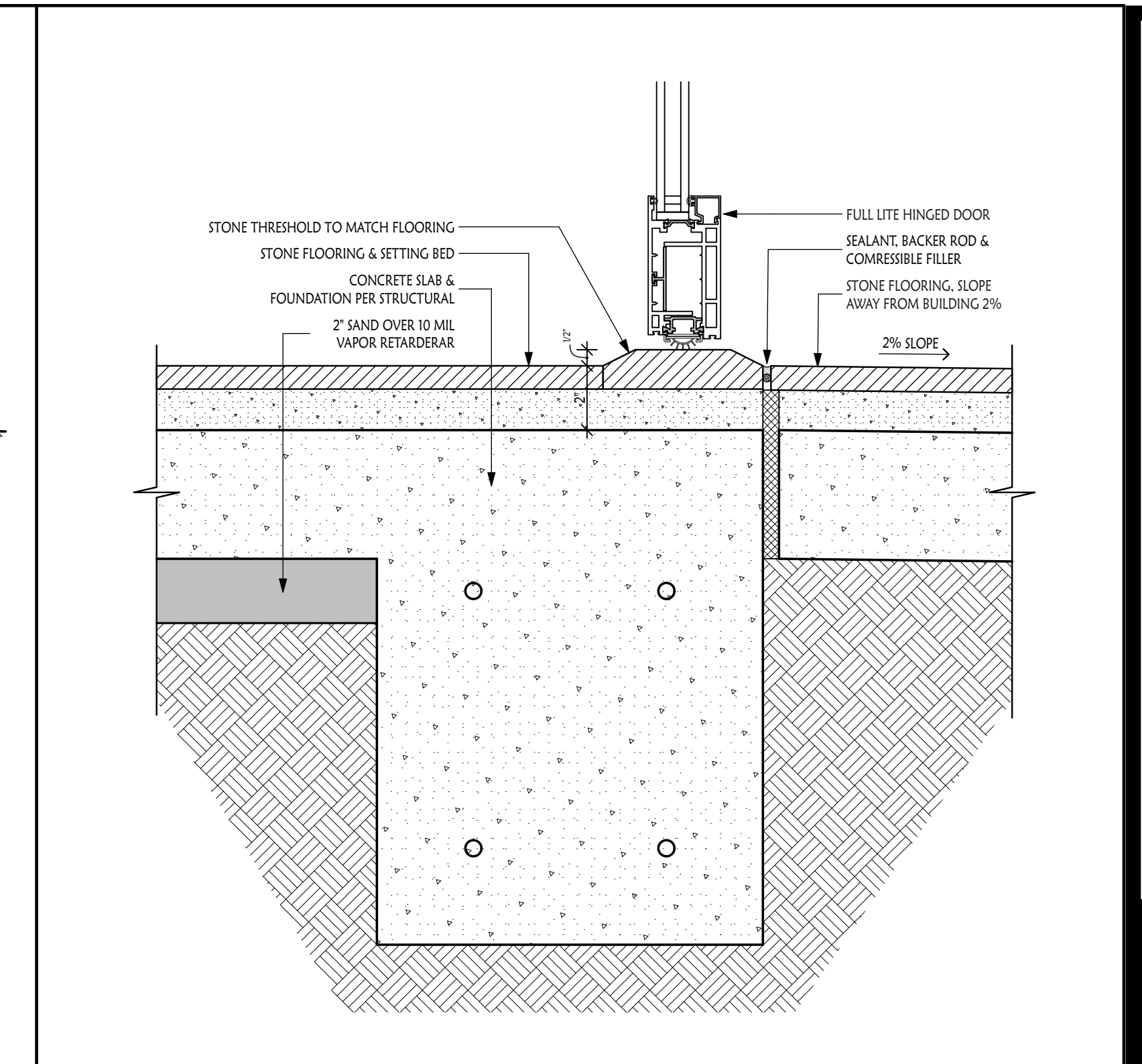
13 WINDOW JAMB AT STUCCO 3' = 1'-0"



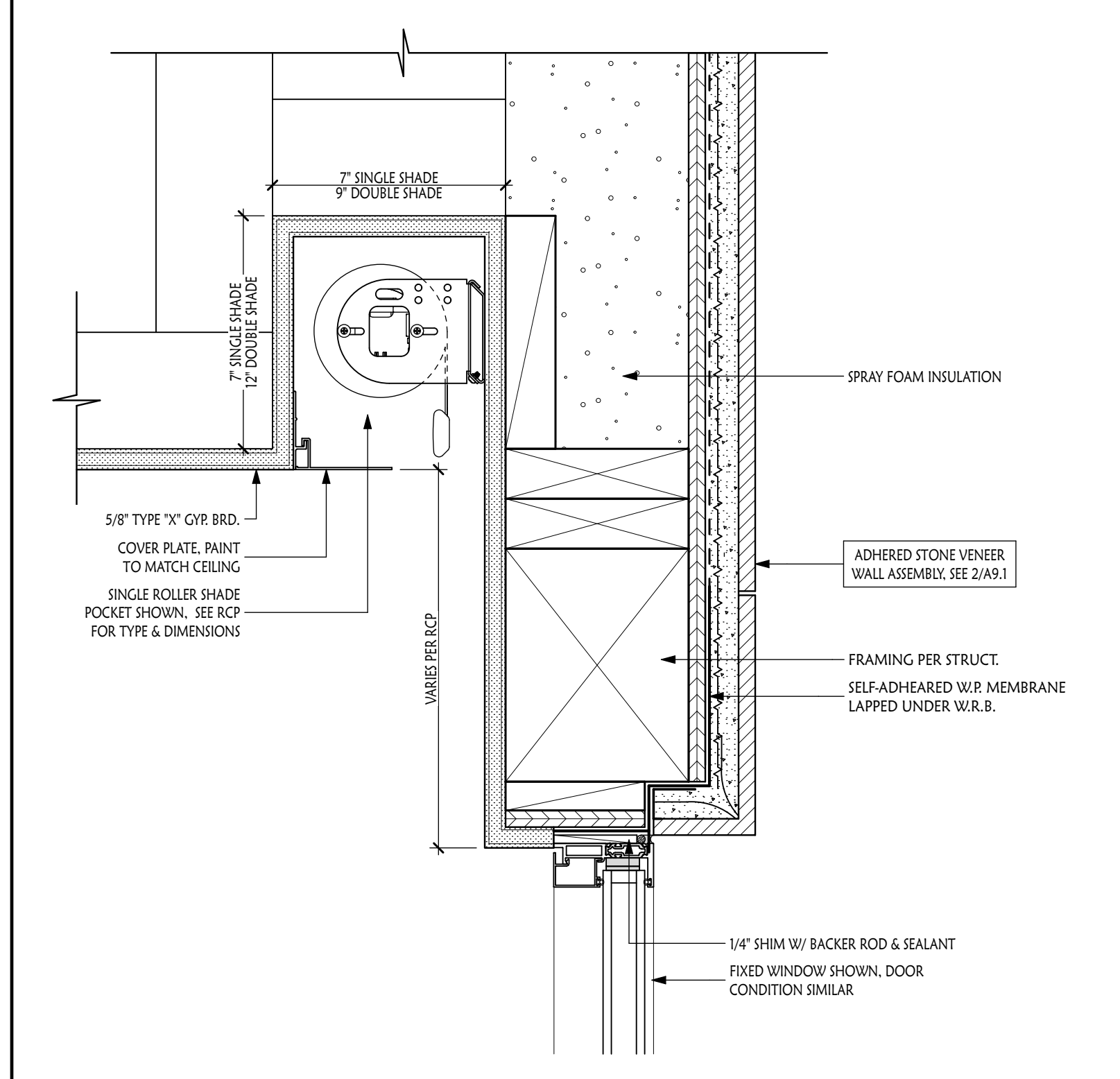
9 WINDOW JAMB AT STUCCO 3' = 1'-0"



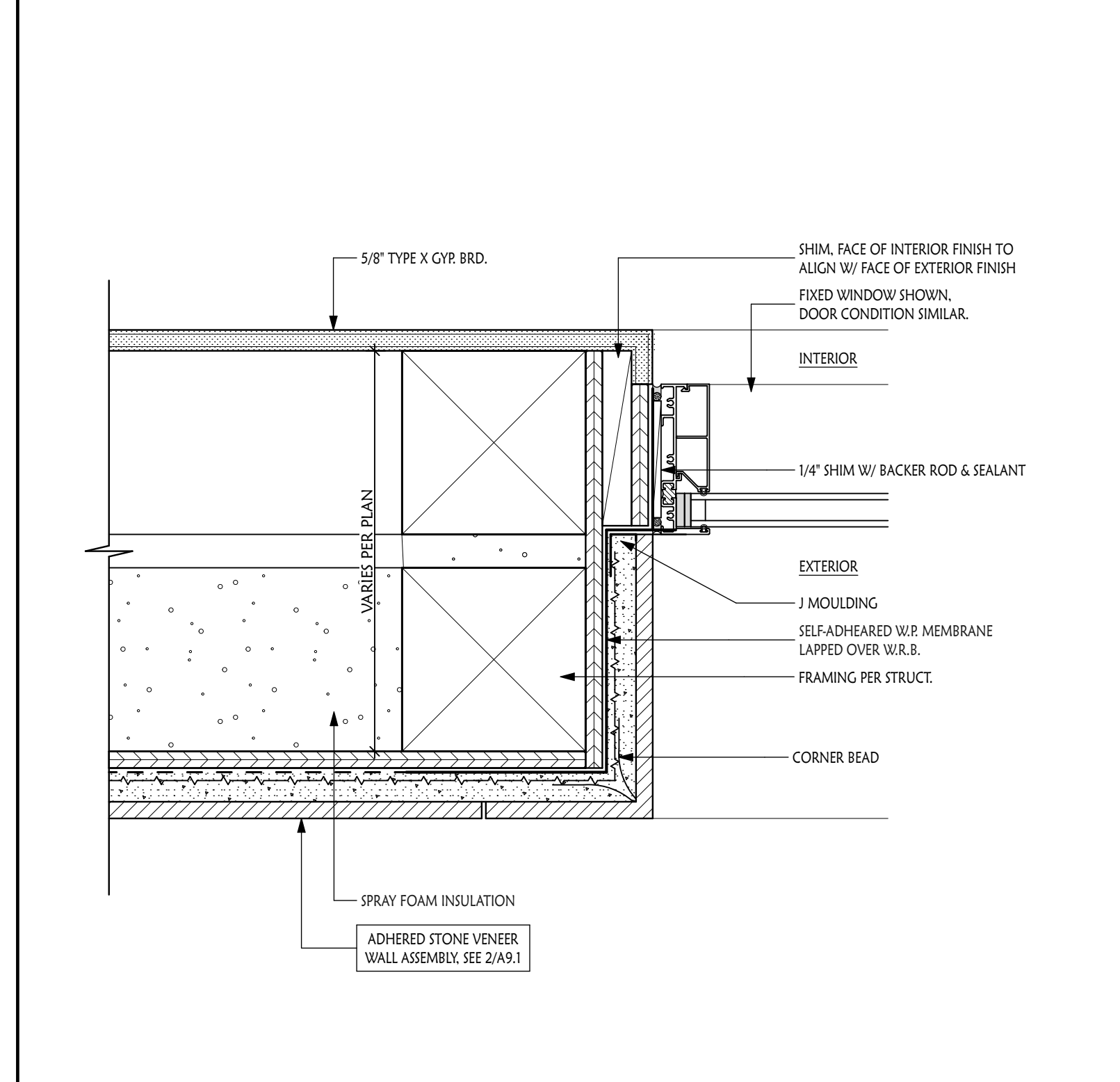
5 WINDOW SILL AT GRADE 3' = 1'-0"



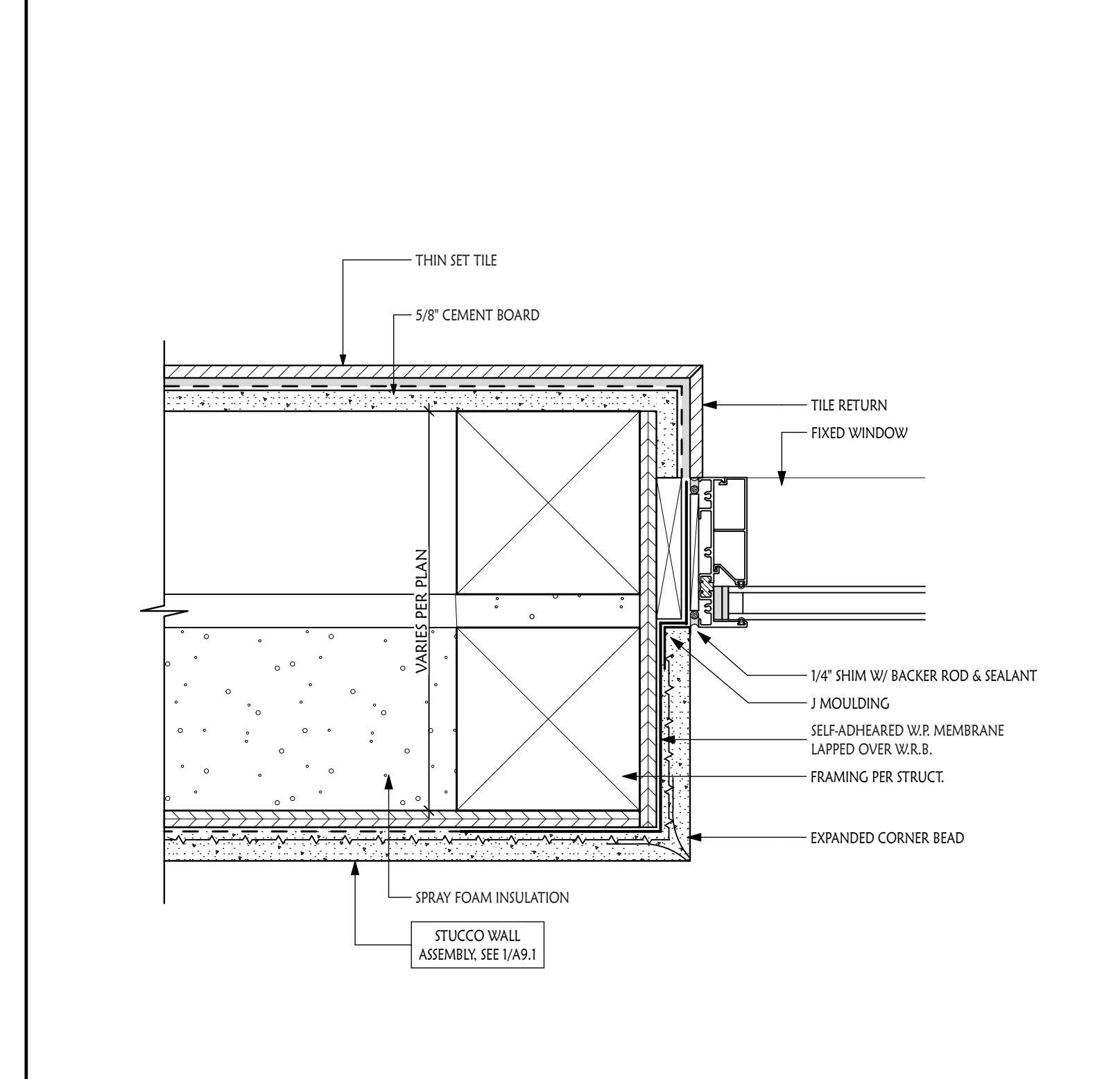
1 FULL LIGHT HINGED DOOR SILL 3' = 1'-0"



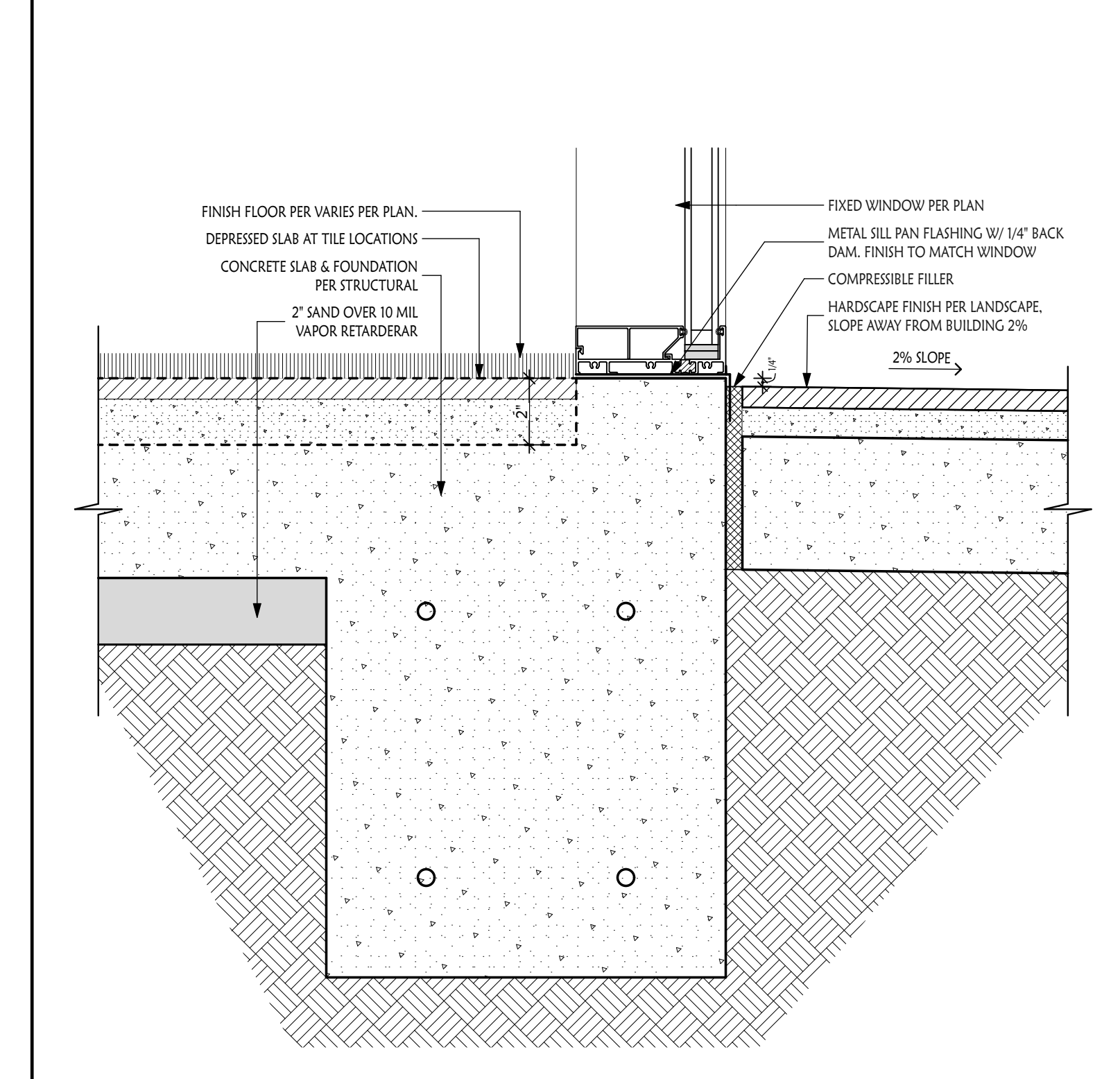
18 WINDOW HEAD AT ADHERED STONE 3' = 1'-0"



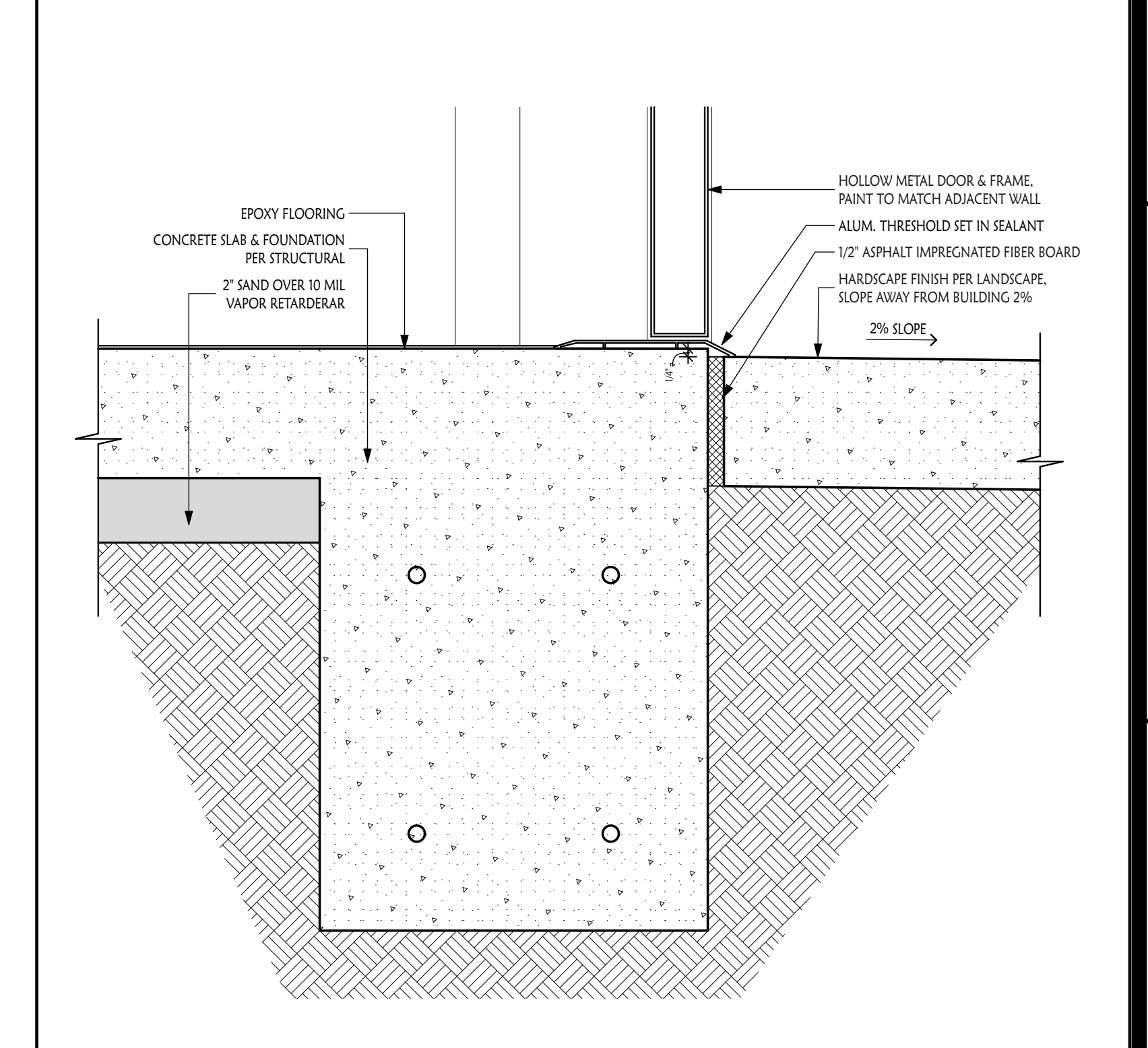
14 WINDOW JAMB AT ADHERED STONE VENEER 3' = 1'-0"



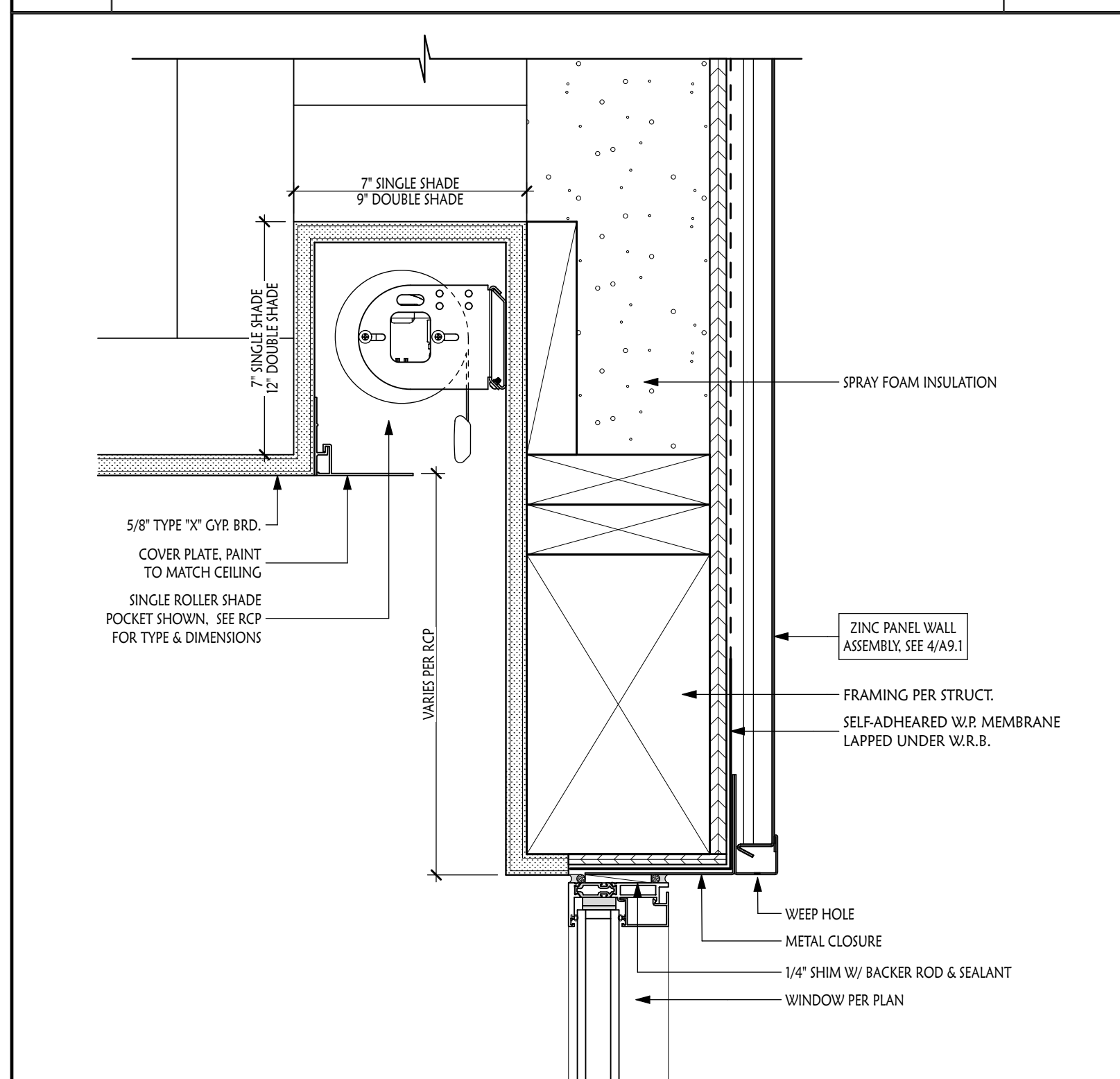
10 WINDOW JAMB AT STONE INTERIOR 3' = 1'-0"



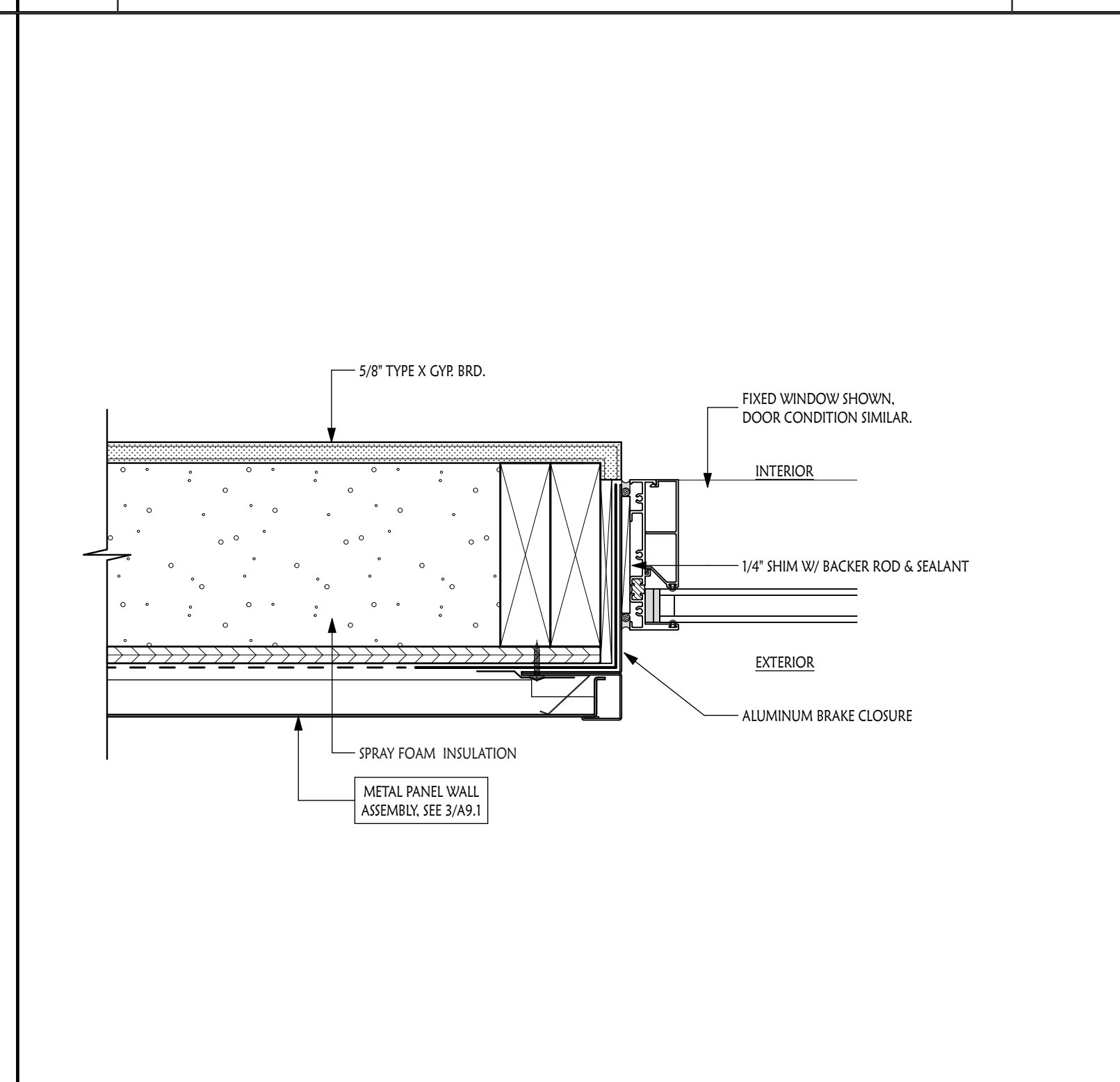
6 WINDOW SILL AT HARDSCAPE 3' = 1'-0"



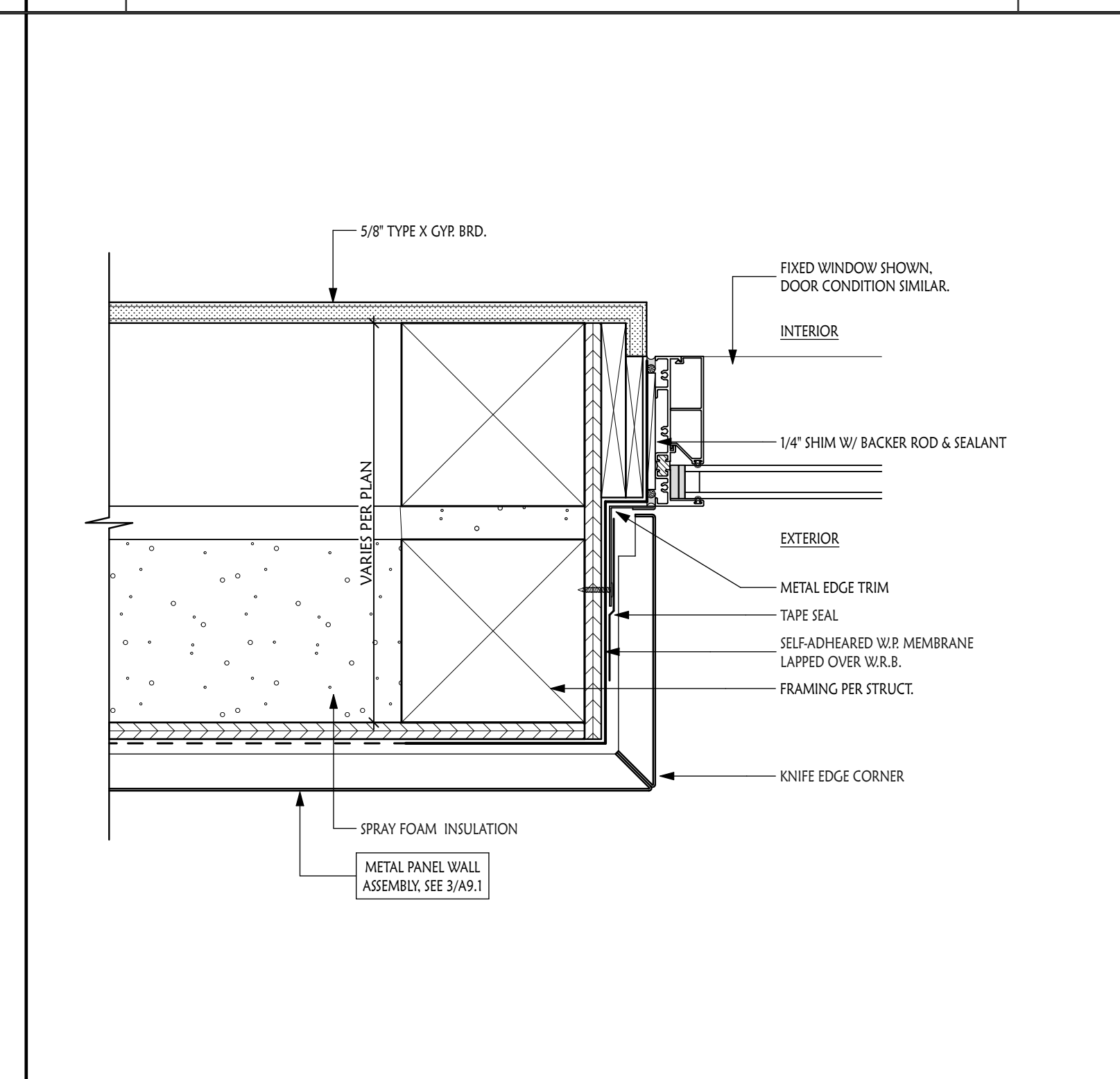
2 HOLLOW METAL DOOR SILL 3' = 1'-0"



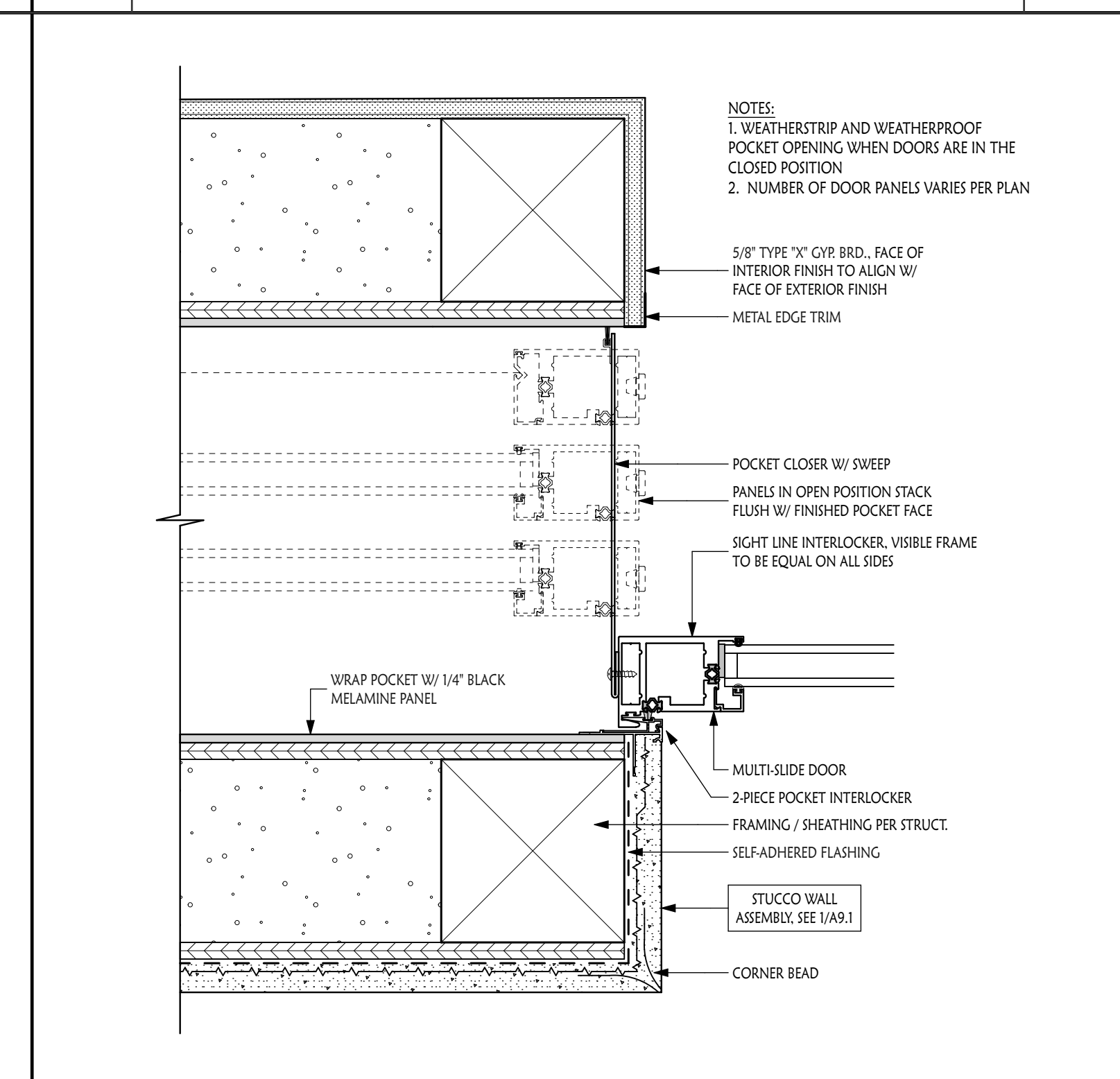
19 WINDOW HEAD AT METAL PANEL 3' = 1'-0"



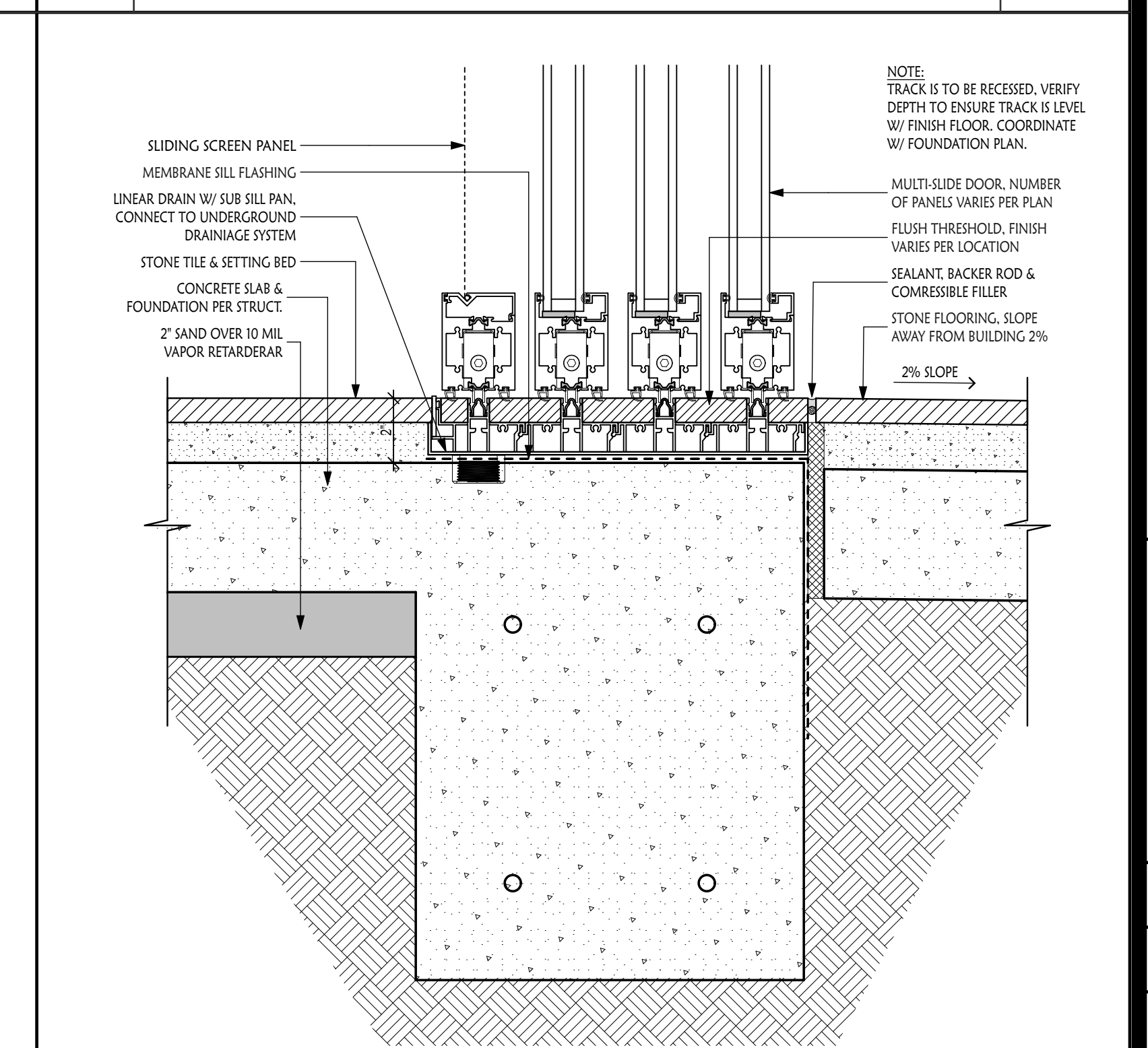
15 WINDOW JAMB AT METAL PANEL 3' = 1'-0"



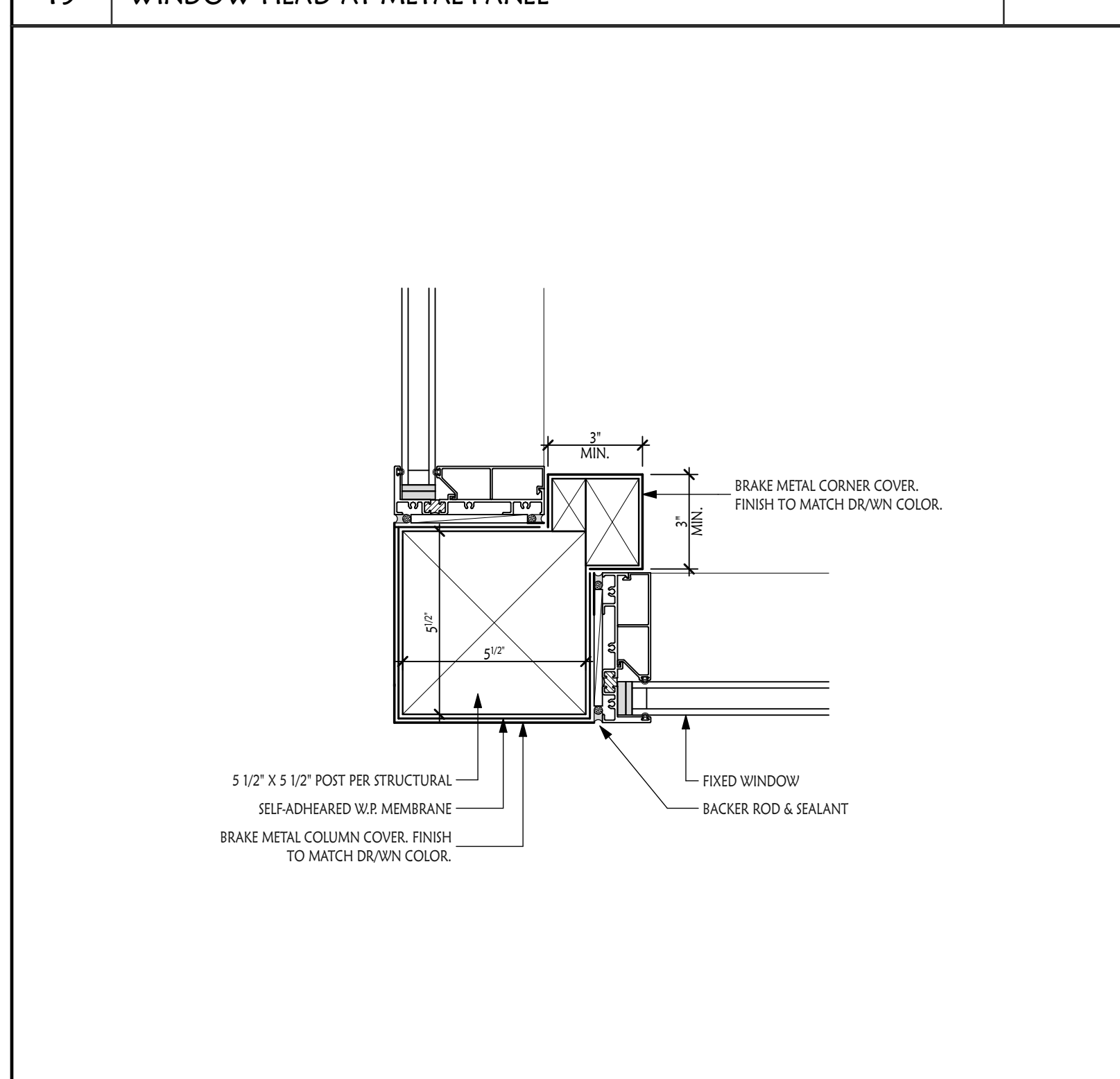
11 WINDOW JAMB AT METAL PANEL 3' = 1'-0"



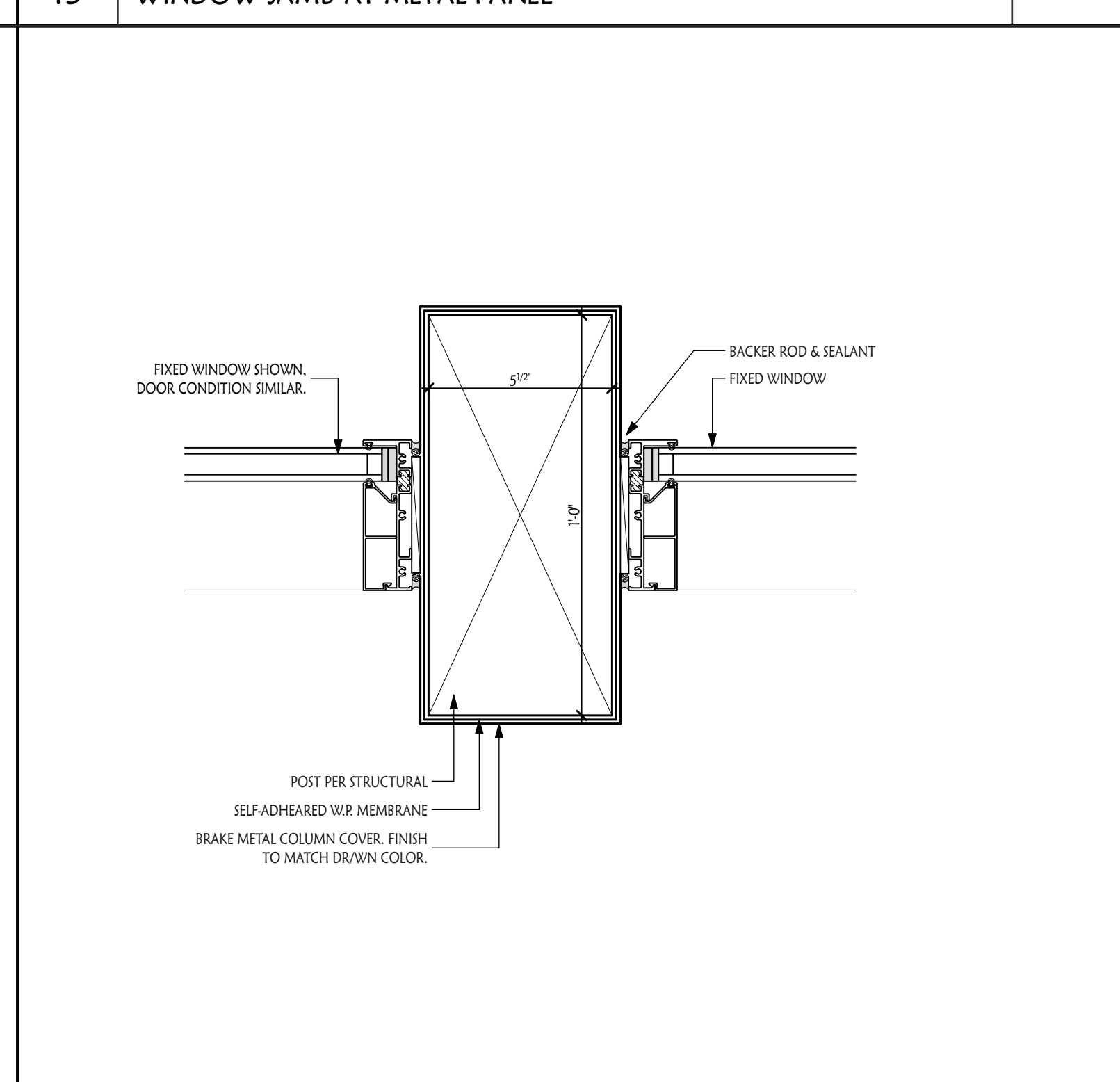
7 TYPICAL POCKET DOOR JAMB AT STUCCO 3' = 1'-0"



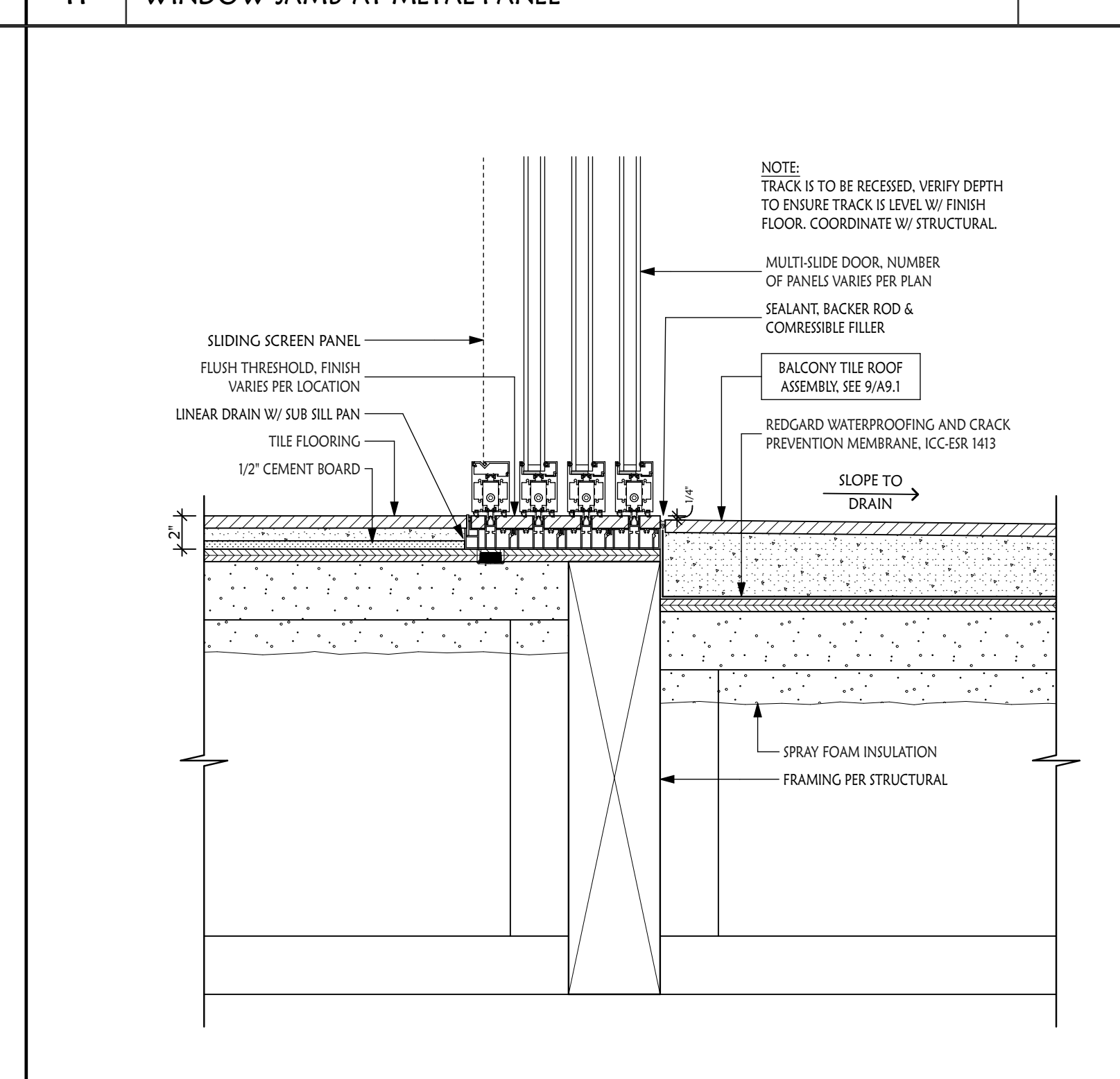
3 MULTI-SLIDE DOOR FLUSH SILL 3' = 1'-0"



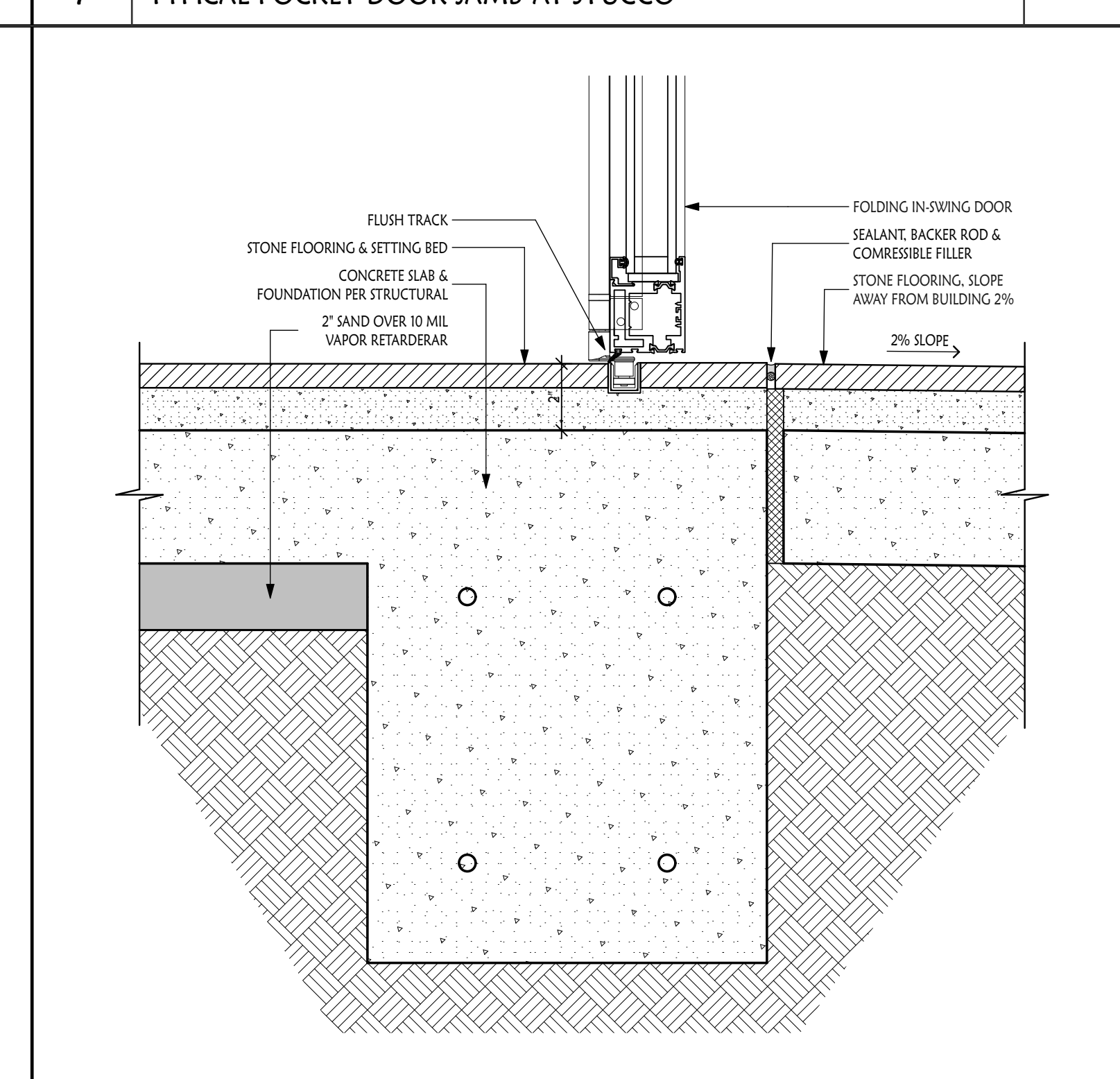
20 TRANSOM CORNER WINDOW 3' = 1'-0"



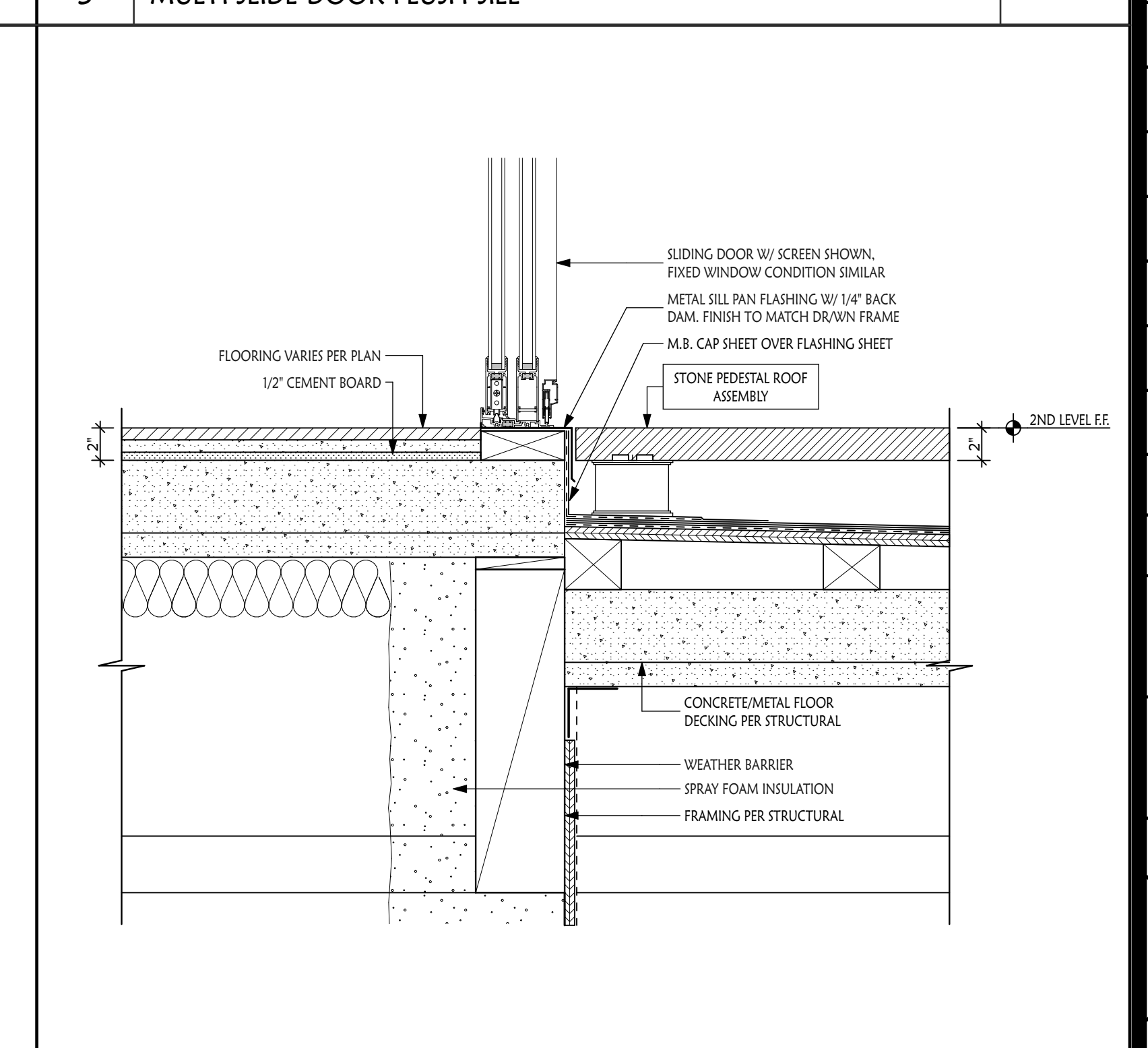
16 FIXED WINDOW AT POST 3' = 1'-0"



12 MULTI-DOOR SILL AT BALCONY 1 1/2\"/>



8 FOLDING IN-SWING DOOR SILL 3' = 1'-0"



4 SLIDING DOOR AT STONE PEDESTAL ROOF 1 1/2\"/>