

PLANNING COMMISSION CITY OF PALM DESERT MEETING AGENDA

Tuesday, July 8, 2025

6:00 p.m.

Council Chamber, City Hall

73-510 Fred Waring Drive

Palm Desert, California

Pursuant to Assembly Bill 2449, this meeting will be conducted as a hybrid meeting and there will be in-person access to this location.

- To participate via Zoom, use the following link: <https://palmdesert.zoom.us/j/84739707419> or call (213) 338-8477, Zoom Meeting ID: 847 3970 7419
- Written public comment may also be submitted to PlanningCommission@palmdesert.gov. E-mails received by 3:00 p.m. prior to the meeting will be distributed to the Commission. Any correspondence received during or after the meeting will be distributed to the Commission as soon as practicable and retained for the official record. **Emails will not be read aloud** except as an ADA accommodation.

Pages

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. ELECTION OF CHAIR PERSON AND VICE CHAIRPERSON FOR FISCAL YEAR 2025/2026
5. NONAGENDA PUBLIC COMMENTS

This time has been set aside for the public to address the Planning Commission on issues that are not on the agenda for up to three minutes. Speakers may utilize one of the three options listed on the first page of the agenda. Because the Brown Act does not allow the Planning Commission to act on items not listed on the agenda, members may briefly respond or refer the matter to staff for a report and recommendation at a future meeting.

6. CONSENT CALENDAR

All matters listed on the Consent Calendar are considered routine and may be approved by one motion. The public may comment on any items on the Consent Agenda within the three-minute time limit. Individual items may be removed by the Planning Commission for a separate discussion.

RECOMMENDATION:

To approve the consent calendar as presented.

6.a APPROVAL OF MINUTES

5

RECOMMENDATION:

Approve the Minutes of June 3, 2025

7. ACTION CALENDAR

The public may comment on individual Action Items within the three-minute time limit. Speakers may utilize one of the three options listed on the first page of the agenda.

None.

8. PUBLIC HEARINGS

Anyone who challenges any hearing matter in court may be limited to raising only those issues he or she raised at the public hearing described herein, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Remarks shall be limited to a maximum of three minutes unless the Planning Commission authorizes additional time.

8.a CONSIDERATION TO APPROVE A CONDITIONAL USE PERMIT (CUP25-0003) FOR THREE OUTDOOR DINING PATIO STRUCTURES AND ADOPT A NOTICE OF EXEMPTION PURSUANT TO CEQA FOR TWO EXISTING COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET

9

RECOMMENDATION:

Adopt Planning Commission Resolution No. 2892 entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, ADOPTING A NOTICE OF EXEMPTION PURSUANT TO THE STATE OF CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A CONDITIONAL USE PERMIT (CUP) FOR THREE OUTDOOR DINING PATIO STRUCTURES SERVING MULTIPLE RESTAURANTS AT TWO EXISTING MULTITENANT COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET"

8.b CONSIDER APPROVING REVISED PAD ELEVATIONS FOR THE PALM COMMUNITIES HOUSING PROJECT (PP22-0003/TPM 38366, AMENDMENT 1)

69

RECOMMENDATION:

Adopt Resolution No. 2893 entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, TO APPROVE AMENDMENT NO. 1 TO PP22-0003/TPM 38366. A REVISION TO AN APPROVED PAD ELEVATION FOR AN APPROVED MULTI-FAMILY AFFORDABLE HOUSING DEVELOPMENT PROJECT AT THE NORTHWEST CORNER OF GERALD FORD DRIVE AND THE EXTENSION OF TECHNOLOGY DRIVE (APN: 694120028)”

9. INFORMATIONAL REPORTS & COMMENTS

9.a SUMMARY OF CITY COUNCIL ACTIONS

9.b COMMITTEE MEETING UPDATES

9.b.1 Cultural Arts Committee

9.b.2 Parks and Recreation Committee

9.c PLANNING COMMISSIONERS

9.d CITY STAFF

9.e ATTENDANCE REPORT

87

10. ADJOURNMENT

The next Regular Meeting will be held on July 15, 2025, at 6:00 p.m.

11. **PUBLIC NOTICES**

Agenda Related Materials: Pursuant to Government Code §54957.5(b)(2) the designated office for inspection of records in connection with this meeting is the Office of the City Clerk, Palm Desert Civic Center, 73-510 Fred Waring Drive, Palm Desert. Staff reports for all agenda items considered in open session, and documents provided to a majority of the legislative bodies are available for public inspection at City Hall and on the City's website at www.palmdesert.gov.

Americans with Disabilities Act: It is the intention of the City of Palm Desert to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, or in meetings on a regular basis, you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the Office of the City Clerk, (760) 346-0611, at least 48 hours prior to the meeting to inform us of your needs and to determine if accommodation is feasible.

AFFIDAVIT OF POSTING

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda for the Planning Commission was posted on the City Hall bulletin board and City website not less than 72 hours prior to the meeting.

/S/ Michelle Nance
Senior Deputy Clerk

**PLANNING COMMISSION
CITY OF PALM DESERT
REGULAR MEETING MINUTES**

June 3, 2025, 6:00 p.m.

Present: Commissioner Nancy DeLuna, Commissioner John Greenwood,
Commissioner Alex Meyerhoff

Absent: Chair Ron Gregory, Vice Chair Lindsay Holt

Staff Present: Recording Secretary Monique Lomeli, Interim Deputy Director of
Development Services Carlos Flores, Assistant City Attorney
Daniel Trevino

1. CALL TO ORDER

A Regular Meeting of the Planning Commission was called to order by Commissioner Greenwood on Tuesday, June 3, 2025, at 6:00 p.m. in the Council Chamber, City Hall, located at 73-510 Fred Waring Drive, Palm Desert, California.

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

Commissioner Greenwood led the Pledge of Allegiance.

4. NON--AGENDA PUBLIC COMMENTS

None.

5. CONSENT CALENDAR

Motion by: Commissioner DeLuna

Seconded by: Commissioner Meyerhoff

To approve the consent calendar as presented.

Motion Carried (3 to 0)

5.a APPROVAL OF MINUTES

Motion by: Commissioner DeLuna

Seconded by: Commissioner Meyerhoff

Approve the Minutes of May 20, 2025.

Motion Carried

6. BUSINESS ITEMS

None.

7. PUBLIC HEARINGS

7.a CONSIDER APPROVING A CONDITIONAL USE PERMIT (CUP25-0003) FOR THREE OUTDOOR DINING PATIO STRUCTURES AND ADOPT A NOTICE OF EXEMPTION PURSUANT TO CEQA FOR TWO EXISTING COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET

Because Commissioner Greenwood was required to recuse himself due to a conflict of interest, resulting in a lack of quorum, Interim Deputy Director of Development Services Flores recommended that the item be continued to a date certain.

Motion by: Commissioner DeLuna

Seconded by: Commissioner Meyerhoff

To continue the item to June 17, 2025.

Motion Carried (3 to 0)

7.b CONSIDER APPROVING REVISED PAD ELEVATIONS FOR THE PALMS COMMUNITY HOUSING PROJECT (PP22-0003/TPM 38366, AMENDMENT 1)

Because Commissioner DeLuna was required to recuse herself due to a conflict of interest, resulting in a lack of quorum, Interim Deputy Director of Development Services Flores recommended that the item be continued to a date certain.

Motion by: Commissioner Greenwood

Seconded by: Commissioner Meyerhoff

To continue the item to June 17, 2025.

Motion Carried (3 to 0)

7.c CONSIDER A REQUEST TO ADOPT A NOTICE OF EXEMPTION AND APPROVE A 6-MONTH TIME EXTENSION FOR PRECISE PLAN/CONDITIONAL USE PERMIT 16-394, TO CONSTRUCT A 388-UNIT APARTMENT DEVELOPMENT ON THE SOUTH SIDE OF HOVLEY LANE EAST, FORMERLY KNOWN AS THE SANDS APARTMENTS

Interim Deputy Director of Development Services Flores narrated a PowerPoint presentation and responded to Commissioner's inquiries.

Commissioner Greenwood opened the public hearing.

Joy Brown, applicant, provided comments regarding the status of finalization of construction loans needed for groundbreaking.

June Engblom, Palm Desert resident, expressed concerns regarding the delays in project construction.

There being no others desiring to speak, Commissioner Greenwood closed the public hearing.

Motion by: Commissioner Meyerhoff

Seconded by: Commissioner DeLuna

Adopt Planning Commission Resolution No. 2894 entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, APPROVING A 6-MONTH TIME EXTENSION FOR PRECISE PLAN/ CONDITIONAL USE PERMIT/ ENVIRONMENTAL ASSESSMENT 16-394 UNTIL SEPTEMBER 19, 2025"

Motion Carried (3 to 0)

8. INFORMATIONAL REPORTS

8.a SUMMARY OF CITY COUNCIL ACTIONS

None.

8.b COMMITTEE MEETING UPDATES

8.b.1 Cultural Arts Committee

Recording Secretary Lomeli provided updates regarding the recent Cultural Arts Committee meeting.

8.b.2 Parks and Recreation Committee

Recording Secretary Lomeli provided updates regarding the recent Parks & Recreation Committee meeting.

8.c PLANNING COMMISSIONERS

None.

8.d CITY STAFF

None.

8.e ATTENDANCE REPORT

9. ADJOURNMENT

The Planning Commission adjourned at 6:20 p.m.

Respectfully submitted,

Monique Lomeli, Senior Deputy Clerk
Recording Secretary

Rosie Lua, Interim Director of Development Services
Staff Liaison

**CITY OF PALM DESERT
PLANNING COMMISSION
STAFF REPORT**

MEETING DATE: July 8, 2025

PREPARED BY: Kayleen Aguirre, Assistant Planner

SUBJECT: CONSIDERATION TO APPROVE A CONDITIONAL USE PERMIT (CUP25-0003) FOR THREE OUTDOOR DINING PATIO STRUCTURES AND ADOPT A NOTICE OF EXEMPTION PURSUANT TO CEQA FOR TWO EXISTING COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET

RECOMMENDATION:

Adopt Planning Commission Resolution No. 2892 entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, ADOPTING A NOTICE OF EXEMPTION PURSUANT TO THE STATE OF CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A CONDITIONAL USE PERMIT (CUP) FOR THREE OUTDOOR DINING PATIO STRUCTURES SERVING MULTIPLE RESTAURANTS AT TWO EXISTING MULTITENANT COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET"

EXECUTIVE SUMMARY:

Case No.: CUP25-0003

Related Case: Design Review 25-0003

Note: This project was initially presented at the June 3, 2025 Planning Commission meeting. Due to a lack of quorum, the item was continued to June 17, 2025. As a quorum was again not established at that meeting, the item was continued to July 1, 2025.

The project is a request by Prest Vuksic Greenwood Architects ("PVGA" or "Applicant") to construct three (3) individual patio shade structures, totaling 3,394 square feet ("Project"). The proposed structures will be built adjacent to two (2) multi-tenant commercial buildings at 36901 Cook Street and 36891 Cook Street, located on Assessor's Parcel Number ("APN") 694-190-049 and APN 694-190-050. The existing buildings are free-standing, each with an approximate gross floor area of 17,546 square feet and are part of the University Village commercial center at the southwest corner of Gerald Ford Drive and Cook Street.

The Project will replace existing temporary outdoor dining spaces for existing restaurants for permanent dining spaces, addressing current concerns from the Applicant related to noise, safety, lighting, aesthetics, and weather. The Project also includes new locations for exterior business signage and projecting signs within the outdoor dining areas. Palm Desert Municipal Code (PDMC) Section 24.34.100(A) requires a Conditional Use Permit (CUP) for any restaurant use that adds more than 12 seats. The total seating of these permanent outdoor dining areas

has not been determined. The project qualifies for exemption from CEQA under CEQA Guidelines Sections 15301 and 15303, as the use aligns with the zoning ordinance and consists of minor accessory structures.

Staff has reviewed the proposed Project and determined it is consistent with the applicable requirements of the Palm Desert Zoning Ordinance and consistent with the Palm Desert General Plan.

The Architectural Review Commission (ARC) of the City of Palm Desert considered the request and took the following action at its meeting of May 13, 2025:

Following discussion, Motion by Commissioner McAuliffe, second by Commissioner Latkovic, carried 6-0 (Chair Vuksic recused); ARC approved Case No. Design Review (DR) 25-0003, as presented with the following conditions:

1. The Applicant shall provide an updated University Village sign program to clarify the new building frontage sign locations and blade signs, consistent with DR25-0003 drawings. The updated sign program is to be approved by Staff.
2. Piping and conduit, which services the patio structures, shall be concealed.

BACKGROUND:

Project Location:

On September 22, 2005, Parcel Map 31515 was approved by City Council Resolution No. 05-74 establishing the project site, University Village commercial center, which spans approximately 20 acres. As part of the approval, the two (2) existing multi-tenant commercial buildings were designated for retail use and are situated at the northeast corner of the commercial center, each with an approximate gross floor area of 17,546 square feet. The 5.3-acre project site was later approved for subdivision under Tentative Parcel Map (TPM 35741) by the Planning Commission on January 15, 2008, dividing the land into two parcels of approximately 2.76 acres and 2.53 acres for each building.

Table 1 – Adjacent Land Use and Designations

	Existing Uses	General Plan	Zoning
Project Site	Multi-Tenant Retail Buildings with Restaurants and Services Uses	Neighborhood Center	Regional Commercial Center (PC-3)
North	Service Station with Convenience Store	Town Center Neighborhood	Regional Commercial Center (PC-3); Freeway Commercial Overlay Zone (FCOZ)
South	Vacant Land	Neighborhood Center	Regional Commercial Center (PC-3)
East	Vacant Land	Public Facility/ Institutional	Public Institution (P)
West	Multi-Tenant Office Buildings with Medical and Service Uses	Neighborhood Center	Regional Commercial Center (PC-3)

Project Description:

The Project proposes the construction of three (3) individual patio shade structures, totaling 3,394 square feet of gross area, to replace existing outdoor dining areas adjacent to two (2) multi-tenant commercial buildings (see Attachment 3 – Existing Site Photos). The structures will feature multiple overhead shade sails, creating enhanced outdoor patio spaces that will improve weather protection, mitigate noise, and improve the aesthetics for the businesses. The new patios will be built adjacent to two (2) multi-tenant commercial buildings located at 36901 Cook Street and 36891 Cook Street, within the University Village commercial center.

The project does not include interior or exterior modifications to the existing buildings, maintaining the current tenant spaces and site layout. However, the new patio areas will enhance pedestrian accessibility and create a more cohesive outdoor experience for customers, supporting the commercial center's walkability and mixed-use environment.

Site Plan

The project proposes the addition of three (3) new patio structures – identified as north, central, and south – aligned along the northeast periphery of the site. While these structures will extend partially into the parking lot, resulting in the removal of several parking spaces, the site will maintain overall vehicular circulation and access within the existing parking lot which serves the two (2) adjacent commercial buildings. Parking spaces being removed have already been eliminated by current outdoor seating areas (see Attachment 3 – Existing Photos). For a seamless transition between the parking, pedestrian pathways, and built vs. landscaped areas, the design incorporates a combination of new and existing planters, curbs, and paved walkways.

The patio structures are proposed at a maximum height of 17 feet and 3 inches. The north and central patio structures will have a width of 62 feet and 1/2 inch, each accommodating 48 seats. The south patio structure is designed with a width of 42 feet and 5/8 inch, accommodating 28 seats. Figure 2 provides a detailed breakdown of the designated seating arrangements for each restaurant space for layout clarity.

The total gross area of the proposed patio structures is 3,394 square feet, with a net usable area of 2,833 square feet and a landscaped coverage area of 37%. Individual structure areas are as follows:

- North Patio: 1,079 square feet
- Central Patio: 1,079 square feet
- South Patio: 622 square feet

Figure 1 – Site Plan

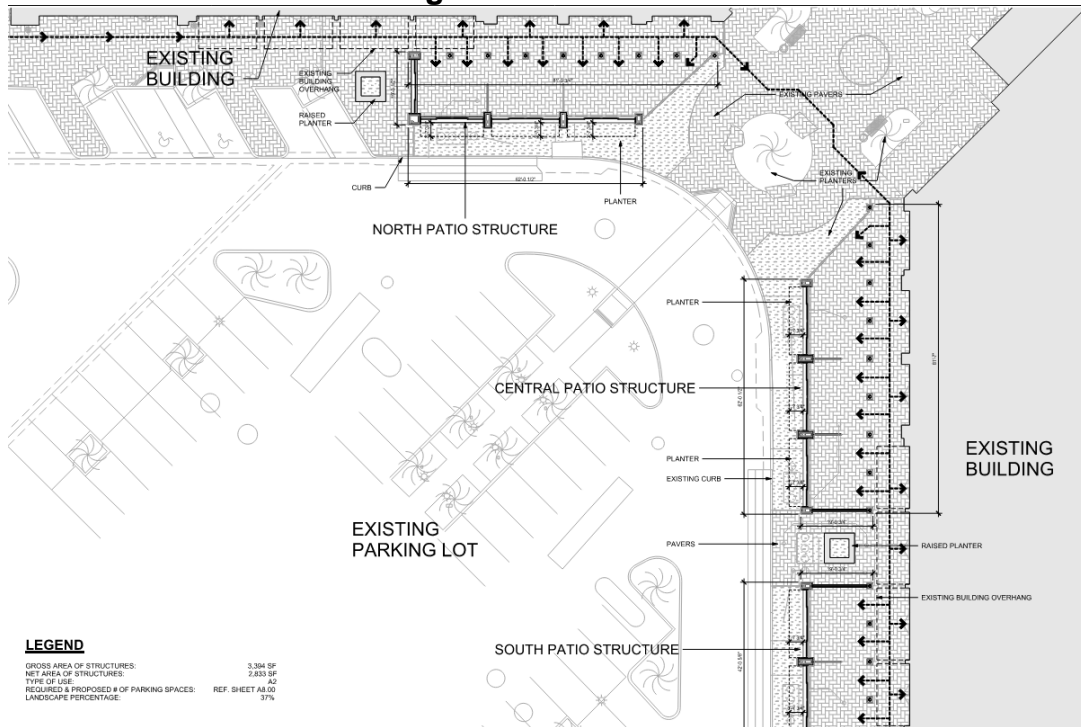


Figure 2 – Seating Plan



Architecture

Key architectural features are incorporated for functionality, aesthetics, and integration with the existing commercial buildings. Metal partition screens will seamlessly separate designated restaurant spaces, providing privacy while maintaining openness for the dining area. Each space will integrate ceiling fans and lighting, and windows facing the parking lot will mitigate noise and weather impacts while maintaining visibility. Columns will designate individual restaurant spaces, while railings along the open perimeters of the structures will enhance safety and define their boundaries.

The frontages of the patio structures will feature columns with stacked stone finishes to match the existing design of the buildings. Plaster walls will be painted in “Wishful White” and “Cocoa Powder”, aligning with the site’s established color palette. Metal awnings, finished in “Bark”, will provide additional shading and visual cohesion. Overhead canopies in various shades, including gray, tan, orange, and green, will contribute to the visually engaging experience for pedestrians and customers. For lighting, black wall sconces will be mounted on columns along the structures’ frontages, maintaining consistency with the lighting elements of the existing commercial buildings.

Figure 3 – Patio Structure Elevations

Central Patio

South Patio



North Patio

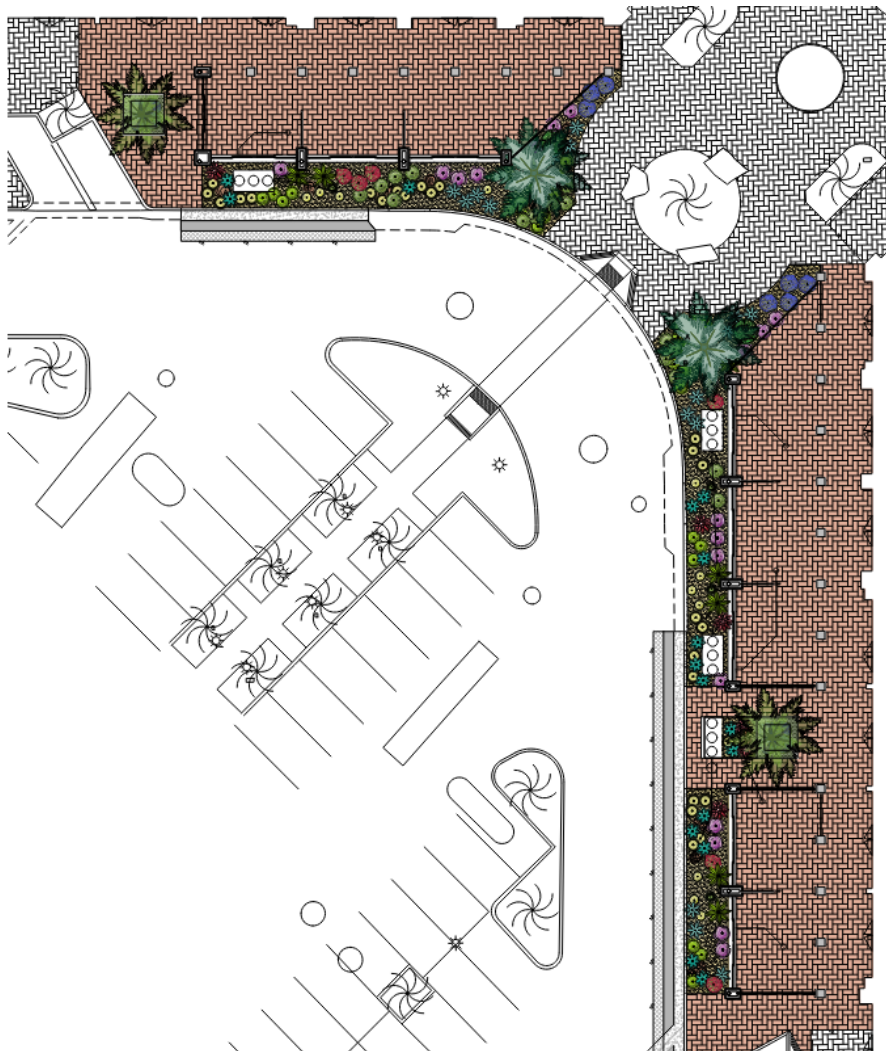


Landscaping

Outdoor areas for these open-air structures are designed to promote pedestrian activity and improved outdoor usability, featuring raised planters, brick pavers, and integrated landscaping elements that harmonize with the existing site design. To ensure a seamless transition between the built and landscaped areas, the Project will utilize a combination of new and existing planters, curbs, and paved walkways. The overall site will maintain a landscape coverage of 37 percent, reinforcing the project's commitment to a visually cohesive and pedestrian-friendly environment.

Further details, including the plant list and hardscape specifications, are provided in the attached plan set (Attachment 2).

Figure 4 – Landscaping Plan



ANALYSIS:

General Plan, Land Use, and Zoning:

The project site is designated Neighborhood Center per the General Plan Land Use Element. This designation is intended “to provide a concentration of commercial business and civic amenities within walking and biking distances of neighborhoods.” (Page 52, General Plan). It accommodates a variety of land uses, including service-oriented uses on ground floors. The proposed use aligns with this designation as part of a compact and walkable mixed-use environment, serving as a transition between neighborhoods and other districts.

The project is allowable within the Regional Commercial Center (PC-3) zoning designation, consistent with the General Plan land use designation. While restaurant uses require a Conditional Use Permit (CUP) per PDMC Section 25.16.030, Table 25.16-1, the expansion of existing outdoor seating beyond a 12-seat capacity also requires approval of a CUP per PDMC Section 25.34.100(A). The Palm Desert Planning Commission may grant a CUP in accordance with PDMC 25.72.050, subject to findings.

Parking:

The project complies with the required parking standards. The use must provide parking at a rate of eight (8) spaces per 1,000 square feet of gross floor area. With a 3,394-square-foot gross area, the proposed patio structures will require 27 on-site parking spaces.

The existing site contains 284 parking spaces, and the project will demolish five (5) spaces, resulting in 279 total proposed spaces. Given the 35,092 square feet of total building area, the current parking requirement for the existing businesses is 280 parking spaces (8 spaces per 1,000 square feet). However, since several personal service businesses within the buildings require only 4 spaces per 1,000 square feet, the proposed outdoor dining space may utilize the existing parking.

The parking study is included in the attached plan set (Attachment 2). The Planning Commission will consider the revised parking ratio upon consideration of the CUP.

Signage:

The project includes new locations for exterior business signage, ensuring tenant visibility and compatibility with the proposed patio structures. Additionally, blade signs will be introduced within the outdoor dining areas, providing directional guidance and replacing the existing exterior identification signs so that restaurant businesses have only a single building-mounted wall sign for the parking lot frontage – in line with PDMC requirement listed in Table 25.56-2: Signs Allowed in Commercial and Industrial Zoning Districts.

The Applicant will provide an updated University Village sign program to clarify the new building frontage sign locations and blade signs, consistent with DR25-0003 renderings in the attached plan set. Staff is recommending the updated sign program be approved by Staff.

Environment Assessment/Environmental Review:

Environmental Assessment can be found in draft Resolution No. 2892 (Attachment 1).

Findings of Approval

Findings of Approval can be found in draft Resolution No. 2892 (Attachment 1).

PUBLIC NOTIFICATION:

Public noticing was conducted for this Planning Commission meeting per the requirements of Palm Desert Municipal Code (PDMC). A public hearing notice was published a minimum of 10 days before the hearing date on Friday, May 23, 2025, in The Desert Sun newspaper. Notices were mailed to all property owners within 300 feet of the project site. No comments have been received to date.

ATTACHMENTS:

1. Resolution No. 2892
2. Plan Set
3. Existing Site Photos
4. Public Hearing Notice
5. ARC Notice of Action

PLANNING COMMISSION RESOLUTION NO. 2892

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, ADOPTING A NOTICE OF EXEMPTION PURSUANT TO THE STATE OF CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A CONDITIONAL USE PERMIT (CUP) FOR THREE OUTDOOR DINING PATIO STRUCTURES SERVING MULTIPLE RESTAURANTS AT TWO EXISTING MULTITENANT COMMERCIAL BUILDINGS LOCATED AT 36901 COOK STREET AND 36891 COOK STREET
CASE NO. CUP25-0003

WHEREAS, Prest Vuksic Greenwood Architects ("Applicant"), submitted a CUP application to construct three outdoor patio structures for dining purposes at existing restaurants located within two multi-tenant commercial buildings at 36901 Cook Street and 36891 Cook Street (APN 694-190-049 and APN 694-190-050) within the University Village commercial center ("Project"); and

WHEREAS, the Project site is currently within the Regional Commercial Center (PC-3) zoning district, and is designated Neighborhood Center by the Palm Desert General Plan; and

WHEREAS, the proposed Project conforms to the General Plan land use designation of Neighborhood Center and development standards listed in the City's Zoning Ordinance for the PC-3 zoning district; and

WHEREAS, under Section 21067 of the Public Resources Code, Section 15367 of the State CEQA Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), and the City of Palm Desert's ("City's") Local CEQA Guidelines, the City is the lead agency for the Project; and

WHEREAS, the Project has complied with the requirements of the "2024 Local Guidelines for Implementing the California Environmental Quality Act for the City Palm Desert" Resolution No. 2024-035, in that the Director of Development Services has determined that the Project will not have a foreseeable significant impact on the environment and that the Project is eligible for an exemption pursuant to Article 19, Section 15301 Existing Facilities (Class 1) and Section 15303 New Construction or Conversion; therefore, no further environmental review is necessary at this time; and

WHEREAS, the Architectural Review Commission of the City of Palm Desert, California, did on the 13th day of May 2025, provide Design Review approval of said project, subject to conditions of approval which have been included in this Resolution; and

WHEREAS, the Planning Commission of the City of Palm Desert, California, did on the 3rd day of June 2025, hold a duly noticed public hearing to consider the request by the Applicant for approval of the above-noted Project request and the project was continued until the 17th day of June 2025; and

WHEREAS, the Planning Commission of the City of Palm Desert, California, did on the 17th day of June 2025, hold a duly noticed public hearing to consider the request by the Applicant for approval of the above-noted Project request and the project was continued until the 8th day of July 2025; and

PLANNING COMMISSION RESOLUTION NO. 2892

WHEREAS, the Planning Commission of the City of Palm Desert, California, did on the 8th day of July 2025, hold a duly noticed public hearing to consider the request by the Applicant for approval of the above-noted Project request; and

WHEREAS, at the said public hearing, upon hearing and considering all testimony and arguments, if any, of all interested persons desiring to be heard, the Planning Commission did find the following facts and reasons, which are outlined in the staff report, exist to justify approval of said request:

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Palm Desert, California, as follows:

SECTION 1. Recitals. The Planning Commission hereby finds that the foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

SECTION 2. Findings on Conditional Use Permit. Under PDMC Section 25.72.050(F), the findings for the CUP are the following:

1. The proposed location of the conditional use is in accord with the objectives of this title and the purpose of the district in which the site is located.

Project Compliance: Yes. Restaurants are permitted subject to a Conditional Use Permit (CUP) in many zoning districts within the City, and expansion of existing outdoor seating beyond a 12-seat capacity requires approval of a CUP. The proposed location is in the Regional Commercial Center (PC-3) zone and previously had a Freeway Commercial Overlay Zone (FCOZ). Professional offices and mixed-commercial, including restaurants, are the predominant uses in the existing area, and the Project is a continued operation of existing restaurants. The proposed location is based on the objectives of the Zoning Ordinance and the purpose of the district in which the site is located. The services conducted at the proposed site are compatible with the adjacent business hours and would have minimal impacts on parking.

2. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity.

Project Compliance: Yes. The outdoor dining for restaurant use complies with all applicable requirements of the Zoning Ordinance and all applicable building codes and will not be detrimental to general public health, safety, and welfare or materially injurious to the properties in the vicinity. Water, sanitation, public utilities, and services are constructed and readily available for the building.

3. The proposed conditional use will comply with each of the applicable provisions of this title, except for approved variances or adjustments.

Project Compliance: Yes. The Project site is developed, and the proposed use is consistent with the intent of the underlying zoning and General Plan designations.

PLANNING COMMISSION RESOLUTION NO. 2892

The facility would not interfere with business operations or generate parking deficiencies. Conditions have been placed on the Project to ensure that all the minimum requirements comply with the Palm Desert Municipal Code.

4. The proposed conditional use complies with the goals, objectives, and policies of the City's General Plan

Project Compliance: Yes. The proposed restaurant use is an outdoor dining expansion of existing restaurants and complies with the City's General Plan in providing for a mixture of pedestrian-oriented commercial uses. The General Plan designation for the project location is "Neighborhood Center," which asks for both a wide variety of commercial uses as a transitional district and walkable amenities for neighboring residents. The Project complies with General Plan Policy 3.14 – Access to daily activity, by providing restaurant uses; Policy 3.22 – University Neighborhood, by facilitating the development of a University oriented neighborhood west of Cook Street, north of Frank Sinatra Street, and east of Portola Avenue; and Policy 2.3 – Noise from entertainment uses, by placing conditions to ensure the restaurant is operated in a manageable manner. Specifically, the following General Plan Goals and policies are being met:

SECTION 3. CEQA. The application has complied with the requirements of the "2024 Local Guidelines for Implementing the California Environmental Quality Act for the City Palm Desert" Resolution No. 2024-035, in that the Planning Commission finds that the Project is exempt from CEQA pursuant to Section 15301 Existing Facilities ("Class 1") and Section 15303 New Construction or Conversion of Small Structures of the State CEQA guidelines ("Class 3").

Class 1 Categorical Exemptions apply to projects that consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. Examples of these types of projects include interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances. The project qualifies for the Class 1 Categorical Exemption as it proposes external modifications to two (2) existing structures with an approximate gross floor area of 17,546 square feet each. These modifications include structural additions to serve primarily as an accessory use for outdoor dining of the existing restaurants.

Class 3 Categorical Exemptions apply to the installation of small new equipment or small structures and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. An example of the exemption includes, in urbanized areas, "accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences" on "sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and where the surrounding area is not environmentally sensitive." The project qualifies for a Class 3 Categorical Exemption as it proposes 3,394 square feet of accessory patio structures for existing restaurants.

Additionally, the Project is not subject to any of the exceptions for categorical exemptions identified in CEQA Guidelines Section 15300.2:

PLANNING COMMISSION RESOLUTION NO. 2892

- 1) The Project qualifies as a Class 1 exemption, which is not listed as one of the classes under 15300.2 (A). The Project site is an existing building located within an existing urban area that has been developed for several years. This site has not been identified as an area of critical concern officially adopted pursuant to federal, state or local agencies. There is no potential that the project may impact a designated environmental resource of hazard or critical concern.
- 2) There is no substantial evidence on the record that the Project would create a cumulative impact. There are no known projects proposing similar uses in the immediate Project vicinity. Therefore, it is not anticipated that any successive projects of the same type in the immediate vicinity would create cumulative impacts.
- 3) No unusual circumstances exist for the proposed Project, Project site or immediate vicinity. The project is not proposing a new use for the existing commercial buildings. Further, it will incorporate tested design features to increase safety of the current outdoor dining situation and will minimize noise, weather impacts, and other potential concerns. Therefore, no fair argument or substantial evidence exists to suggest the Project would create a significant impact, nor can it be reasonably perceived that the Project would create a significant impact.
- 4) The project is not proposed near any designated scenic highways. Therefore, the project will not create a significant impact on existing scenic highways.
- 5) According to the Department of Toxic Substance Control's database of hazardous waste site, EnviroStor, neither the project site nor any properties in the vicinity have been identified as a hazardous waste site. Therefore, the project site does not create a significant impact due to the location of hazardous waste sites.
- 6) The project site has not been identified as a historic resource by local or state agencies, nor has the project site not been determined to be eligible for listing in the National Register of Historic Places or California Register of Historical Resources. Therefore, the Project would not adversely affect historic resources on the Project Site or in the vicinity.

SECTION 4. Project Approval. The Planning Commission hereby recommends approval of CUP25-0003.

SECTION 5. Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings are based are located at the City's office at 73510 Fred Waring Drive, Palm Desert, CA 92260. Rosie Lua, the Secretary to the Palm Desert Planning Commission, is the custodian of the record of proceedings.

SECTION 6. Execution of Resolution. The Chairperson of the Planning Commission signs this Resolution, and the Secretary to the Commission shall attest and certify to the passage and adoption thereof.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Palm Desert, California, as follows:

PLANNING COMMISSION RESOLUTION NO. 2892

1. That the above recitations are true and correct and constitute the findings for approval of the Planning Commission in this case.
2. That the Planning Commission does hereby approve Case No. CUP25-0003, pursuant to the conditions of approval in Exhibit A and the statement of use in Exhibit B.

ADOPTED ON July 8, 2025.

LINDSAY HOLT
CHAIRPERSON

ATTEST:

ROSIE LUA
SECRETARY

I, Rosie Lua, Secretary of the City of Palm Desert Planning Commission, hereby certify that Resolution No. 2892 is a full, true, and correct copy, and was duly adopted at a regular meeting of the Planning Commission of the City of Palm Desert on July 8, 2025, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:
RECUSED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Palm Desert, California, on July ____, 2025.

ROSIE LUA
SECRETARY

EXHIBIT A

**CONDITIONS OF APPROVAL
CASE NO. CUP25-0003**

PLANNING DIVISION:

1. The development of the property shall conform substantially with the approved plans and exhibits on file with the Development Services Department, except as modified by the following conditions. Any variation from the approved plans must be reviewed and approved by the Planning Division prior to building permit issuance and may require review and approval by the ARC, Planning Commission, and/or City Council.
2. The Applicant agrees that in the event of any administrative, legal, or equitable action instituted by a third party challenging the validity of any of the procedures leading to the adoption of these Project Approvals for the Project, or the Project Approvals themselves, the Developer and City each shall have the right, in their sole discretion, to elect whether or not to defend such action. The Developer, at its sole expense, shall defend, indemnify, and hold harmless the City (including its agents, officers, and employees) from any such action, claim, or proceeding with counsel chosen by the City, subject to the Developer's approval of counsel, which shall not be unreasonably denied, and at the Developer's sole expense. If the City is aware of such an action or proceeding, it shall promptly notify the Developer and cooperate in the defense. The Developer, upon such notification, shall deposit with City sufficient funds in the judgment of the City Finance Director to cover the expense of defending such action without any offset or claim against said deposit to assure that the City expends no City funds. If both Parties elect to defend, the Parties hereby agree to affirmatively cooperate in defending said action and to execute a joint defense and confidentiality agreement in order to share and protect the information under the joint defense privilege recognized under applicable law. As part of the cooperation in defending an action, City and Developer shall coordinate their defense in order to make the most efficient use of legal counsel and to share and protect information. Developer and City shall each have sole discretion to terminate its defense at any time. The City shall not settle any third-party litigation of Project approvals without the Developer's consent, which consent shall not be unreasonably withheld, conditioned, or delayed unless the Developer materially breaches this indemnification requirement.
3. The development of the property described herein shall be subject to the restrictions and limitations set forth herein, which are in addition to the approved development standards listed in the Palm Desert Municipal Code (PDMC), and state and federal statutes now in force, or which hereafter may be in force.
4. The CUP shall expire if construction of the said Project shall not commence within 24 months from the date of final approval unless an extension of time is granted by the Palm Desert Planning Commission; otherwise, said approval shall become null, void, and of no effect whatsoever.
5. All construction documentation shall be coordinated for consistency, including, but not limited to, architectural, structural, mechanical, electrical, plumbing, landscape and irrigation, grading, and street improvement plans. All such plans shall be consistent with the approved entitlement plans on file with the Development Services Department.

PLANNING COMMISSION RESOLUTION NO. 2892

6. The approved CUP shall only be modified with written City approval per PDMC Chapter 25.72.050. Any proposed changes to this CUP will require an amendment to the application, which may require review and approval by the ARC, Planning Commission, and/or City Council.
7. This approval authorizes the operation of three (3) individual patio shade structures, totaling 3,394 square feet of gross area, with a net usable area of 2,833 square feet, to be constructed adjacent to two (2) multi-tenant commercial buildings at 36901 Cook Street and 36891 Cook Street. Plans on file reflect revisions to the parking area, landscaping, and architectural designs associated with the proposed structures. The patios are designated with the following net usable areas:
 - North Patio: 1,079 square feet
 - Central Patio: 1,079 square feet
 - South Patio: 622 square feet
8. The use shall operate as an extension of the adjoining restaurant spaces, in accordance with the approved Statement of Use on file with the Development Services Department (attached as Exhibit B). Any modifications to the restaurant spaces—including changes in use, square footage adjustments, operational modifications, or alterations to hours of operation—shall require review and approval by the Zoning Administrator, with potential modifications to the approved conditions and seating plan.
9. Use of the facility outside of approved operating hours is prohibited, except for routine maintenance, cleaning, and deliveries. Any other after-hours activity will require additional review and approval.
10. The Applicant shall execute a written acknowledgment to the Planning Division stating acceptance of and compliance with all the Conditions of Approval of Resolution No. 2892 for CUP25-0003 and that the plans submitted are in compliance with the Conditions of Approval. No modifications shall be made to said plans without written approval from the appropriate decision-making body.
11. Prior to the issuance of a building permit for the construction of any use or structure contemplated by this approval, the Applicant shall first obtain permits and or clearance from the following agencies:

Coachella Valley Water District (CVWD)
Public Works Department
Fire Department
Building and Safety Division
California Department of Alcoholic Beverage Control
Riverside County Department of Health

Evidence of said permit or clearance from the above agencies shall be presented to the Building and Safety Division at the time of issuance of a building permit for the use contemplated herewith.

PLANNING COMMISSION RESOLUTION NO. 2892

12. A copy of the herein-listed Conditions of Approval shall be included in the construction documentation package for the Project, which shall be continuously maintained on-site during Project construction.
13. Failure to comply with any of these conditions will result in the revocation of this permit subject to PDMC 25.60.120.
14. The Applicant shall comply with PDMC Chapter 9.24 for Noise Control Requirements. No loud or disruptive music, sound, or noise shall be audible from the exterior of the premises.
15. The Applicant shall remove litter from the premises, and adjacent public sidewalks and parking lots daily, and shall keep the areas swept weekly to prevent debris buildup. Trash cans shall be added, and "No Littering" signs shall be posted on the premises.
16. The Applicant shall not permit any loitering on the premises or on property adjacent to the premises.
17. The requirements of PDMC Chapter 8.36 regarding smoking shall be complied with at all times.
18. The design of the proposed retaining wall is subject to review by the City's Development Services Department and may require a stucco finish.
19. All permanent and temporary exterior signage shall comply with PDMC 25.56.
20. The Applicant shall provide payment for filing fees for the Notice of Exemption within five (5) days of project approval.

ARCHITECTURAL REVIEW COMMISSION

21. The Applicant shall comply with all conditions of approval provided by the City's Architectural Review Commission on May 13, 2025, as follows:
 - A. The Applicant shall provide an updated University Village sign program to clarify the new building frontage sign locations and blade signs, consistent with DR25-0003 drawings. The updated sign program is to be approved by Staff.
 - B. Piping and conduit, which services the patio structures, shall be concealed.

RIVERSIDE COUNTY FIRE DEPARTMENT

22. With respect to the planning conditions for the referenced project [CUP25-0003], the fire department requires the following fire protection measures be provided in accordance with Riverside County Ordinances, the current edition of California Fire Code (CFC) as adopted and amended by the County of Riverside and/or recognized fire protection standards.

PLANNING COMMISSION RESOLUTION NO. 2892

23. Fire Protection Water Supplies/Fire Flow – Minimum fire flow for the construction of all buildings is required per CFC Appendix B. Prior to building permit issuance for new construction, the applicant shall provide documentation to show there exists a water system capable of delivering the required fire flow. Specific design features may increase or decrease the required fire flow.
 - A. Will Serve Letters from the responsible water purveyor are required prior to a map recordation.
24. Fire Protection Water Supplies/Hydrants – The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with CFC Appendix C and NFPA 24. Fire hydrants shall be located no more than 400 feet from all portions of the exterior of the building along an approved route on a fire apparatus access road, unless otherwise approved by the fire department. In areas where new water mains are extended along streets and hydrants are not needed for protection of structures, standard fire hydrants shall be provided at spacing not to exceed 1,000 feet along streets for transportation hazards. Fire hydrants shall be at least 40 feet from the building it is serving. A fire hydrant shall be located within 20 to 100 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are 4" x 2 ½" x 2 ½" (super hydrant). Reference CFC as amended and NFPA 24.
25. Fire Department Access – Fire apparatus access roads shall be provided within 150 feet of all exterior portions of buildings, unless otherwise approved by the fire department. Fire apparatus access roads shall have an unobstructed width of no less than 24 feet. Dead-end fire apparatus access roads exceeding 150 feet in length shall provide an approved turn around. The minimum required turning radius of a fire apparatus access road is 38 feet outside radius and 14 feet inside radius. (For developments with the SRA and within the LRA VHFHSZ, the minimum required turning radius of a fire apparatus access road is 74 feet outside radius and 50 feet inside radius. See California Code of Regulations Title 14 Section 1273.04.) The construction of the fire apparatus access roads shall be all weather and capable of sustaining 75,000 lbs. Unless otherwise approved, the grade of a fire apparatus access road shall not exceed 16 percent, and the cross slope shall not exceed 2.5 percent. The angles of approach and departure for fire apparatus access roads shall be a maximum of 6 percent grade change for 25 feet of approach/departure. Reference CFC as amended and Riverside County Fire Department Policies and Standards.
26. Fire Department Building Construction Plan Review – Submittal of construction plans to the Fire Department will be required. Final fire and life safety conditions will be addressed when the Fire Department reviews the plans. These conditions will be based on California Fire Code, California Building Code (CBC), and related codes/standards adopted at the time of construction plan submittal. Reference CFC as amended.

PLANNING COMMISSION RESOLUTION NO. 2892

27. These conditions are preliminary, and further review will occur upon receipt of construction plans. Additional requirements may be required based upon the adopted codes at the time of submittal.

END OF CONDITIONS OF APPROVAL

DRAFT

**EXHIBIT B
Statement of Use**

(Next Page)

DRAFT



Statement of Use – CUP25-0003

The proposed shade patio structures will be used by the adjacent businesses as an assembly area servicing their existing businesses. The existing businesses include Chef KK, Bowl of Heaven, D'Coffee Bouteaque, Billy Q's, Island Boba, A Cut Above, and Pueblo Viejo. The existing businesses website are as follows: chefkatherinekingcatering.com, desertacai.com, d-coffee-bouteaque.wa-café.com, billyqs.net, islandbobasushipoke.com, jimlassakacutabove.com, & puebloviejogrill.com.

The hours of operation will coincide with the existing hours of operation with the existing businesses, 11am-10pm. The existing parking area will be utilized to serve the new shade patio structures, as these businesses are currently using this area for assembly/dining purposes. The parking area is used mostly by the professional business to the West/South during the hours of 8am-5pm, after 5pm is when the parking area is used mostly by the restaurant/businesses that will use these new patio shade structures. The number of employees varies from business to business. Each business will have anywhere from 2 to 12 employees working during business hours.

Signature:

Ryan McComb PVG Architects

Date:

3/24/2025



UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



PREST | VUKSIC | GREENWOOD

ARCHITECTS • INTERIORS

PROJECT INFORMATION

OWNER

AAFMAA
4795 Meadow Wood Lane, Suite 330 East,
Chantilly, VA 20151

APPLICANT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE. SUITE 200
PALM DESERT, CA 92260

PROJECT DESCRIPTION

3 INDEPENDENT PATIO STRUCTURES TO BE
BUILT ADJACENT TO EXISTING RETAIL
BUILDINGS AT UNIVERSITY VILLAGE.

ZONING

PC(3) - COMMERCIAL

LEGAL DESCRIPTION

APN 694190049 AND 694190050

PARKING

WE ARE FORMALLY REMOVING PARKING
THAT HAS ALREADY BEEN ELIMINATED BY
OUTDOOR SEATING AREAS

THIS SITE IS COMPOSED OF COMMERCIAL
RETAIL BUSINESSES AS WELL AS
PROFESSIONAL OFFICE BUSINESSES. THE
PARKING LOT IS MOSTLY USED BY THE
PROFESSIONAL BUSINESSES FROM 8AM TO
5PM. THE PARKING LOT IS MOSTLY USED
BY THE COMMERCIAL BUSINESSES AFTER
5PM.

CONSULTANTS

ARCHITECT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE. SUITE 200
PALM DESERT, CA 92260
760-779-5393
JOHN VUKSIC

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
74-410 GERALD FORD DR. SUITE 100
PALM DESERT, CA 92211
760-776-6131
WILLIAM POPE

STRUCTURAL

RA STRUCTURAL ENGINEERING, INC.
77570 SPRINGFIELD LANE, SUITE "D"
PALM DESERT, CA 92211
760-808-9146
REZA ASGHARPOUR

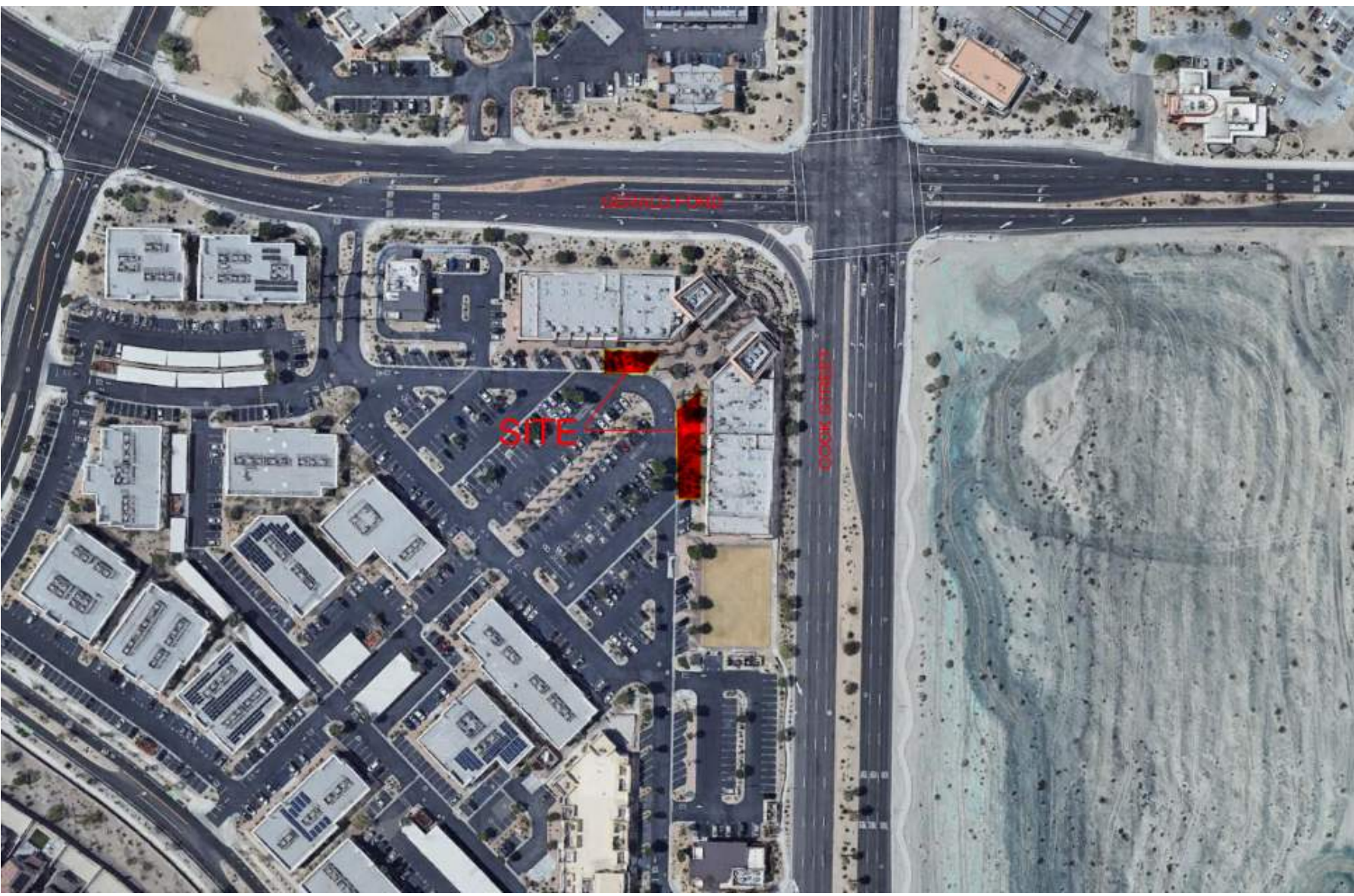
LANDSCAPE ARCHITECT

HSA DESIGN GROUP, INC.
41-990 COOK STREET, BUILDING I, #801B
PALM DESERT, CA 92211
760-341-1515
CHUCK SHEPARDSON

BUILDING DATA

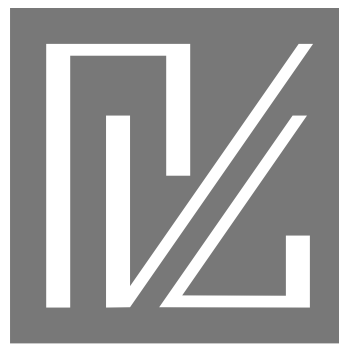
OCCUPANCY	A2
TYPE OF CONSTRUCTION	VB
SPRINKLERED	NO
NUMBER OF STORIES	1
GREATEST HEIGHT	17' 3"

VICINITY MAP



SHEET NO.	SHEET NAME
A000	COVER SHEET
A001	SHEET INDEX
1 of 7	PRECISE GRADING PLAN
2 of 7	PRECISE GRADING PLAN
3 of 7	PRECISE GRADING PLAN
4 of 7	PRECISE GRADING PLAN
5 of 7	PRECISE GRADING PLAN
6 of 7	PRECISE GRADING PLAN
7 of 7	PRECISE GRADING PLAN
1 of 1	SITE PLAN EXHIBIT
A101	SITE PLAN
A201	CENTRAL PATIO FLOOR PLAN
A202	NORTH PATIO FLOOR PLAN
A203	SOUTH PATIO FLOOR PLAN
A301	ELEVATIONS
A302	COLOR ELEVATIONS
A401	CENTRAL PATIO ROOF PLAN
A402	NORTH PATIO ROOF PLAN
A403	SOUTH PATIO ROOF PLAN
A501	3D VIEWS
A502	3D VIEWS
A503	3D VIEWS
A504	3D VIEWS
A505	3D VIEWS
A506	3D VIEWS
A601	MATERIAL BOARD
A700	SEATING PLAN
A800	PARKING STUDY
L1.1	PRELIMINARY PLANTING PLAN
E2.00	ELECTRICAL SITE PLAN
E3.00	ELECTRICAL PLAN
E3.01	ELECTRICAL PLAN

UNIVERSITY VILLAGE PATIO STRUCTURES
PALM DESERT, CA



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WWW.PVGARCHITECTS.COM
INFO@PVGARCHITECTS.COM | 760 . 779 . 5393 T

SHEET INDEX

Scale: _____
Sheet: **A001**

Issue Date
222012

IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

TRACT 35741 - PARCEL 1 AND 2

UNIVERSITY VILLAGE - SHADE STRUCTURE ADDITIONS

PRECISE GRADING AND DRAINAGE PLAN

LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

PALM DESERT GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF PALM DESERT, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS WHEN APPLICABLE.
- NO CONSTRUCTION IS AUTHORIZED WITHOUT THE APPROPRIATE PERMITS ISSUED BY THE CITY OF PALM DESERT PUBLIC WORKS DEPARTMENT.
- THE ENGINEER-OF-RECORD SHALL BE NOTIFIED WHEN CONSTRUCTION HAS COMMENCED.
- IN THE EVENT OF DISCREPANCIES AND/OR DEVIATIONS ARISING DURING CONSTRUCTION, THE ENGINEER-OF-RECORD SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ONSITE, OFFSITE, AND ADJACENT UTILITIES, FACILITIES AND PROPERTIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTY OWNERS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONJUNCTION WITH CONSTRUCTION OF THESE IMPROVEMENT PLANS.
- THE CONTRACTOR, AT NO EXPENSE TO THE CITY, SHALL PROVIDE ALL NECESSARY SAMPLES AND TESTS THAT THE DIRECTOR OF PUBLIC WORKS MAY REQUIRE TO ASSURE THE QUALITY OF MATERIAL AND WORKMANSHIP ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND SHALL MAINTAIN ALL FACILITIES, COMPLETED AND UNCOMPLETED, UNTIL ACCEPTED BY THE CITY.
- ALL SURVEY MONUMENTS WITHIN OR BOUNDING THE WORK LIMITS, WHETHER FOUND FROM RECORD OR BY INSPECTION, SHALL, PRIOR TO ANY CONSTRUCTION, BE LOCATED AND REFERENCED BY A LICENSED SURVEYOR OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. THE REFERENCE MONUMENTS DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE RESET IN ACCORDANCE WITH SECTION 8771 OF THE LAND SURVEYORS ACT AND CITY STANDARDS AND REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS IN PALM DESERT AT (760) 776-6450 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR THE LOCATION OF UNDERGROUND UTILITIES OR FOR EMERGENCY ASSISTANCE CALL:

WATER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
SEWER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
ELECTRIC	SOUTHERN CALIFORNIA EDISON	(760) 202-4291
GAS	THE GAS COMPANY	(800) 427-2200
TELEPHONE	VERIZON CALIFORNIA, INC.	(800) 483-1000
CABLE	TIME WARNER / SPECTRUM	(760) 340-1312
DIG ALERT		811
- THE DEPARTMENT OF PUBLIC WORKS DOES NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THE QUANTITIES SHOWN HEREON.
- THE STRUCTURAL SECTION SHALL BE AS PER THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, HIGHWAY DESIGN MANUAL TEST NO. 301-F FOR DETERMINATION BY THE R-VALUE METHOD.
- THESE PLANS MAY BE SUBJECT TO REVIEW AND/OR REVISION BY THE CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS, IF CONSTRUCTION HAS NOT COMMENCED WITHIN 12 MONTHS FROM THE DATE OF APPROVAL BY THE DIRECTOR OF PUBLIC WORKS.
- ALL P.C.C. AND A.C. REMOVALS SHALL BE OUTLINED TO NECESSARY WORKING LIMITS AND SAWCUT TO A MINIMUM DEPTH OF 2 INCHES PRIOR TO REMOVAL. ALL DEBRIS CREATED BY THE REMOVAL OPERATIONS SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER AND LOCATION ACCEPTABLE TO ALL CONCERNED AGENCIES AND ORGANIZATIONS.
- ALL P.C.C. AND A.C. IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT NO COST TO THE CITY OF PALM DESERT.
- STREETS IN THE CONSTRUCTION AREA SHALL BE KEPT CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING OF THE PROPOSED WORK AREA.
- NO PUBLIC STREET SHALL BE CLOSED TO TRAFFIC WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER.
- NO TRENCHES SHALL REMAIN OPEN OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- FAILURE TO COMPLY WITH ANY OF THE AFOREMENTIONED ITEMS SHALL BE SUFFICIENT CAUSE FOR THE CITY TO ARRANGE FOR NECESSARY WORK TO BE COMPLETED BY OTHERS. COSTS TO COMPLETE THE WORK BY OTHERS WILL BE CHARGED TO THE CONTRACTOR.
- ALL LANDSCAPING AND IRRIGATION THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED TO THE APPROVAL OF THE CITY AND THE PROPERTY OWNER.
- CONTRACTOR MUST OBTAIN APPROVAL FOR ANY LANE CLOSURES A MINIMUM OF 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT TO REQUEST INSPECTION A MINIMUM OF 24 HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL KEEP THE INSPECTION INFORMED OF PROGRESS OF THE WORK ON A DAILY BASIS. IMPROVEMENTS PLACED WITHOUT INSPECTION WILL NOT BE ACCEPTED AND ARE SUBJECT TO REMOVAL.

ABBREVIATIONS

AC --- ASPHALT CONCRETE
CF --- CURB FACE
CONC - CONCRETE
D ---- DRAINAGE BASIN
EG -- EXISTING GRADE
EP --- EDGE OF PAVEMENT
EX --- EXISTING
FF --- FINISHED FLOOR
FG --- FINISHED GRADE
FL --- FLOW LINE
FS --- FINISHED SURFACE
GB --- GRADE BREAK
HP --- HIGH POINT
IE --- INVERT ELEVATION
LP --- LOW POINT
PE --- PAD ELEVATION
PA --- PLANTER AREA
S/W -- SIDEWALK
SD --- STORM DRAIN
SWR -- SEWER
TC --- TOP OF CURB
TG --- TOP OF GRATE
TYP -- TYPICAL
WV --- WATER VALVE
WM --- WATER METER

LEGEND

--- JOIN / MATCH EXISTING
--- PROPOSED GRADE BREAK
--- PROPOSED ASPHALT
--- PROPOSED GRIND AND OVERLAY
--- PROPOSED CONCRETE
--- PROPOSED LANDSCAPING
--- PROPOSED PAVERS
--- PROPOSED RATE OF GRADES
--- EXISTING CONTOURS
--- EXISTING RATE OF GRADES
--- EXISTING UTILITY BEYOND THIS POINT TO BE POTHOLED FOR OFFICIAL LOCATION.

PALM DESERT PAVING NOTES:

- ALL UNDERGROUND FACILITIES, INCLUDING LATERALS, SHALL BE IN PLACE, AND ALL TRENCHES COMPACTED AND TESTED PRIOR TO PAVING.
- ALL EXISTING OR NEW IMPROVEMENTS, INCLUDING CURB AND GUTTERS, SIDEWALKS, ASPHALT CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY ENGINEER, INCLUDING NECESSARY SAWCUTTING, REMOVAL, REPLACEMENT AND CAPPING.
- NEW OR EXISTING CURB AND GUTTER SHALL BE MARKED AT EVERY 10 FEET WITH A SCORE LINE AND EVERY 50 FEET WITH A CONSTRUCTION EXPANSION JOINT.
- NEW OR EXISTING CURB AND GUTTER SHALL BE JOINED, MATCHED, OR REPLACED IF DAMAGED, TO A SAWCUT LINE SUCH THAT A MINIMUM LENGTH OF 7 FEET OR CURB AND GUTTER REMAINS IN PLACE AT ALL LOCATIONS.
- A "TACK COAT" SHALL BE APPLIED BETWEEN PAVEMENT LAYERS, CONCRETE SURFACES AND ON EXISTING PAVEMENT TO BE RESURFACED AT THE RATE OF 0.10 GAL/YD. THE TACK COAT SHALL BE TYPE SS1 ASPHALTIC EMULSION WITH A 60-70 GRADE LIQUID ASPHALT.
- THE VISCOSITY OF PAVING ASPHALT SHALL BE PERFORMANCE GRADE OR AS DETERMINED BY THE CITY ENGINEER AT THE TIME OF PAVING.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL EARTHWORK GRADING.
- MANHOLES AND VALVE BOX FRAMES SHALL BE ADJUSTED TO FINISHED GRADES AFTER COMPLETION OF CONSTRUCTION TO THE STANDARDS OF THE FACILITY OWNER.
- ALL EXISTING PAVEMENT WITHIN AND ADJOINING THIS PROJECT SHALL BE EITHER REMOVED OR STRUCTURALLY TESTED TO VERIFY THAT THE STRUCTURAL CAPABILITIES ARE ACCEPTABLE. ALL RESULTS SHALL BE APPROVED BY THE CITY ENGINEER.
- THE CURB SHALL BE "ETCHED" SHOWING LATERAL LOCATIONS: "S" FOR SEWER, "G" FOR GAS, "E" FOR ELECTRICAL, "W" FOR WATER.
- ALL PERMANENT ROADWAY TRAFFIC STRIPING, LEGENDS AND PAVEMENT MARKERS SHALL BE INSTALLED AFTER PERMANENT PAVING. THE TYPE AND LOCATIONS SHALL BE INSTALLED PER PLAN OR AS DIRECTED BY THE CITY ENGINEER.
- TEMPORARY ROADWAY STRIPING SHALL BE INSTALLED ON ALL UNFINISHED ROADWAY SURFACES AS DIRECTED BY THE CITY ENGINEER.

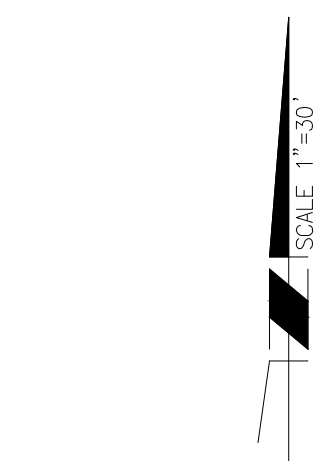
GERALD FORD DRIVE

EXISTING BUILDING

SHEET 02-05

EXISTING BUILDING

SHEET 02-05



30 15 0 30 60 90
SCALE: 1"=30'

EARTHWORK QUANTITIES

CUT (RAW): 0 C.Y.
FILL (RAW): 16 C.Y.
IMPORT (RAW): 16 C.Y.

NOTE:
THE QUANTITIES SHOWN HEREON ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING EARTHWORK QUANTITIES.

INDEX SHEET MAP

SCALE: 1"=30'

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET AND NOTES
2	DEMOLITION PLAN AND QUANTITIES
3	PRECISE GRADING PLAN AND QUANTITIES
4	PRIVATE UTILITY PLAN AND QUANTITIES
5	PRIVATE STORM DRAIN PLAN AND QUANTITIES
6	SECTIONS AND DETAILS
7	GREASE INTERCEPTOR DETAILS

SEE SHEET 03, 04 AND 05 -
FOR ALL CONSTRUCTION NOTES & QUANTITY ESTIMATES.

OWNER

AAAFMAA
CONTACT: CHARLES BETANCOURT
4795 MEADOW WOOD LANE
CHANTILLY, VA 20151
(703) 707-4650
CBETANCOURT@AAAFMAA.COM

ARCHITECT

PREST VUKSIC GREENWOOD ARCHITECTS
44530 SAN PABLO AVE., SUITE 200
PALM DESERT, CA. 92260
(760) 779-5393

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
75410 GERALD FORD DR., SUITE 100
PALM DESERT, CA 92211
(760) 346-7481

SOILS ENGINEER

SLADDEN ENGINEERING
45090 GOLF CENTER PARKWAY
INDIO, CA 92201
(760) 863-0713

DISTURBED AREA

9,167 SF = 0.21 ACRES

APN

694-190-049 AND 694-190-050

FEMA FLOOD DATA:

FLOOD ZONE: X
PANEL: 060650C1615G, EFF. 8/28/2008
ZONE DEFINITION: AREA OF MINIMAL
FLOOD HAZARD

TOPOGRAPHY:

TOPOGRAPHY PERFORMED BY:

MICHAEL BAKER INTERNATIONAL
75410 GERALD FORD DR., SUITE 100
PALM DESERT, CA 92211
(760) 346-7481

TOPOGRAPHY DATE: 06/26/2015

SOILS ENGINEER CERTIFICATE:

THE UNDERSIGNED SOILS ENGINEER CERTIFIES THAT: THEY HAVE RECEIVED THIS GRADING PLAN AND FOUND IT TO BE IN SUBSTANTIAL COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THEIR SOILS REPORT FOR PARCEL MAP 31515, DATED MAR. 10, 2005, THAT THEY SHALL PROVIDE SOILS ENGINEER SERVICES DURING CONSTRUCTION OF THE EXCAVATION AND FOUNDATION PHASES OF THE WORK, TO OBSERVE COMPLIANCE WITH DESIGN CONCEPTS, SPECIFICATIONS, AND RECOMMENDATIONS; AND TO ALLOW DESIGN CHANGES IN THE EVENT THAT SUBSURFACE CONDITIONS DIFFER FROM THAT ANTICIPATED PRIOR TO THE START OF CONSTRUCTION. THE SOILS ENGINEER'S WORK DOES NOT INCLUDE SUPERVISION OR DIRECTION OF THE ACTUAL WORK OF THE CONTRACTOR, THEIR EMPLOYEES, OR AGENTS. THE CONTRACTOR FOR THIS PROJECT SHOULD BE INFORMED THAT NEITHER THE PRESENCE OF THE SOILS ENGINEER'S REPRESENTATIVE NOR THE OBSERVATION AND TESTING BY THE SOILS ENGINEER SHALL EXCUSE THEM IN ANY WAY FOR THE DEFECTS IN THEIR WORK.

SOILS ENGINEER
R.C.E. NO. C45389

DATE:

BRETT L. ANDERSON
SLADDEN ENGINEERING
39725 GARAND LANE, SUITE G
PALM DESERT, CA 92211
(760) 772-3893

DATE:

CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY:

DATE

REVIEWED AND RECOMMENDED BY:

DATE

ANY MODIFICATION OF THIS PLAN
MUST BE APPROVED BY THE CITY
PRIOR TO CONSTRUCTION.

CITY PERMIT #:

CITY ISSUE DATE:

FOR CITY USE ONLY

CITY OF PALM DESERT

UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
TITLE SHEET

LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 01

OF SHEETS 07

CITY FILE NUMBER



BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" CRD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN,
WILLIAM FROST AND ASSOCIATES, JUNE 1995, NORTH END OF CONC.
CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA
DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB.
ELEVATION = NGVD29
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL
1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK
204, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE
COUNTY, STATE OF CALIFORNIA, BEING: NORTH 86°47'32" WEST.

ENGINEER	MARK	BY	DATE

REVISIONS

CITY

APPR. DATE



Michael Baker

INTERNATIONAL

75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

DATE:

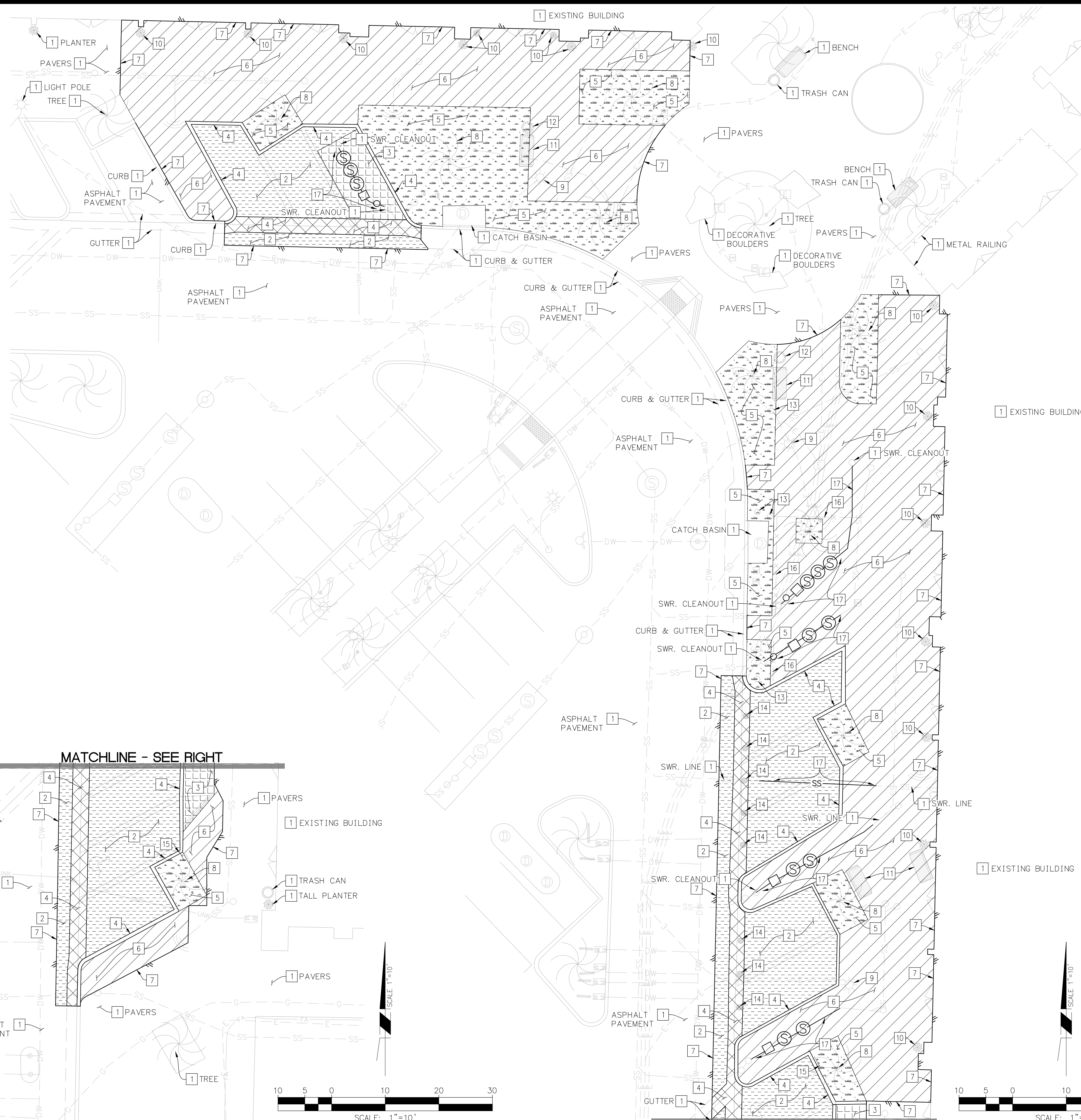


PLAN CHECKED BY:

CIVIL

TRAFFIC

LANDSCAPE



LEGEND

- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING LANDSCAPE
- REMOVE EXISTING PAVERS
- SAWCUT / LIMITS OF DEMOLITION

DEMOLITION NOTES

	UNIT	QTY
1 PROTECT IN PLACE AS NOTED	-	-
2 SAWCUT AND DISPOSE OF EXISTING ASPHALT PAVEMENT	SF	2,250
3 REMOVE AND DISPOSE OF EXISTING CONCRETE FLATWORK AND SIDEWALK	SF	210
4 REMOVE AND DISPOSE OF EXISTING CURB AND/OR GUTTER	SF	621
5 REMOVE AND DISPOSE OF EXISTING LANDSCAPE, INCLUDING PLANTS, DECORATIVE BOULDERS.	SF	1,840
6 REMOVE AND DISPOSE OF EXISTING PAVERS.	SF	5,830
7 SAWCUT / LIMITS OF DEMOLITION. PROTECT ADJACENT ASPHALT, CONCRETE, AND/OR PAVERS.	LF	660
8 REMOVE AND DISPOSE OF EXISTING TREES AND UP-LIGHTING (IF APPLICABLE).	EA	10
9 REMOVE EXISTING LIGHT POLE. DELIVER UNDAMAGED TO OWNER.	EA	3
10 REMOVE EXISTING TALL PLANTER. DELIVER UNDAMAGED TO OWNER.	EA	15
11 REMOVE EXISTING METAL BENCH. DELIVER UNDAMAGED TO OWNER.	EA	4
12 REMOVE EXISTING METAL TRASH CAN. DELIVER UNDAMAGED TO OWNER.	EA	2
13 REMOVE EXISTING TEMPORARY SHADE STRUCTURE, ASSOCIATED CANOPY, AND STRING LIGHTING. DELIVER UNDAMAGED TO OWNER.	LS	1
14 REMOVE EXISTING YELLOW TRAFFIC BOLLARDS. DELIVER UNDAMAGED TO OWNER.	EA	8
15 REMOVE EXISTING SIGNAGE. DELIVER UNDAMAGED TO OWNER.	EA	2
16 REMOVE EXISTING METAL RAILING. DELIVER UNDAMAGED TO OWNER.	LF	24
17 REMOVE AND DISPOSE OF EXISTING GREASE INTERCEPTORS AND SEWER LINES PER PLAN. SEE SHEET 04 FOR PROPOSED UTILITY PLAN DETAILS.	EA	6

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MATCHLINE - SEE RIGHT

MATCHLINE - SEE LEFT

BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" CPD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB. ELEVATION = NGVD29
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ENGINEER			REVISIONS			CITY	
MARK	BY	DATE				APPR.	DATE



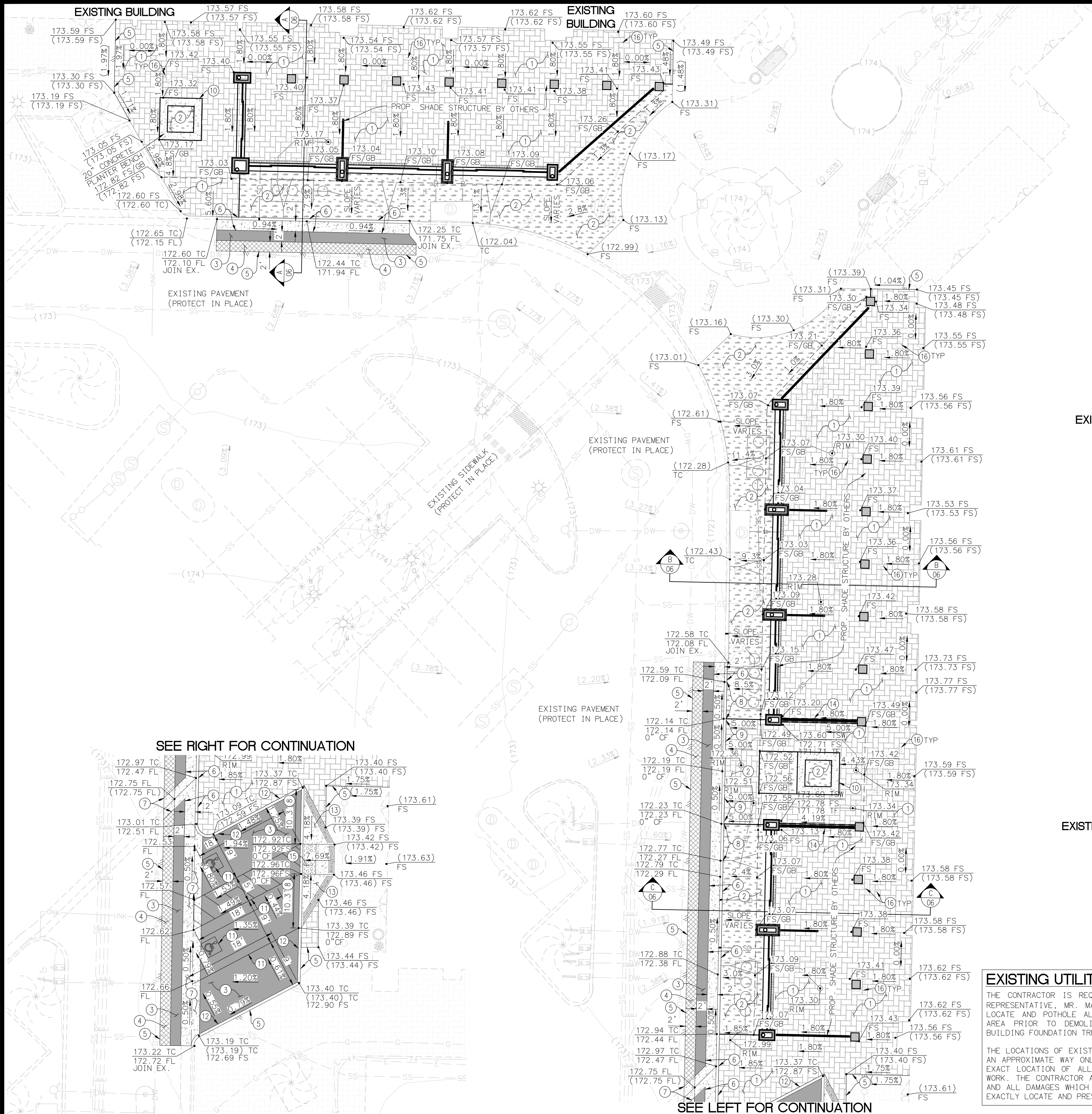
Michael Baker INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760) 346-7481 MBAKERINTL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025
DATE: _____

CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS APPROVED BY: _____ DATE: _____		PLAN CHECKED BY: CIVIL _____ TRAFFIC _____ LANDSCAPE _____	
REVIEWED AND RECOMMENDED BY: _____ DATE: _____			



CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
DEMOLITION PLAN AND QUANTITIES
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 02
OF SHEETS 07
CITY FILE NUMBER



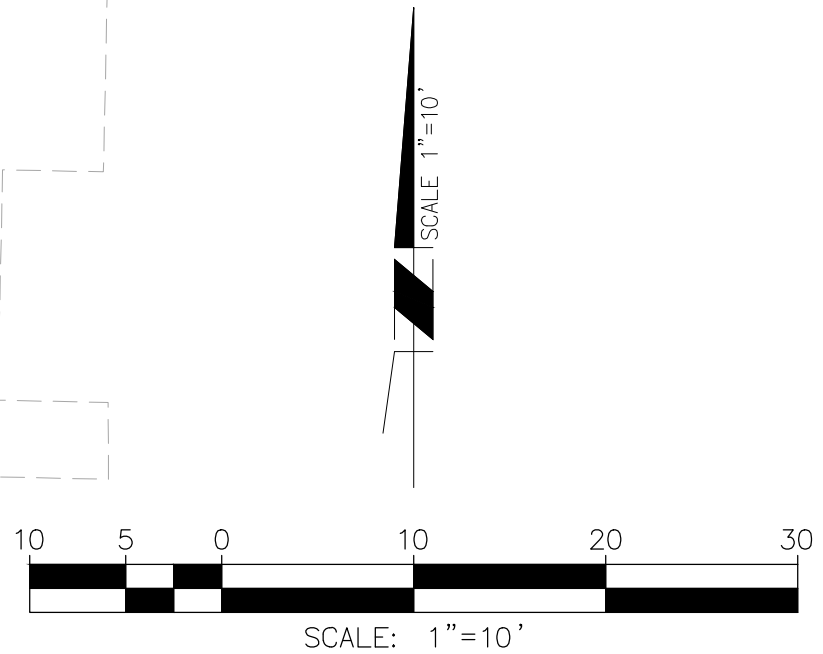
CONSTRUCTION NOTES		UNIT	QTY
1	CONSTRUCT PEDESTRIAN CONCRETE PAVERS PER LANDSCAPE ARCHITECT PLANS.	SF	6,590
2	LANDSCAPING PER LANDSCAPE ARCHITECT PLANS.	SF	2,060
3	CONSTRUCT 4" A.C. PAVEMENT OVER 8.5" CLASS II AGGREGATE BASE PER GEOTECHNICAL REPORT.	SF	893
4	PROPOSED GRIND AND OVERLAY.	SF	324
5	JOIN / MATCH EXISTING SURFACES AND ELEVATIONS PER PLAN.	PER PLAN	
6	CONSTRUCT CURB AND GUTTER TYPE I PER CITY OF PALM DESERT STD. DRAWING NO. 102.	SF	295
7	CONSTRUCT VALLEY GUTTER PER CITY OF PALM DESERT STD. DRAWING NO. 112.	SF	160
8	CONSTRUCT 6" TO 0" CURB VERTICAL TRANSITION. 7.0' LENGTH UNLESS OTHERWISE NOTED.	EA	4
9	CONSTRUCT 0" CURB AND GUTTER PER CITY OF PALM DESERT STD. DRAWING NO. 102, MODIFIED.	LF	20
10	CONSTRUCT LANDSCAPE CONCRETE PLANTER BENCH PER LANDSCAPE ARCHITECT PLANS.	EA	2
11	INSTALL ACCESSIBLE PARKING SPACE SIGNAGE AND MARKINGS PER DETAILS ON SHEET 06.	LS	1
12	CONSTRUCT CURB - TYPE II PER CITY OF PALM DESERT STD. DRAWING NO. 103.	LF	57
13	CONSTRUCT SIDEWALK PER CITY OF PALM DESERT STD. DRAWING NO. 104.	SF	98
14	CONSTRUCT PAVER STEM WALL PER DETAIL ON SHEET 06.	LF	30
15	INSTALL TRUNCATED DOMES PER DETAIL ON SHEET 06.	SF	18
16	CONTRACTOR TO ADJUST ALL EXISTING UTILITY RIMS TO PROPOSED GRADE.	LS	1

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SEE SHEET 02 FOR
DEMOLITION PLAN

DIAL BEFORE YOU DIG
TOLL FREE 800-451-4511
CALL 811

BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
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ENGINEER			REVISIONS		QTY	
MARK	BY	DATE			APPR.	DATE

Michael Baker
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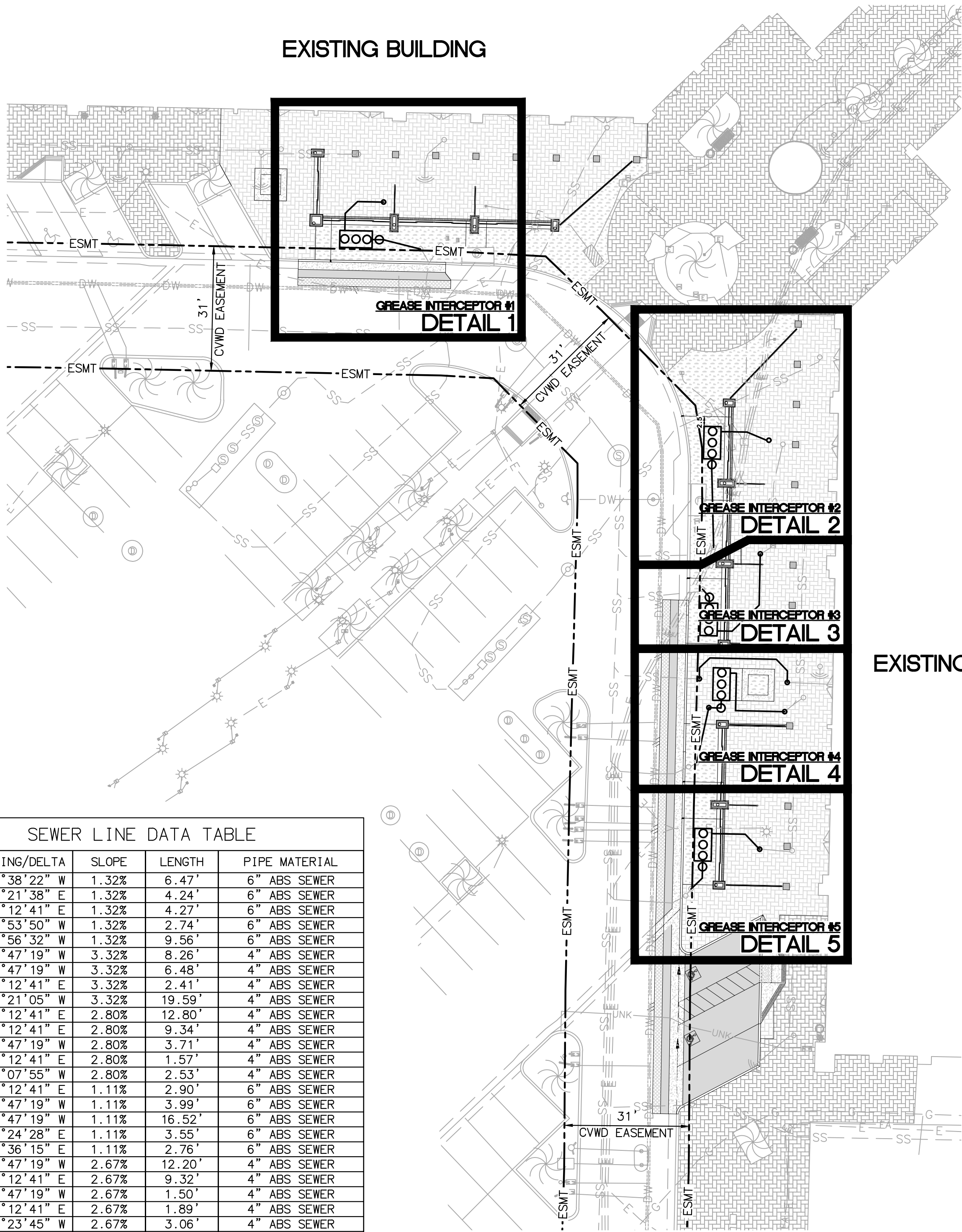
CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: _____ DATE: _____
REVIEWED AND RECOMMENDED BY: _____ DATE: _____

PLAN CHECKED BY:
CIVIL _____
TRAFFIC _____
LANDSCAPE _____

CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
PRECISE GRADING PLAN
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 03
OF
SHEETS 07
CITY FILE NUMBER

EXISTING BUILDING



SEWER LINE DATA TABLE				
NO	BEARING/DELTA	SLOPE	LENGTH	PIPE MATERIAL
1	N 88°38'22" W	1.32%	6.47'	6" ABS SEWER
2	N 46°21'38" E	1.32%	4.24'	6" ABS SEWER
3	N 01°12'41" E	1.32%	4.27'	6" ABS SEWER
4	N 88°53'50" W	1.32%	2.74'	6" ABS SEWER
5	N 75°56'32" W	1.32%	9.56'	6" ABS SEWER
6	N 43°47'19" W	3.32%	8.26'	4" ABS SEWER
7	N 88°47'19" W	3.32%	6.48'	4" ABS SEWER
8	N 01°12'41" E	3.32%	2.41'	4" ABS SEWER
9	N 01°21'05" W	3.32%	19.59'	4" ABS SEWER
10	N 01°12'41" E	2.80%	12.80'	4" ABS SEWER
11	N 46°12'41" E	2.80%	9.34'	4" ABS SEWER
12	N 88°47'19" W	2.80%	3.71'	4" ABS SEWER
13	N 01°12'41" E	2.80%	1.57'	4" ABS SEWER
14	N 42°07'55" W	2.80%	2.53'	4" ABS SEWER
15	N 01°12'41" E	1.11%	2.90'	6" ABS SEWER
16	N 43°47'19" W	1.11%	3.99'	6" ABS SEWER
17	N 88°47'19" W	1.11%	16.52'	6" ABS SEWER
18	N 46°24'28" E	1.11%	3.55'	6" ABS SEWER
19	N 01°36'15" E	1.11%	2.76'	6" ABS SEWER
20	N 88°47'19" W	2.67%	12.20'	4" ABS SEWER
21	N 01°12'41" E	2.67%	9.32'	4" ABS SEWER
22	N 88°47'19" W	2.67%	1.50'	4" ABS SEWER
23	N 01°12'41" E	2.67%	1.89'	4" ABS SEWER
24	N 88°23'45" W	2.67%	3.06'	4" ABS SEWER
25	N 12°16'40" E	2.67%	13.98'	4" ABS SEWER
26	N 43°47'19" W	6.32%	5.17'	4" ABS SEWER
27	N 88°47'19" W	6.32%	8.33'	4" ABS SEWER
28	N 01°12'41" E	6.32%	4.28'	4" ABS SEWER
29	N 46°12'41" E	6.32%	3.89'	4" ABS SEWER

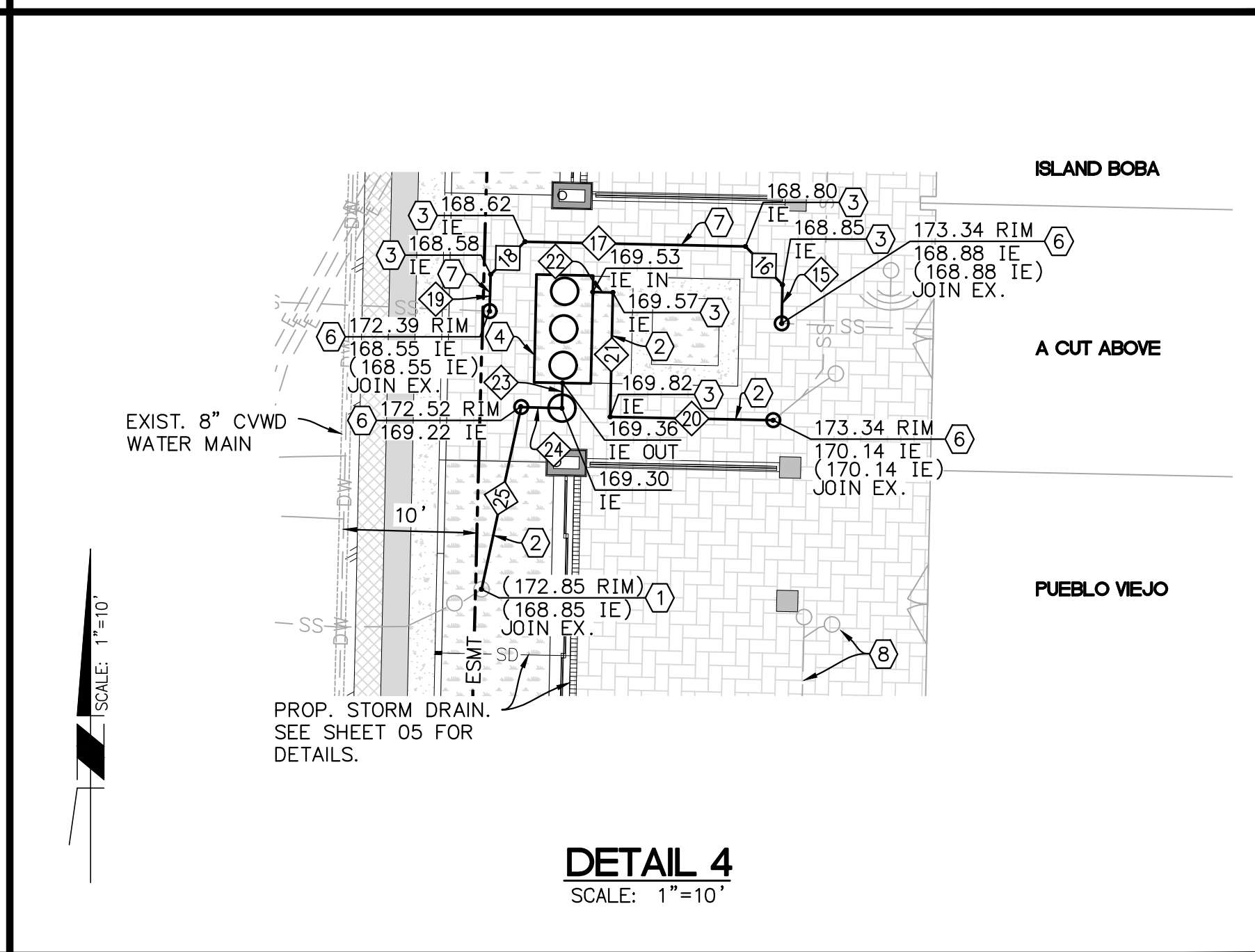
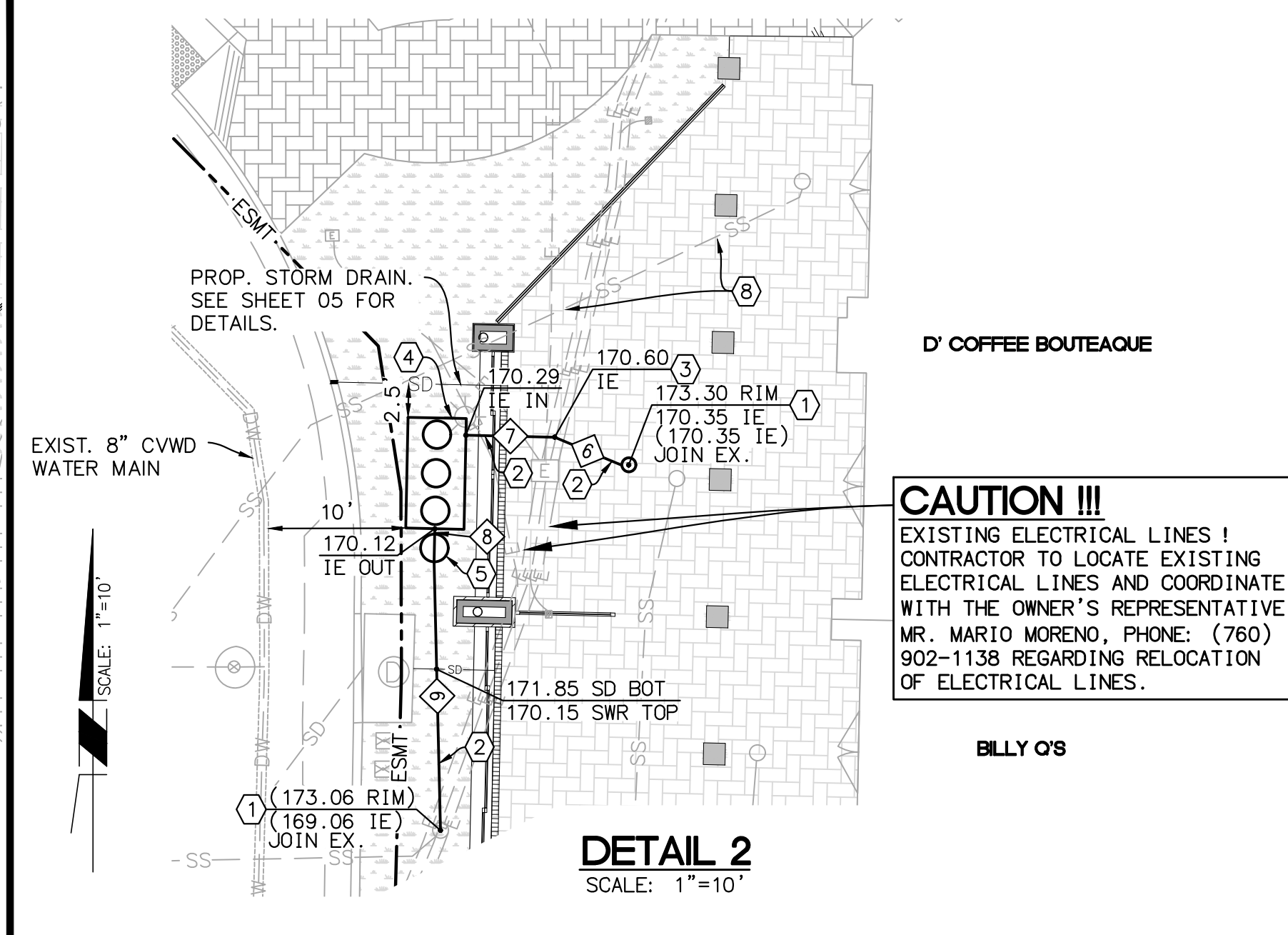
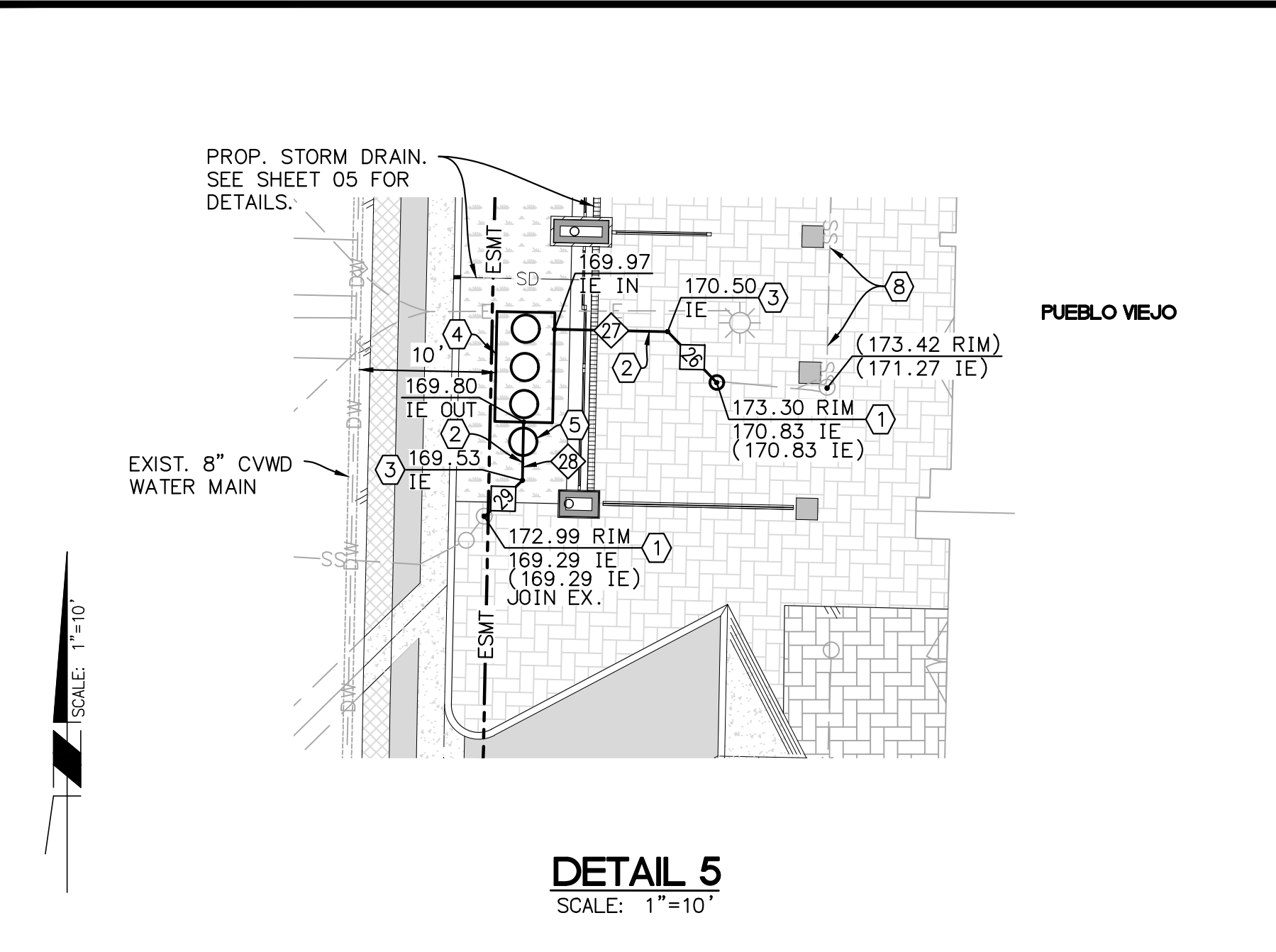
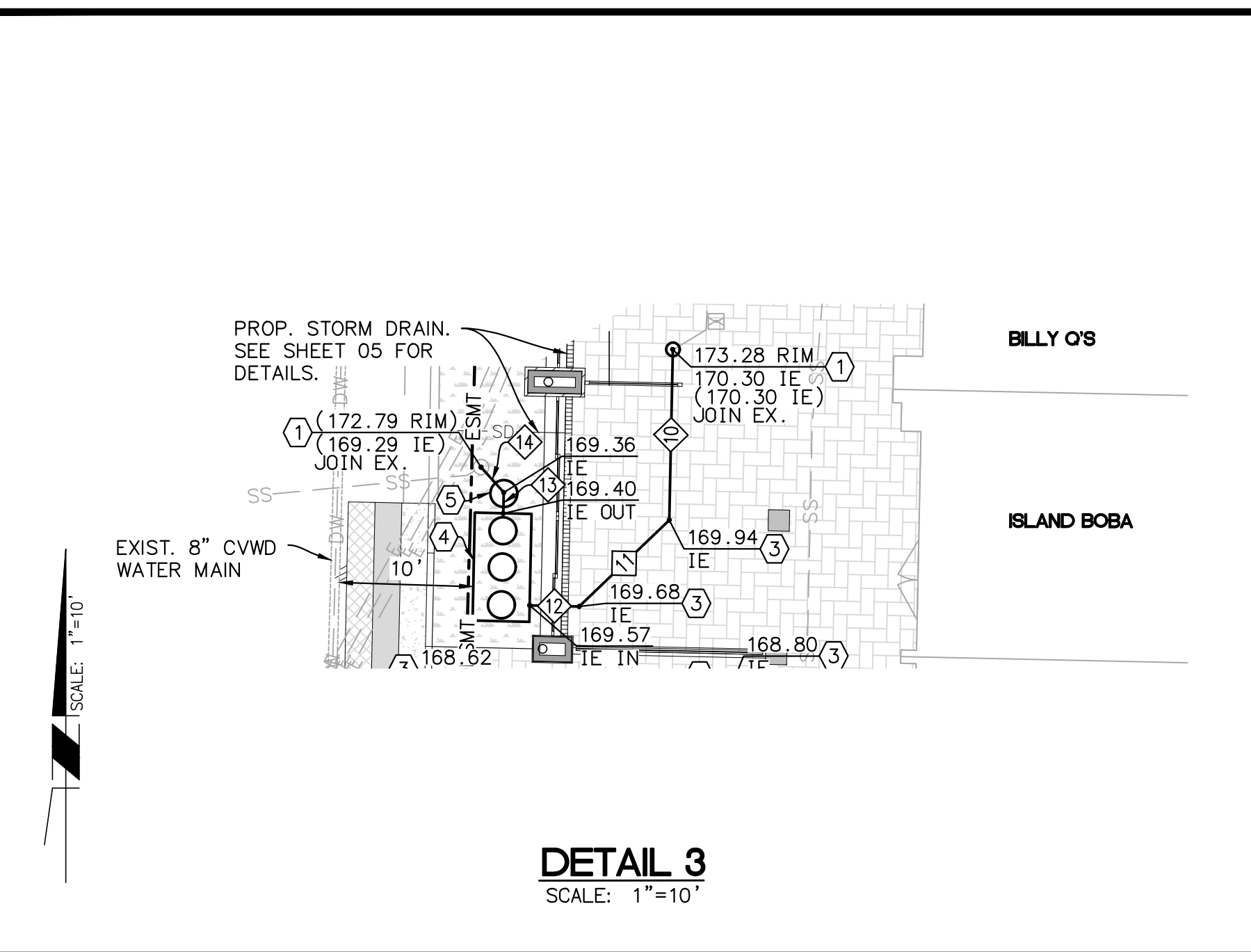
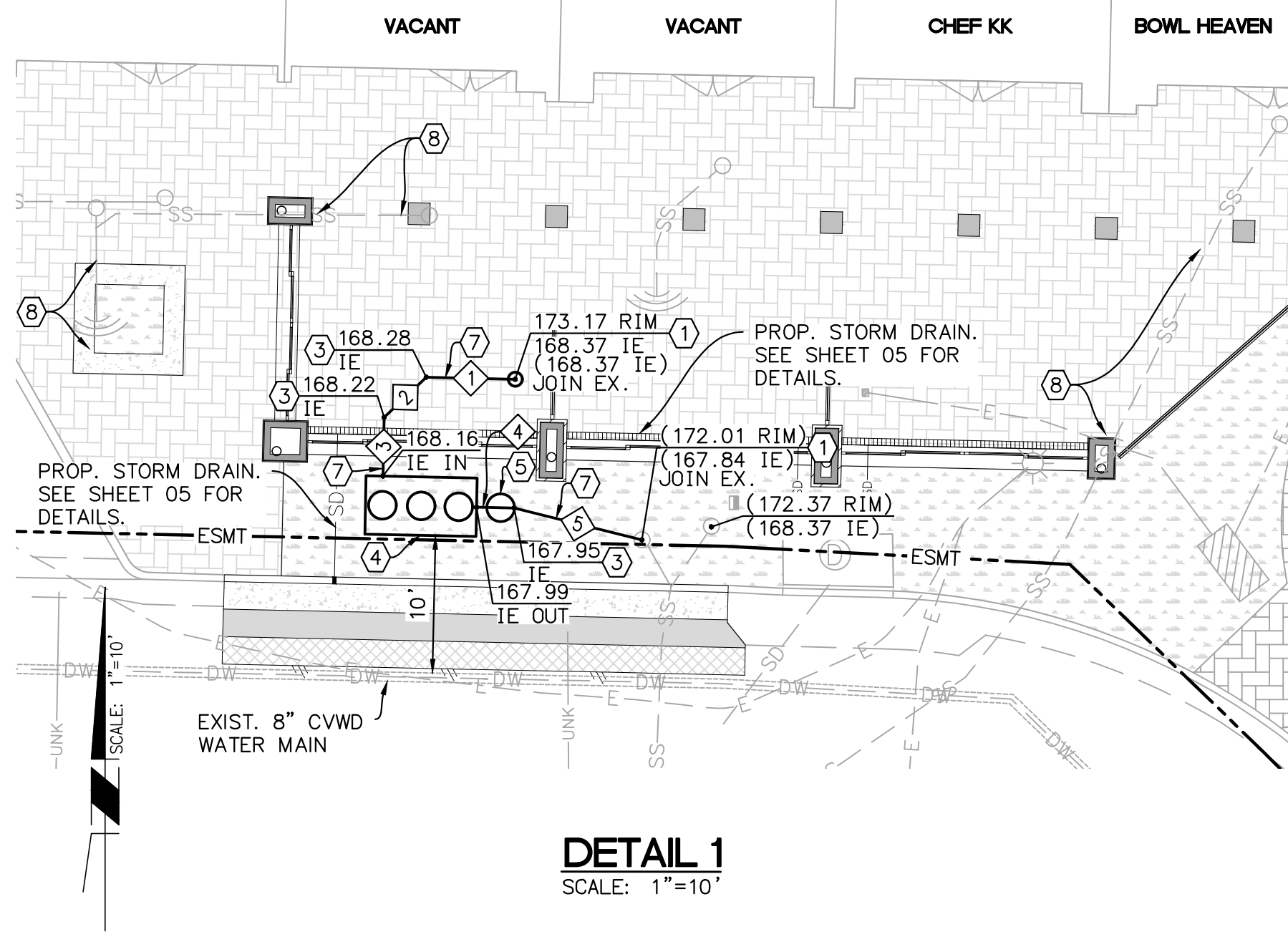
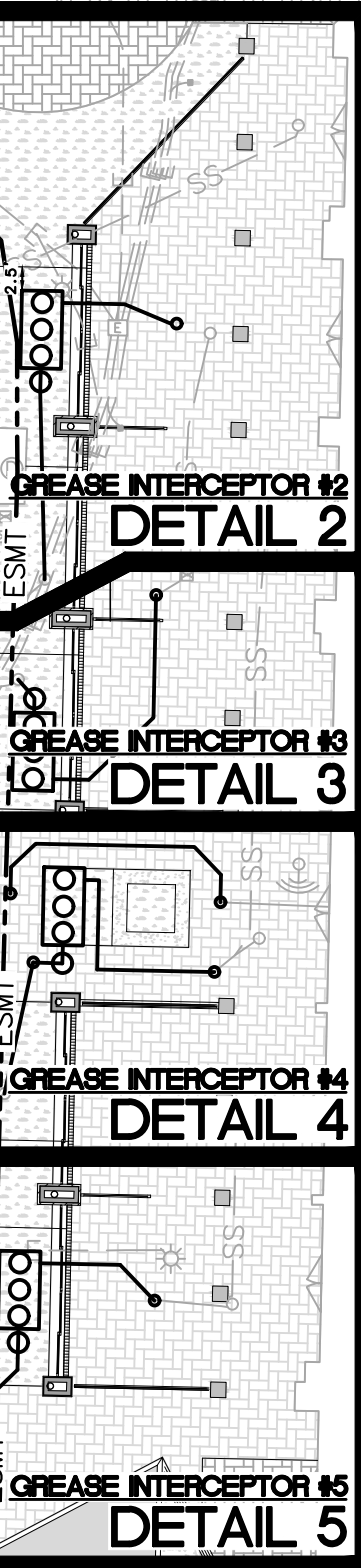
SHEET INDEX MAP
SCALE: 1"=20'

EXISTING UTILITY REQUIREMENT:

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EXISTING BUILDING



CONSTRUCTION NOTES		UNIT	QTY
1	CONNECT TO EXISTING SEWER CLEAN-OUT. INVERT ELEVATION PER PLAN. ADJUST EXISTING RIM TO NEW PROPOSED FINISH GRADE.	EA	9
2	FURNISH AND INSTALL 4" ABS SEWER PIPE, LENGTH PER DATA TABLE HEREON. MINIMUM 2% PIPE SLOPE. INVERT ELEVATIONS PER PLAN. SEWER TRENCH PER CVWD STD. DWG. NO. S-7.	LF	131
3	FURNISH AND INSTALL 4" OR 6" ABS SEWER PIPE FITTINGS. INVERT ELEVATIONS PER PLAN.	EA	14
4	FURNISH AND INSTALL JENSEN PRECAST 750 GALLON, TRAFFIC RATED, 4" LAYOUT GRAVITY GREASE INTERCEPTOR. 24"E, 24"C, 24"E SINGLE BAFFLE. MODEL JP-750-ECE-G. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS. CONTRACTOR TO COORDINATE WITH, AND TO INSTALL UNDER DIRECT SUPERVISION OF CVWD.	EA	5
5	FURNISH AND INSTALL JENSEN PRECAST SAMPLE BOX WITH PIPE CONNECTORS. MODEL EV200. PROPOSED RIM COVER TO NEW PROPOSED FINISH GRADE. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS.	EA	5
6	FURNISH AND INSTALL 6" ABS SEWER CLEANOUT TO GRADE W/ COVER, CVWD STD. DWG. NO. S-6, MODIFIED MATERIAL.	EA	4
7	FURNISH AND INSTALL 6" ABS SEWER PIPE, LENGTH PER DATA TABLE HEREON. MINIMUM 1% PIPE SLOPE. INVERT ELEVATIONS PER PLAN. SEWER TRENCH PER CVWD STD. DWG. NO. S-7.	LF	57
8	CONTRACTOR TO VERIFY AND INSTALL IF NECESSARY SEWER LINE REROUTING PER STANDARD DETAIL ON SHEET 07. FURNISH AND INSTALL FOUR (4) 45° ABS WYES. MINIMUM 2% SLOPE, 4" REROUTE LINE. IF REROUTED PIPE IS LESS THAN 2%, USE 6" ABS SEWER PIPE AT MINIMUM 1% SLOPE WITH ECCENTRIC FLOW LINE CONNECTION FITTINGS TO EX. SEWER LINE.	LS	1

CONSTRUCTION PHASING REQUIREMENT:

CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER'S REPRESENTATIVE, MR. MARIO MORENO, PHONE: (760) 902-1138; AND COORDINATE WITH BUSINESSES REGARDING DISCONNECTION OF EXISTING SEWER AND CONNECTION TO NEW GREASE INTERCEPTOR PIPING. CONTRACTOR TO COORDINATE AND MITIGATE DOWNTIME OF BUSINESS OPERATIONS DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL NEW GREASE INTERCEPTOR READY FOR CONNECTION TO EXISTING SEWER LINES PRIOR TO DISCONNECTING AND REMOVING EXISTING GREASE INTERCEPTOR.



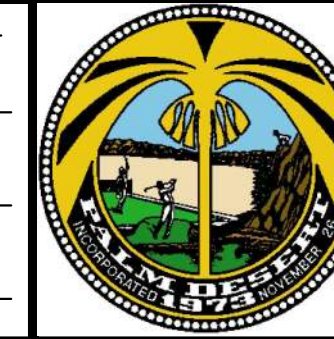
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ENGINEER			REVISIONS		CITY	
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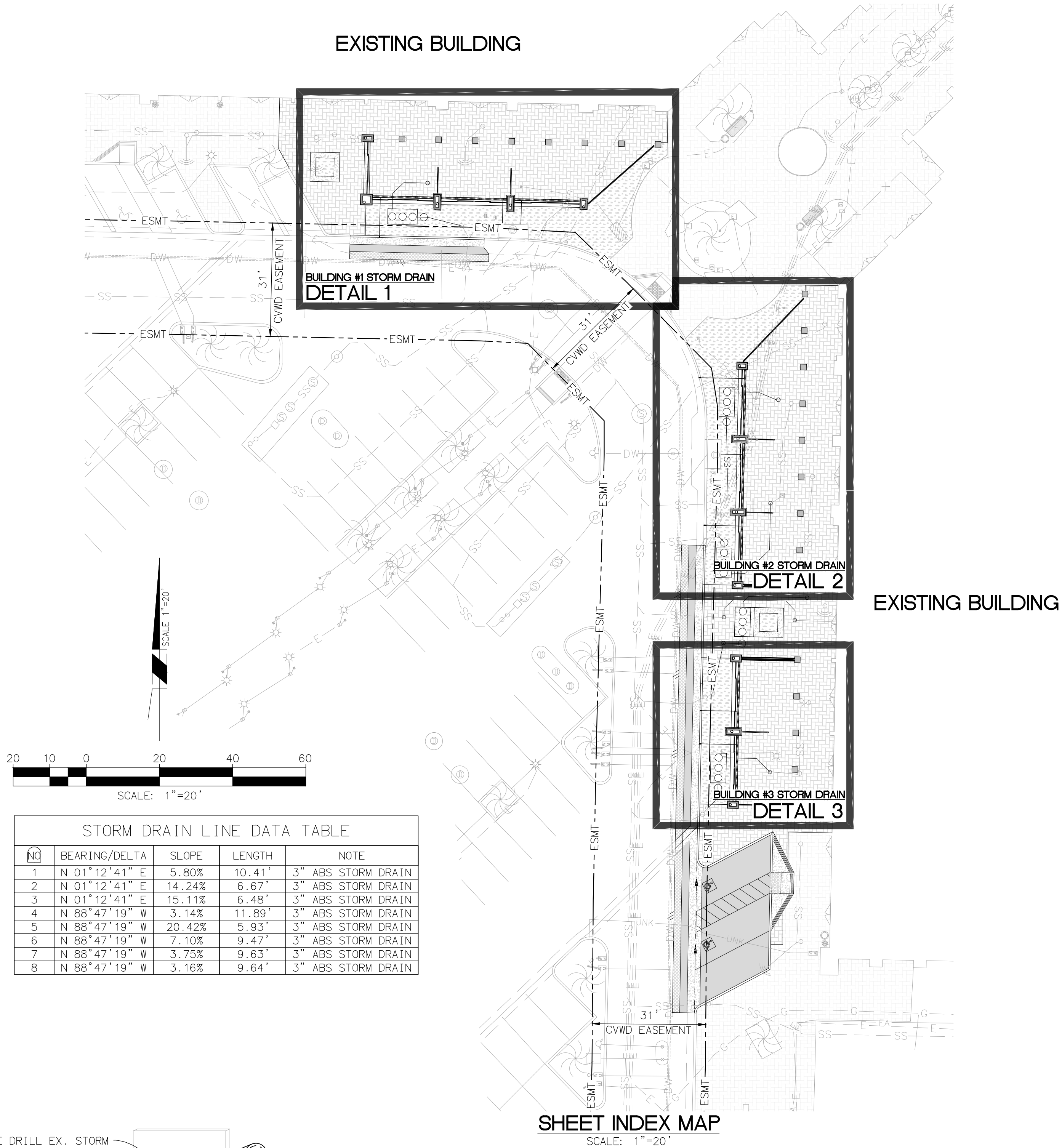
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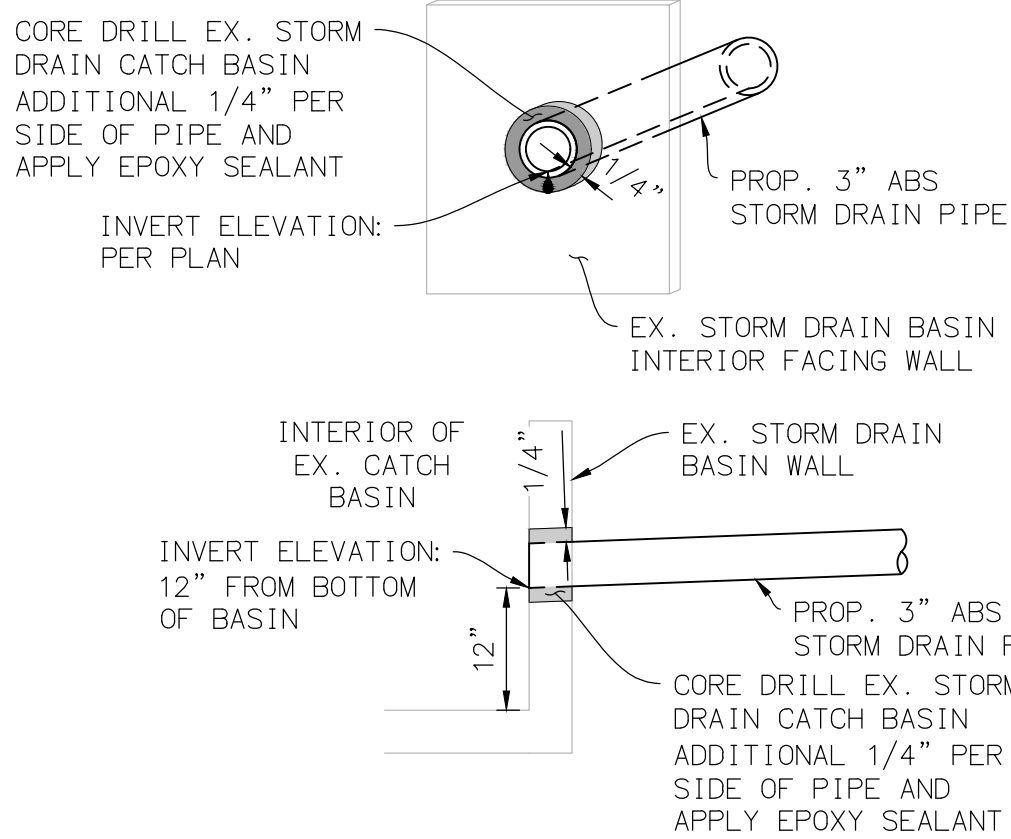
CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
PRIVATE UTILITY PLAN
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.
SHEET **04** OF **07** SHEETS
CITY FILE NUMBER _____

EXISTING BUILDING



EXISTING BUILDING

STORM DRAIN LINE DATA TABLE					
NO	BEARING/DELTA	SLOPE	LENGTH	NOTE	
1	N 01°12'41" E	5.80%	10.41'	3" ABS STORM DRAIN	
2	N 01°12'41" E	14.24%	6.67'	3" ABS STORM DRAIN	
3	N 01°12'41" E	15.11%	6.48'	3" ABS STORM DRAIN	
4	N 88°47'19" W	3.14%	11.89'	3" ABS STORM DRAIN	
5	N 88°47'19" W	20.42%	5.93'	3" ABS STORM DRAIN	
6	N 88°47'19" W	7.10%	9.47'	3" ABS STORM DRAIN	
7	N 88°47'19" W	3.75%	9.63'	3" ABS STORM DRAIN	
8	N 88°47'19" W	3.16%	9.64'	3" ABS STORM DRAIN	



5 EX. STORM DRAIN CATCH BASIN CONNECTION

NOT TO SCALE

CONSTRUCTION NOTES

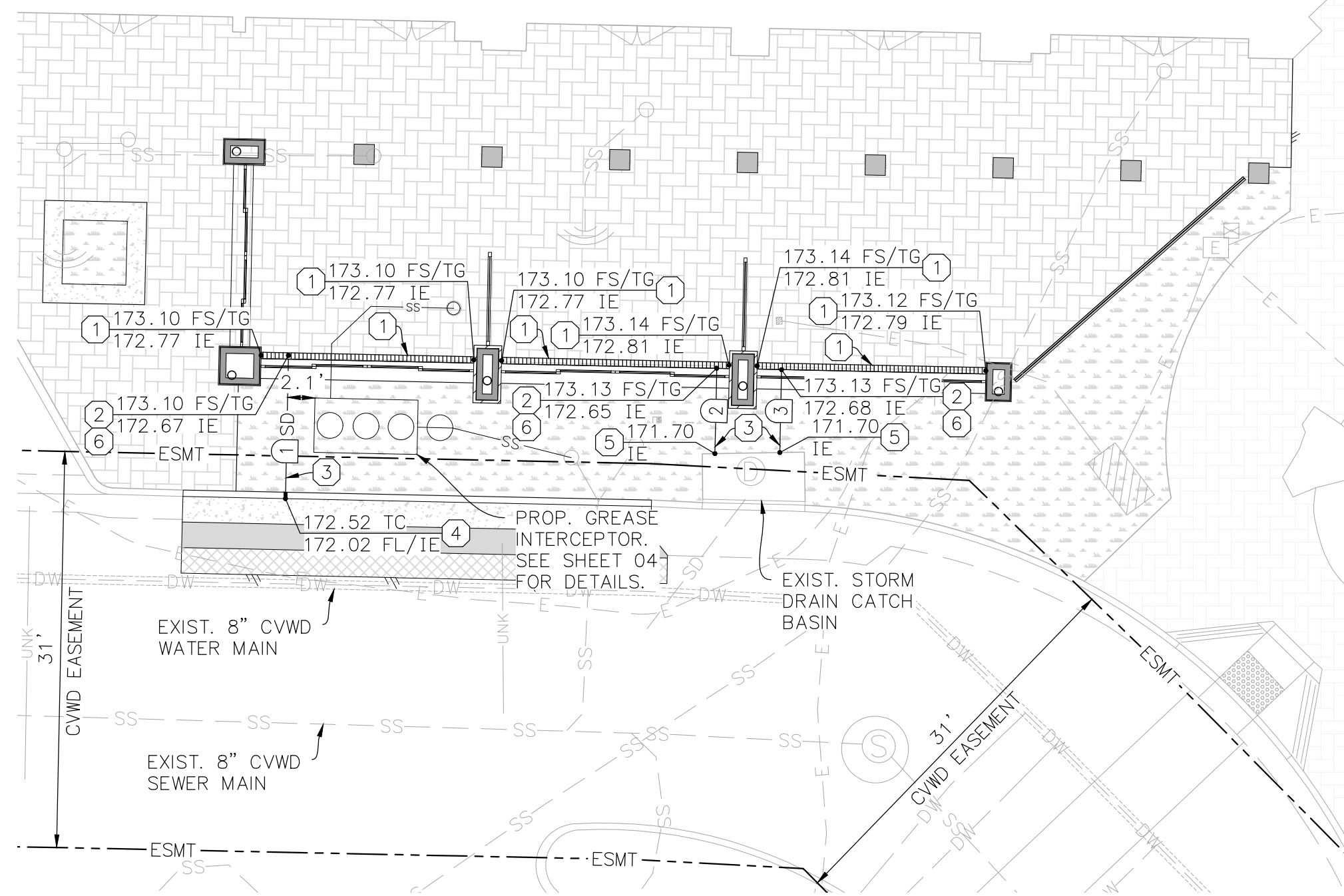
	UNIT	QTY
1 FURNISH AND INSTALL NDS DURASLOPE CHANNEL DRAIN. NO NEUTRALS. USE NDS DS-232 DUCTILE IRON CHANNEL DRAIN GRATE. TOP OF GRATE, FINISH SURFACE, AND INVERT ELEVATIONS PER PLAN.	LF	142
2 FURNISH AND INSTALL NDS DS-340 CHANNEL DRAIN IN-LINE CATCH BASIN. TOP OF GRATE, FINISH SURFACE, AND INVERT ELEVATIONS PER PLAN.	EA	8
3 FURNISH AND INSTALL 3" ABS STORM DRAIN PIPE AND FITTINGS. INVERT ELEVATIONS PER PLAN.	LF	71
4 CURB CORE EXISTING / PROPOSED CURB FOR STORM DRAIN PIPE OUTLET. INVERT ELEVATIONS PER PLAN.	EA	5
5 CONNECT TO EXISTING STORM DRAIN CATCH BASIN PER DETAIL HEREON. INVERT ELEVATIONS PER PLAN.	EA	3
6 FURNISH AND INSTALL PIPE SLEEVE FOR FOOTING CROSSING PER STRUCTURAL ENGINEER'S PLANS.	EA	8

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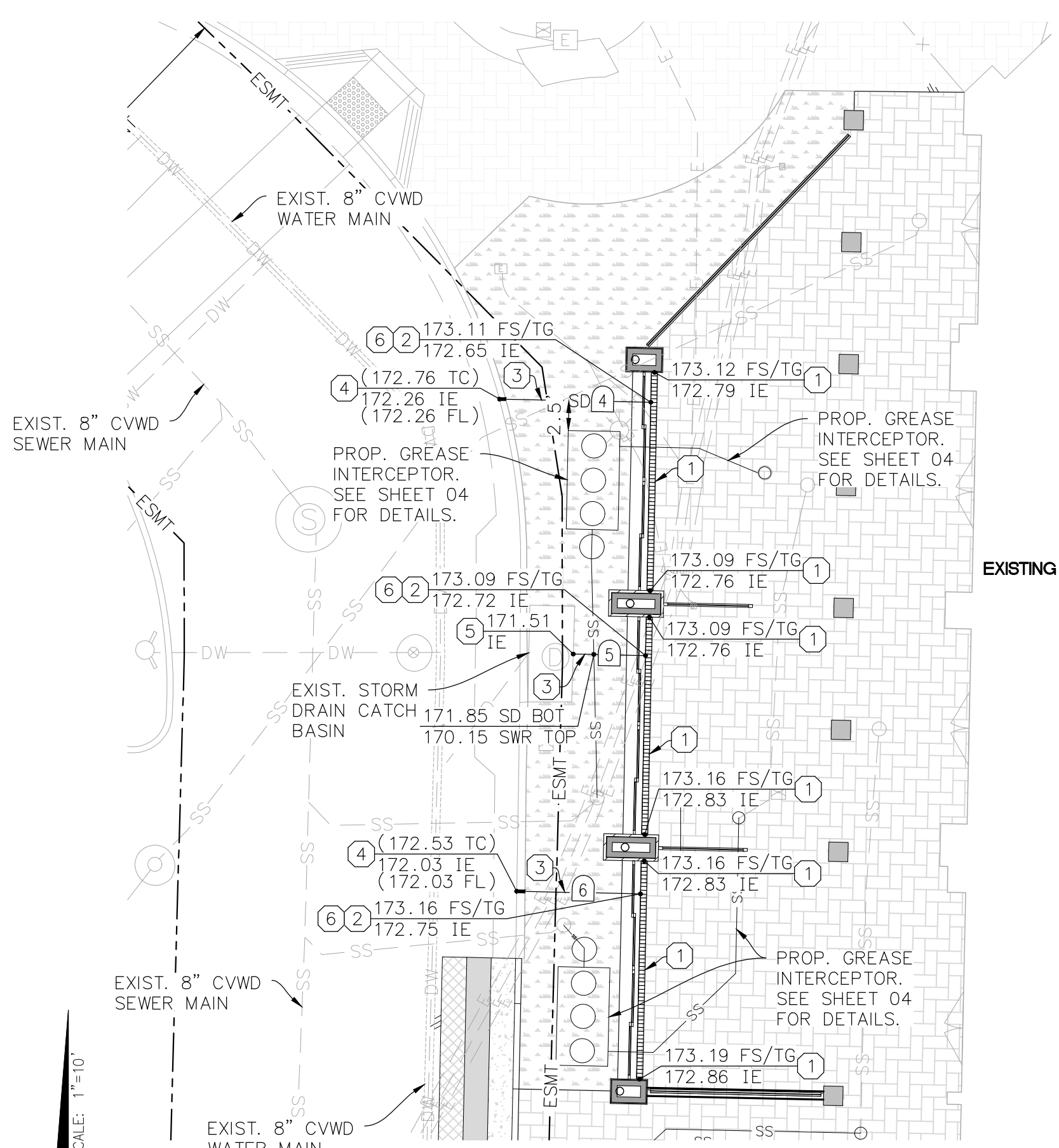
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EXISTING BUILDING



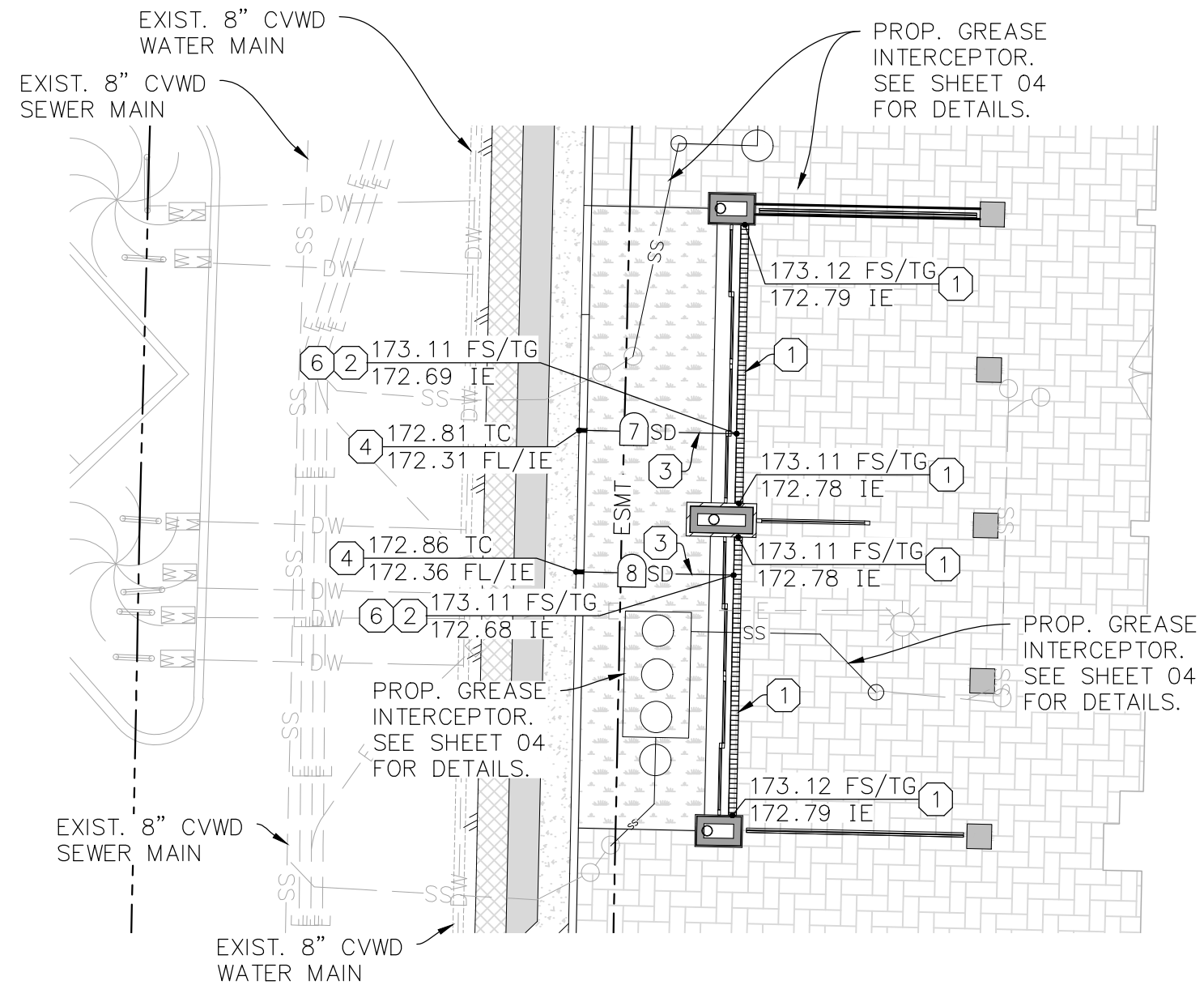
DETAIL 1

SCALE: 1"=10'



DETAIL 2

SCALE: 1"=10'



DETAIL 3

SCALE: 1"=10'



BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATE: NOV029
2" CRD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEIN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB. ELEVATION = NOV029
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL 1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK 224, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING: NORTH 86°47'32" WEST.

ENGINEER			REVISIONS			CITY	
MARK	BY	DATE				APPR.	DATE



Michael Baker INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760) 346-7481 MB@BKRINTL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

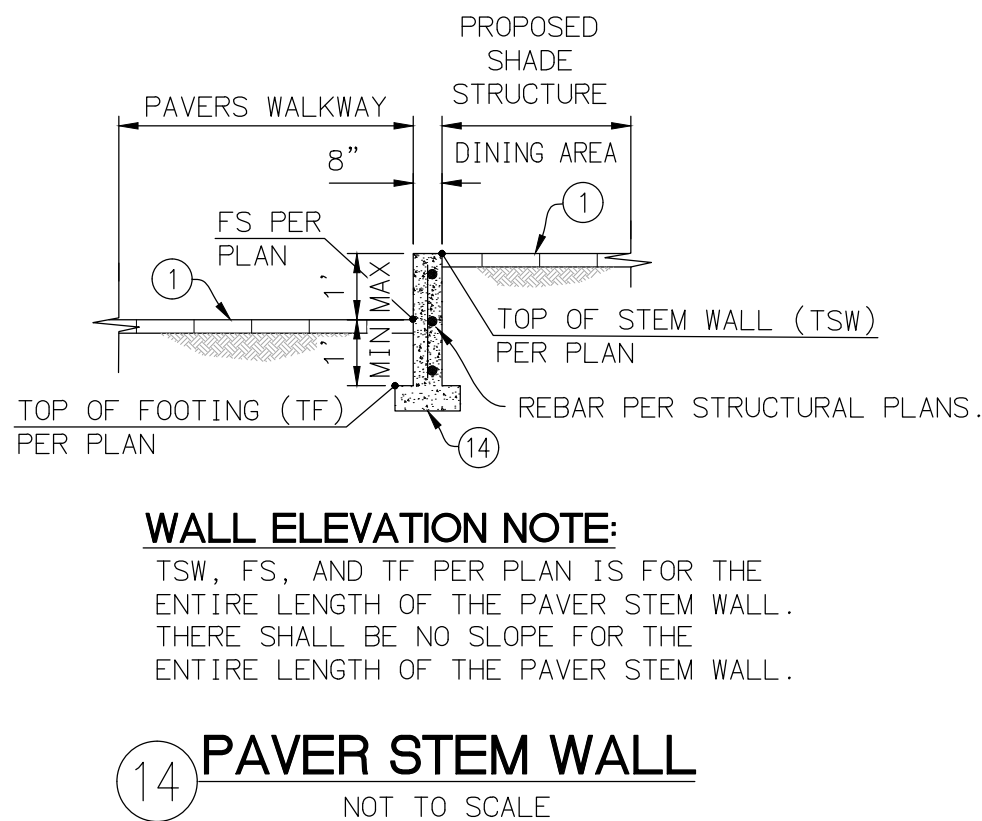
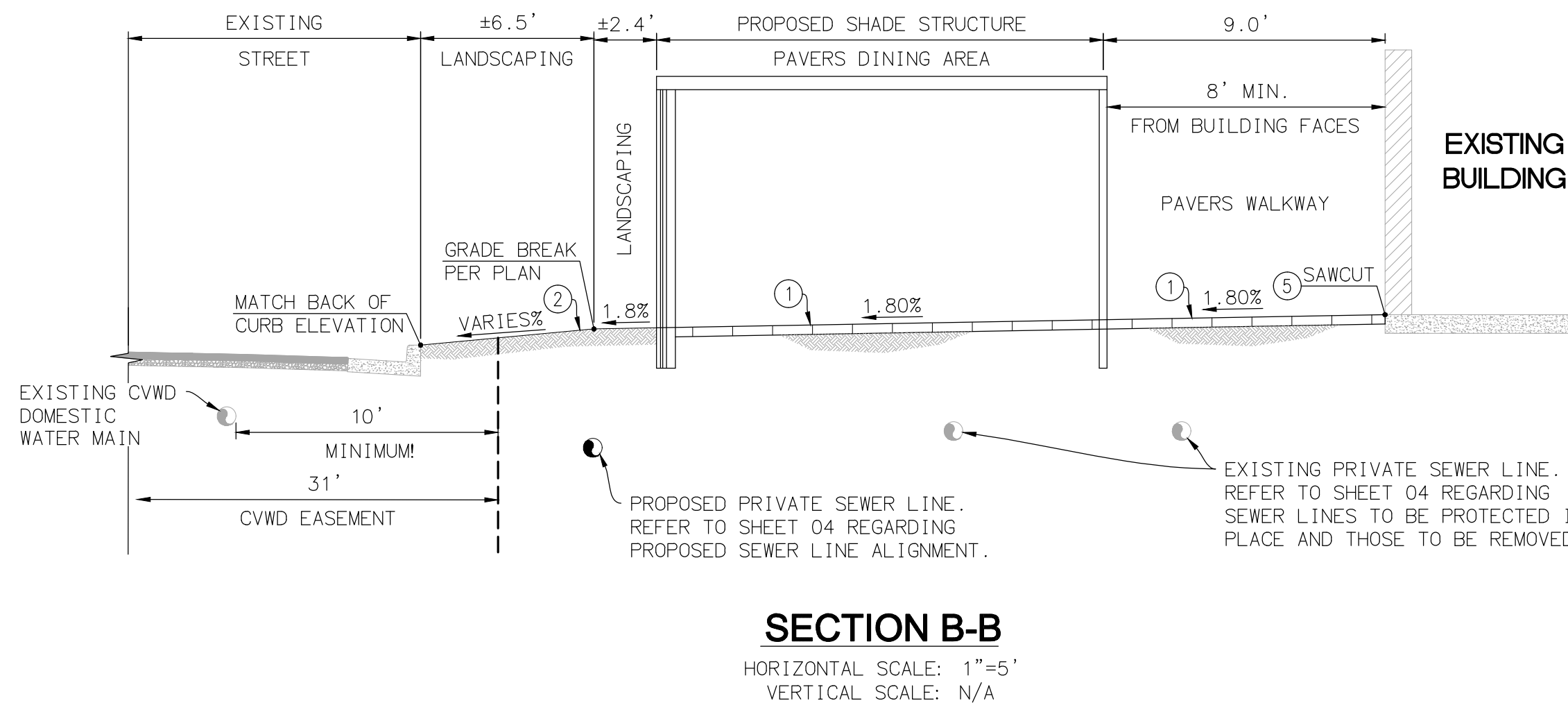
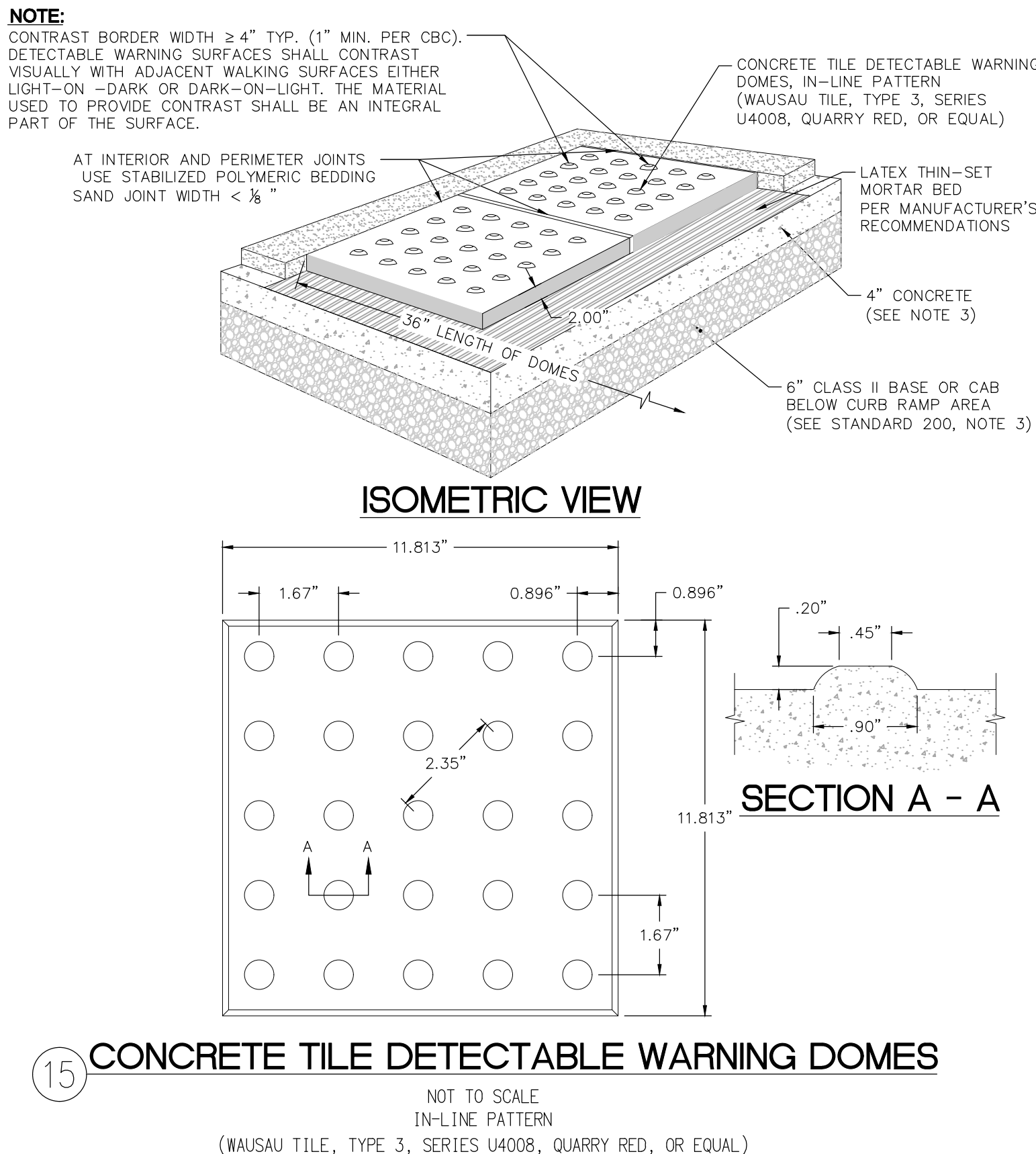
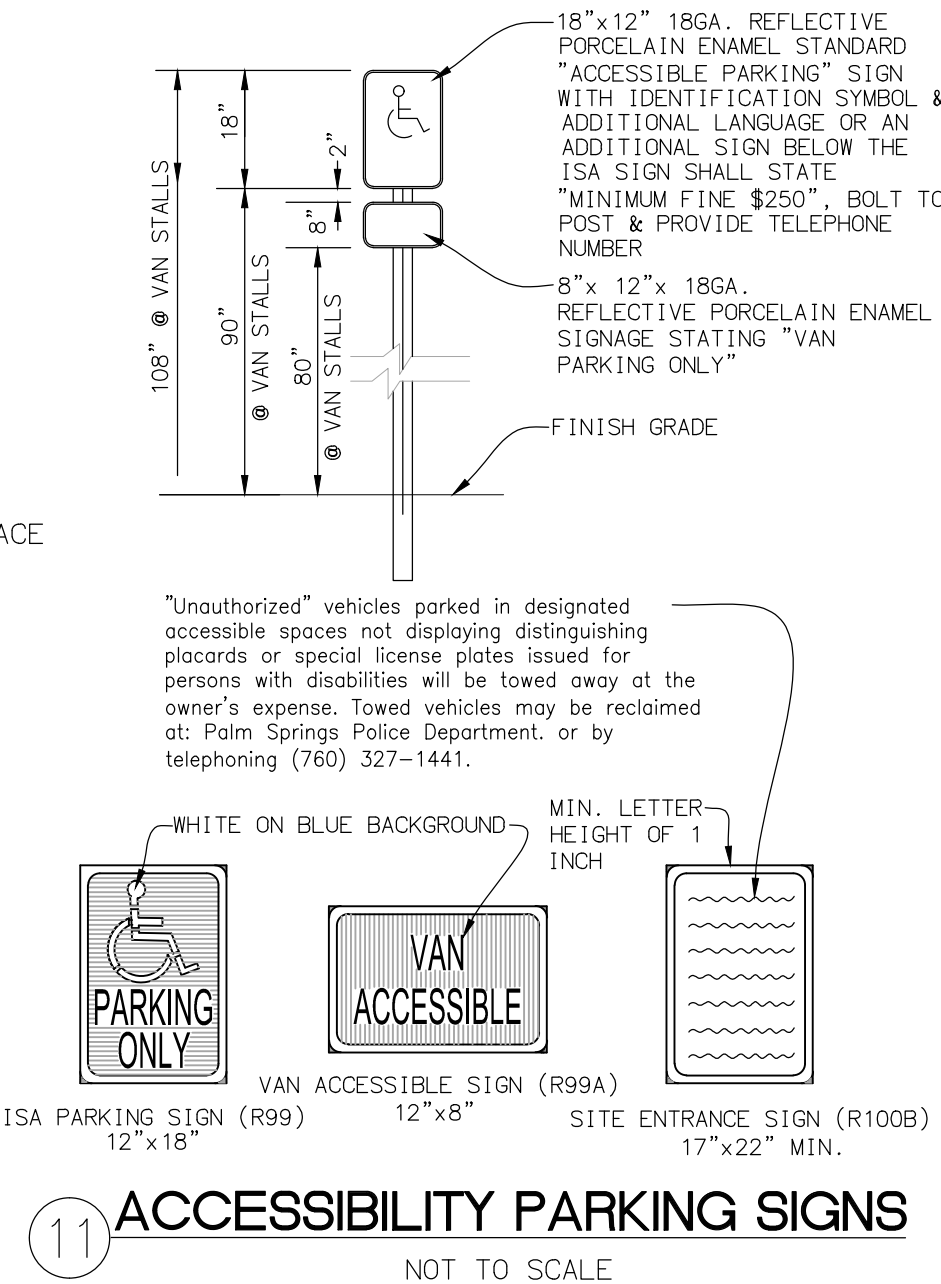
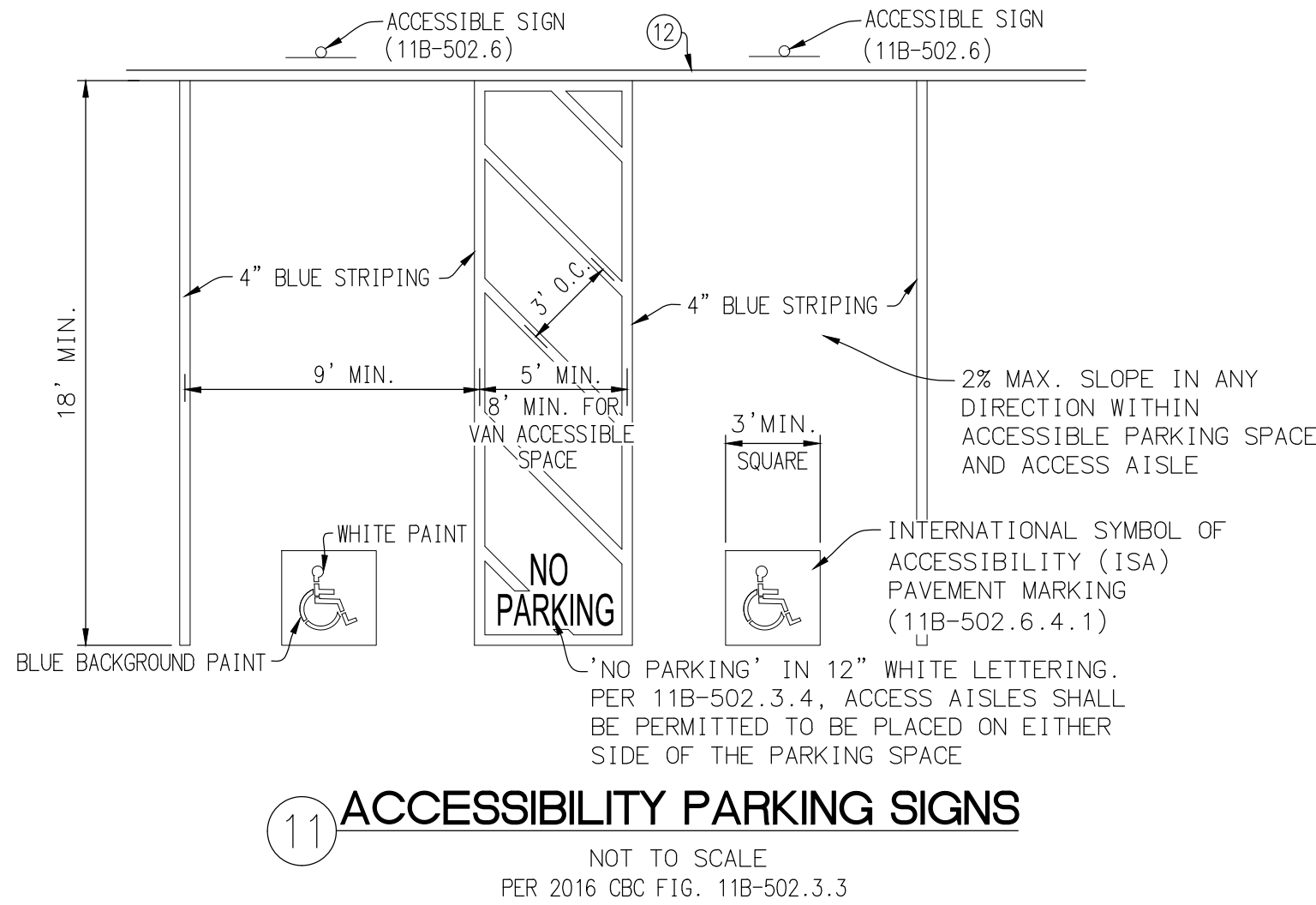
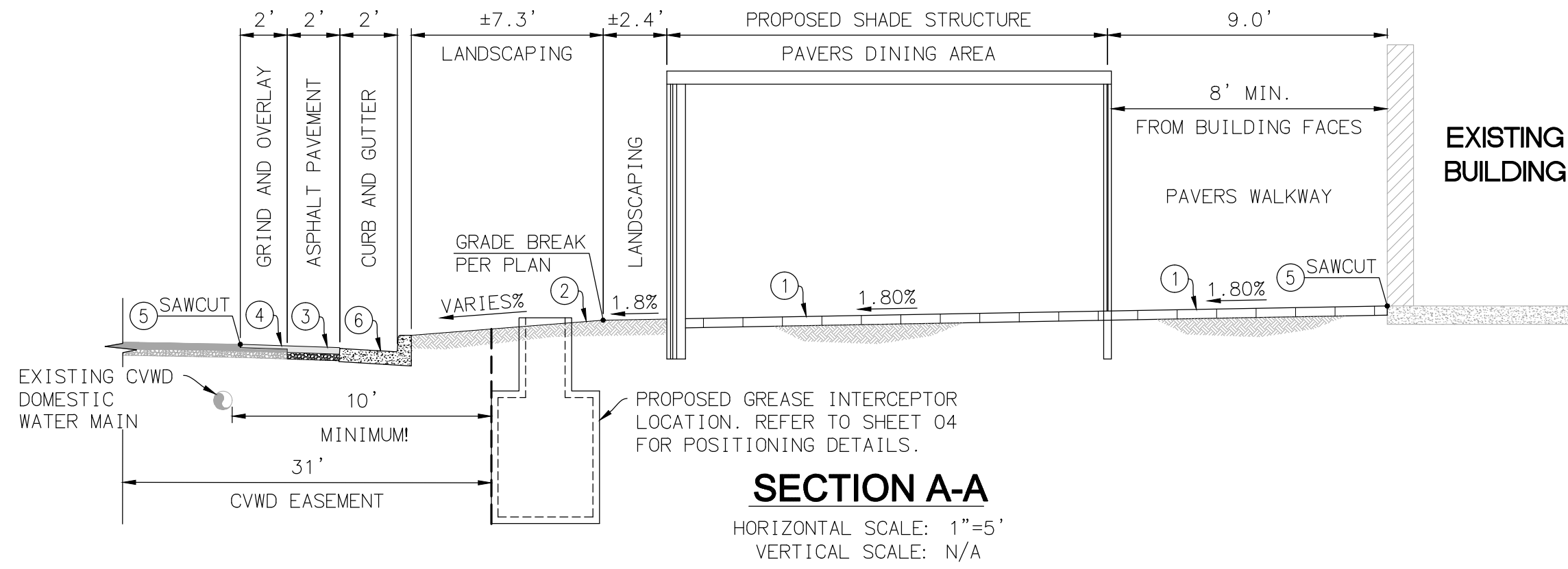
CITY OF PALM DESERT
DEPARTMENT OF PUBLIC WORKS
APPROVED BY: _____ DATE: _____
REVIEWED AND RECOMMENDED BY: _____ DATE: _____

PLAN CHECKED BY:
CIVIL
TRAFFIC
LANDSCAPE

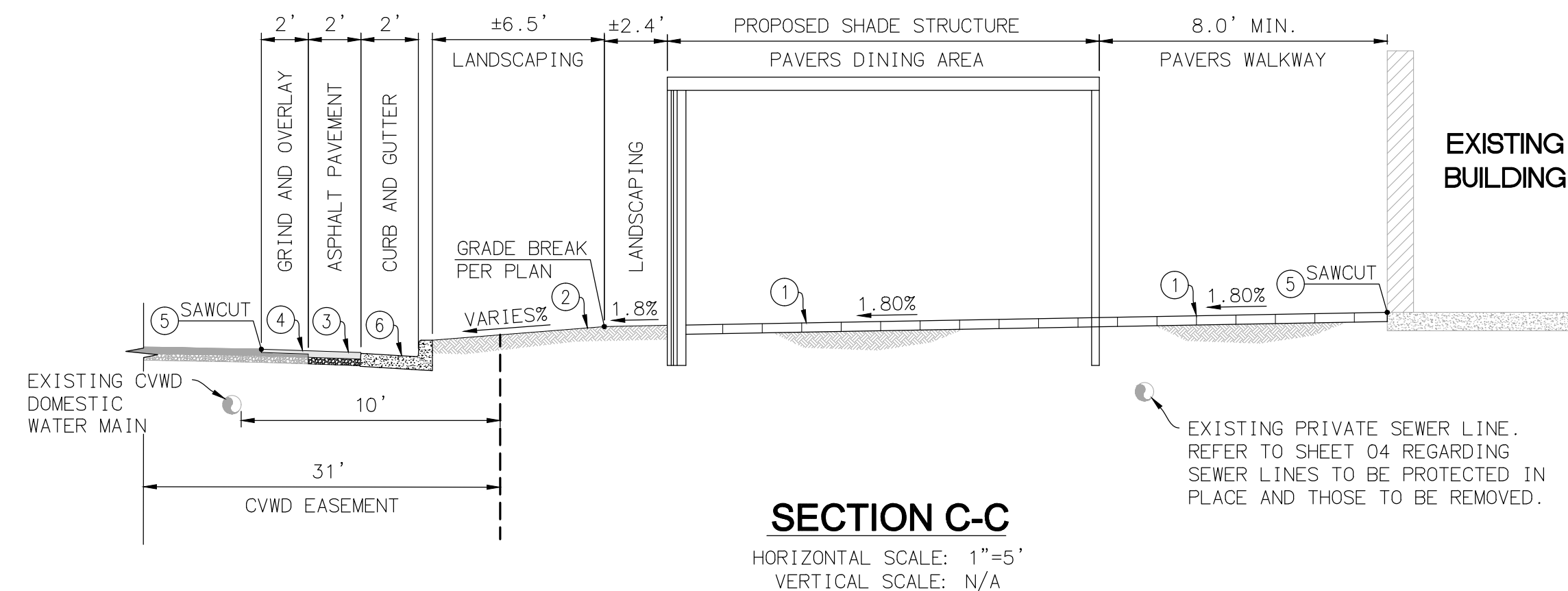


CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
PRIVATE STORM DRAIN PLAN
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 05
OF SHEETS 07
CITY FILE NUMBER



CONSTRUCTION NOTES	
1	CONSTRUCT PEDESTRIAN CONCRETE PAVERS PER LANDSCAPE ARCHITECT PLANS.
2	LANDSCAPING PER LANDSCAPE ARCHITECT PLANS.
3	CONSTRUCT 4" A.C. PAVEMENT OVER 8.5" CLASS II AGGREGATE BASE PER GEOTECHNICAL REPORT.
4	PROPOSED GRIND AND OVERLAY.
5	JOIN / MATCH EXISTING SURFACES AND ELEVATIONS PER PLAN.
6	CONSTRUCT CURB AND GUTTER TYPE I PER CITY OF PALM DESERT STD. DRAWING NO. 102.
11	INSTALL ACCESSIBILITY PARKING SPACE SIGNAGE AND MARKINGS PER DETAILS ON SHEET 06.
12	CONSTRUCT CURB - TYPE II PER CITY OF PALM DESERT STD. DRAWING NO. 103.
14	CONSTRUCT PAVER STEM WALL PER DETAIL ON SHEET 06.
15	INSTALL TRUNCATED DOMES PER DETAIL ON SHEET 06.



EXISTING UTILITY REQUIREMENT:

THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER'S REPRESENTATIVE, MR. MARIO MORENO, PHONE: (760) 902-1138 TO LOCATE AND POTHOLE ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO DEMOLITION, NEW UTILITY CONSTRUCTION, AND BUILDING FOUNDATION TRENCHING WORK.

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BENCHMARK: PALM DESERT BM #103
ELEVATION: 245.889' DATUM: NGVD29
2" CPD BRONZE DISK IN CONC. CATCH BASIN, STAMPED ROBERT BEN, WILLIAM FROST AND ASSOCIATES JUNE 1995, NORTH END OF CONC. CATCH BASIN ON WEST SIDE OF COOK ST., SOUTH OF FRANK SINATRA DR., 5.5 FT SOUTH OF SOUTHERLY ECR, 1.2 FT WEST OF CURB. ELEVATION = NGVD29
BASIS OF BEARINGS:
BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF PARCEL 1, PER PARCEL MAP NO. 35741, AS SHOWN BY A MAP ON FILE IN BOOK 224, PAGES 77 AND 78, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING: NORTH 86°47'32" WEST.

ENGINEER			REVISIONS			CITY		
MARK	BY	DATE				APPR.	DATE	



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PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

CITY OF PALM DESERT DEPARTMENT OF PUBLIC WORKS APPROVED BY:		PLAN CHECKED BY:	
	DATE		CIVIL
	DATE		TRAFFIC
	DATE		LANDSCAPE



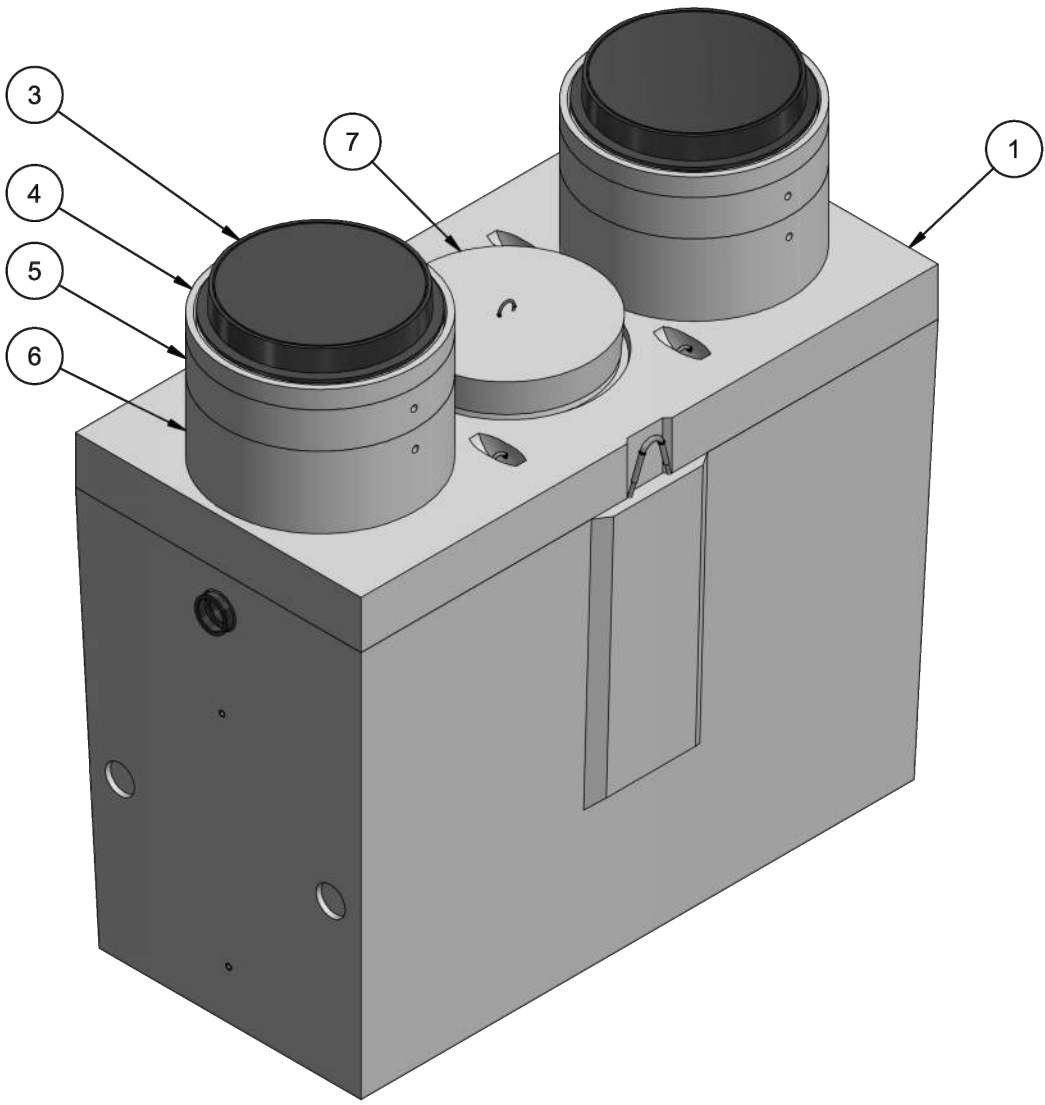
CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
SECTIONS AND DETAILS
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 06
OF SHEETS 07
CITY FILE NUMBER

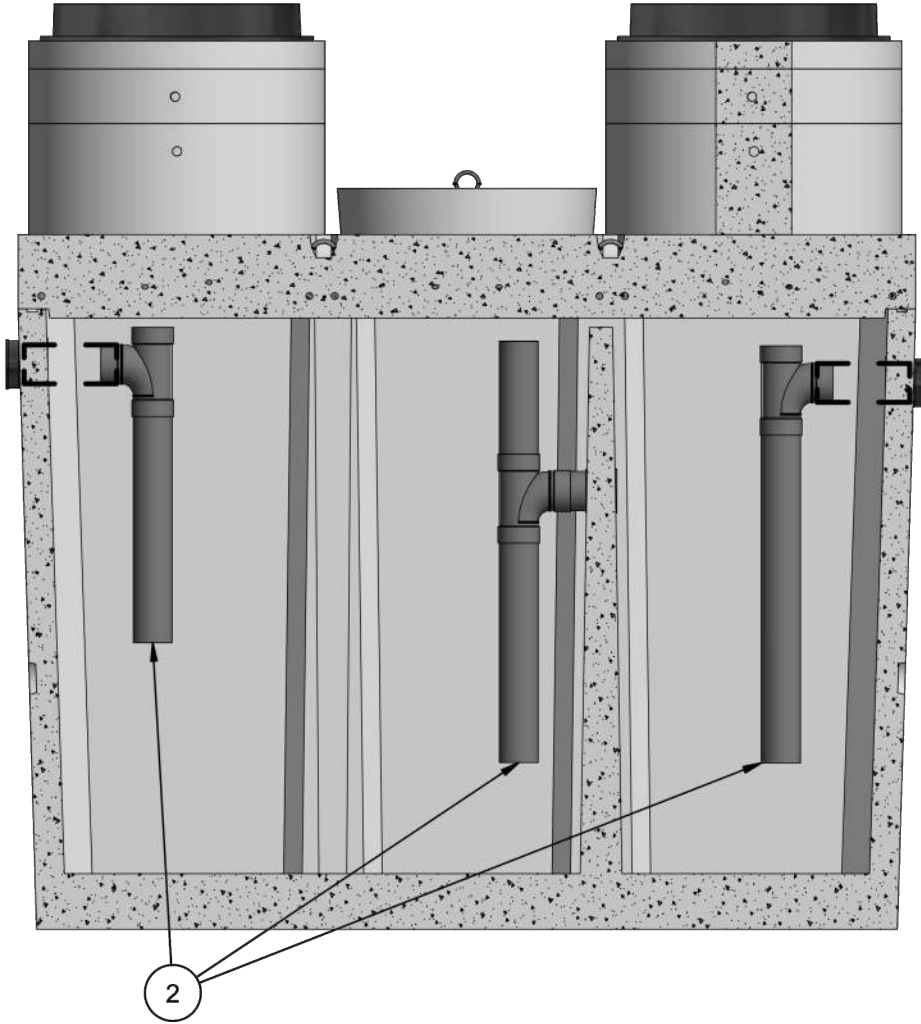
NOTES

- IN COMPLIANCE WITH UNIFORM PLUMBING CODE (UPC), INTERNATIONAL PLUMBING CODE (IPC), AND STRUCTURAL LOADING REQUIREMENTS OF ASTM INTERNATIONAL C1613.
- JENSEN PRECAST'S PRODUCT IS LISTED BY IAPMO R&T TO STANDARD Z1001.
- MODEL JP-750-ECE-G
- MINIMUM ONE (1) ACCESS OPENING PER COMPARTMENT REQUIRED (AS SHOWN). ADDITIONAL ACCESS CAN BE ADDED IN LIEU OF PLUG COVER WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- MUST BE INSTALLED PER "JENSEN PRECAST UNDERGROUND WASTEWATER PRECAST CONCRETE TANK INSTALLATION PROCEDURE" WHICH CAN BE FOUND AT <https://www.jensenprecast.com/Tank-Installation-Procedure-d2106.pdf>. THIS PROCEDURE ADDRESSES REQUIRED EXCAVATION, SITE PREPARATION, INSTALLATION, VENTILATION, AND WATER/VACUUM TESTING

BILL OF MATERIALS				
ITEM	QTY	PART NUMBER	DESCRIPTION	WEIGHT (LBS)
1	1	200018837	Tank JP 750 Gallon 4 Inch Assembly 24"E, 24"C, 24"E Single Baffle	10209
2	1	200048771	200030253 Plumbing - JP 750 4 Inch Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle	10
3	JOB SPECIFIC	100005850	CI RINGCOVER 24DIA B-5105-02/B-5105-R2 ASTM A48 CL35B CP O-RING GASKET OSI JENSEN/INTERCEPT	196
4	JOB SPECIFIC	100001524	Grade Ring D2432x3	87
5	JOB SPECIFIC	100001525	Grade Ring D2432x6	180
6	JOB SPECIFIC	100001526	Grade Ring D2432x12	365
7	JOB SPECIFIC	100012046	Plug Cover D2428x6 Slab Top	300



ISO LAYOUT



SECTION

MODEL:
JP-750-ECE-G

REVISION HISTORY			
REV	DESCRIPTION	DATE	BY
A	DRAWING CREATED	10/4/2019	J HILLMAN
B	TOP SLAB LIFTING AND PLUMBING UPDATED	2/4/2021	C Keller
C	PRODUCT WEIGHT UPDATE	4/29/2021	BGD
D	ACCESSORIES UPDATED	6/29/2022	E FINE

DESCRIPTION:
Tank JP 750 Gallon 4 Inch Layout Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle

LAYOUT REVIEW			
PART NUMBER:	200030253	DRAWN BY:	E. Fine
CREATED:	1/31/2019	MODIFIED:	6/29/2022

REV: D-2

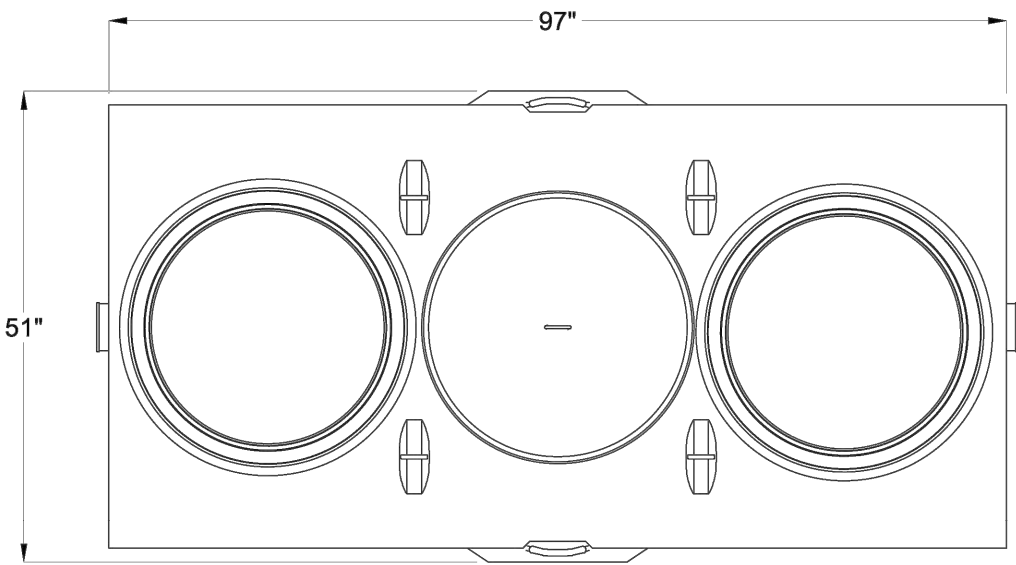
SHEET: 1 OF 2

BURY DEPTH:	1.1' - 6.0' to Top
WATER LEVEL:	Below Structure
DESIGN SPEC:	ASTM C890,ACI 318
REINFORCEMENT TYPE:	

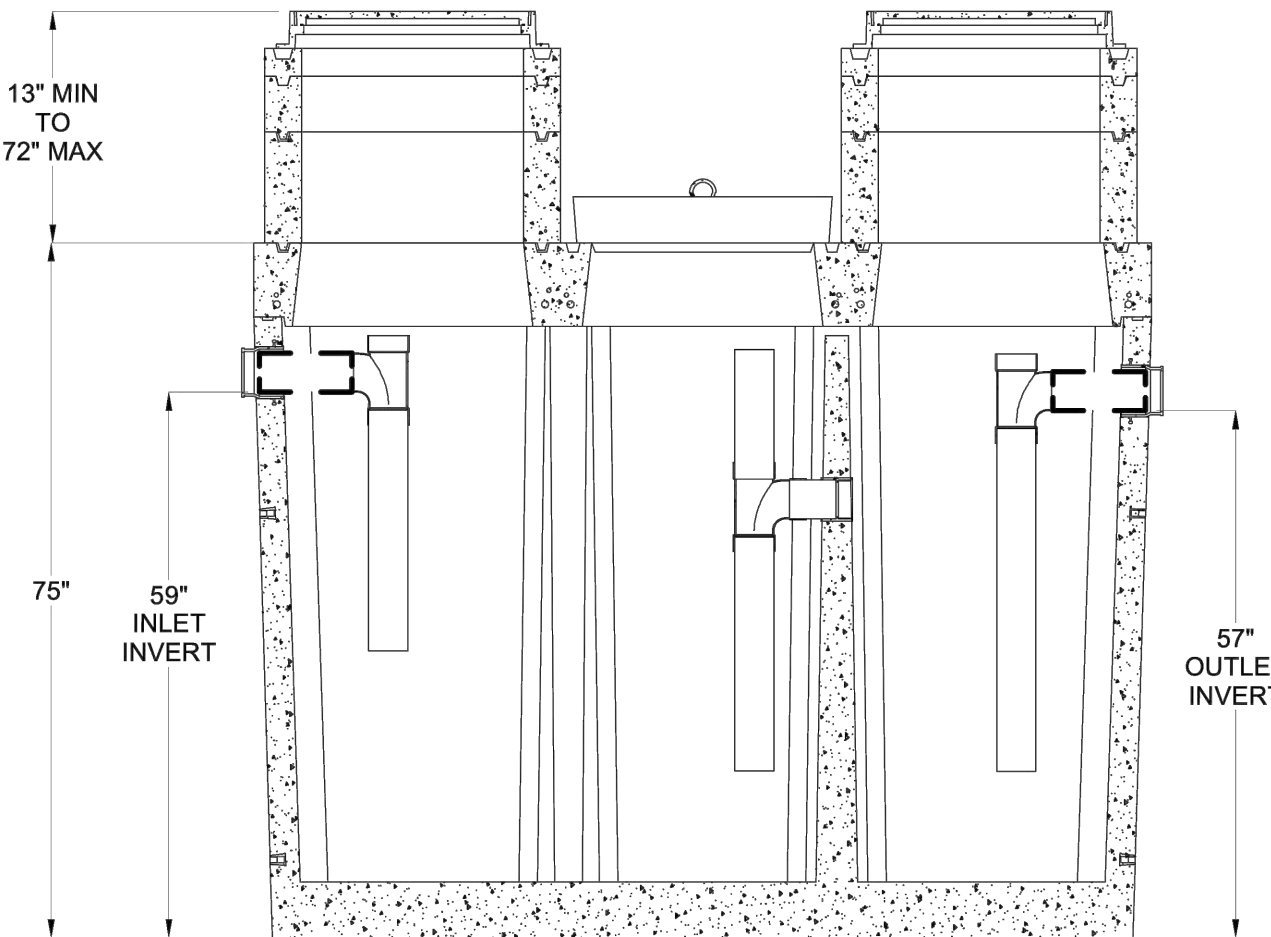
WEIGHT:	12175.61 Lbs
LOADING SPEC:	A-16 (AASHTO HS20-44)
LIFTING TYPE:	

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PLAN VIEW



CROSS SECTION

BURY DEPTH:	1.1' - 6.0' to Top
WATER LEVEL:	Below Structure
DESIGN SPEC:	ASTM C890,ACI 318
REINFORCEMENT TYPE:	

WEIGHT:	12175.61 Lbs
LOADING SPEC:	A-16 (AASHTO HS20-44)
LIFTING TYPE:	

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DESCRIPTION:
Tank JP 750 Gallon 4 Inch Layout Gravity Grease Interceptor 24"E, 24"C, 24"E Single Baffle

LAYOUT DRAWING			
PART NUMBER:	200030253	DRAWN BY:	E. Fine
CREATED:	1/31/2019	MODIFIED:	6/29/2022

REV: D-2

SHEET: 2 OF 2



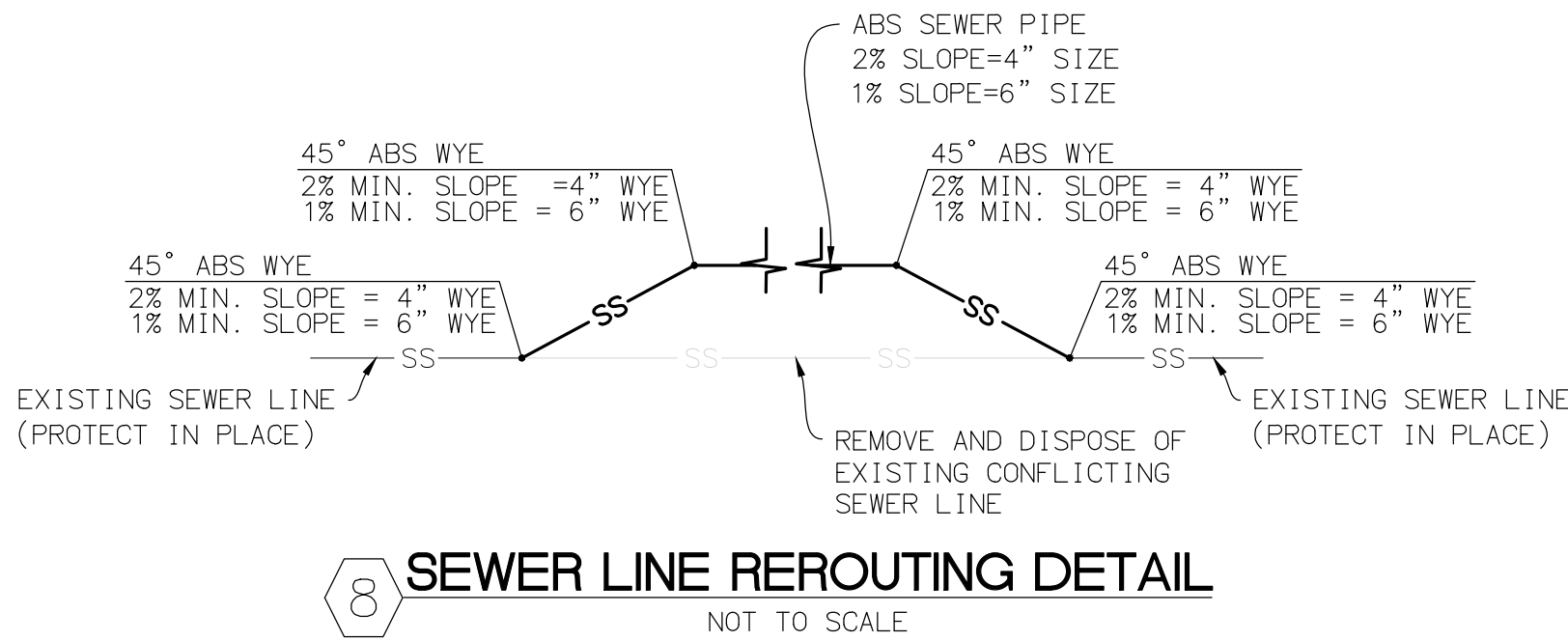
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ELEVATION: 245.889' DATUM: NGVD29
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ENGINEER			REVISIONS			CITY		
MARK	BY	DATE				APPR.	DATE	



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PREPARED UNDER THE DIRECT SUPERVISION OF:
BRENT NGUYEN, RCE NO. 94872, EXP. JUN. 30, 2025

CONSTRUCTION PHASING REQUIREMENT:
CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER'S REPRESENTATIVE, MR. MARIO MORENO, PHONE: (760) 902-1138; AND COORDINATE WITH BUSINESSES REGARDING DISCONNECTION OF EXISTING SEWER AND CONNECTION TO NEW GREASE INTERCEPTOR PIPING. CONTRACTOR TO COORDINATE AND MITIGATE DOWNTIME OF BUSINESS OPERATIONS DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL NEW GREASE INTERCEPTOR READY FOR CONNECTION TO EXISTING SEWER LINES PRIOR TO DISCONNECTING AND REMOVING EXISTING GREASE INTERCEPTOR.

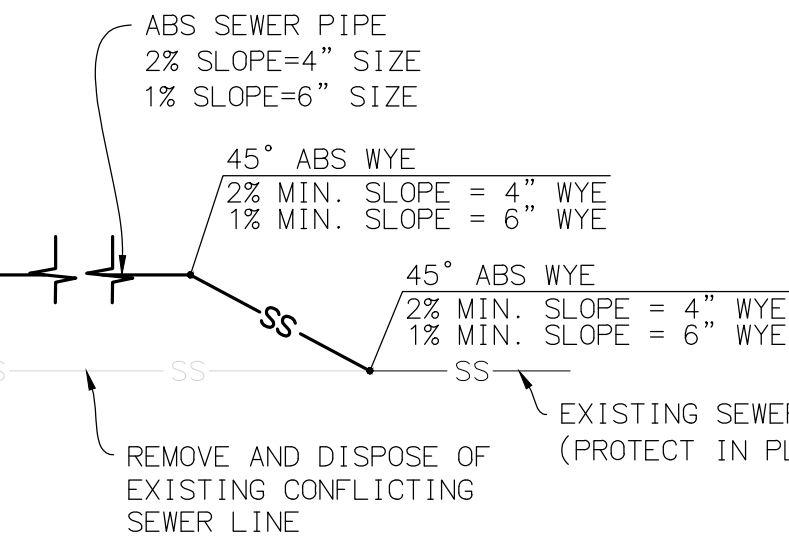


SEWER LINE REROUTING DETAIL

NOT TO SCALE

CONSTRUCTION NOTES

- FURNISH AND INSTALL JENSEN PRECAST 750 GALLON, TRAFFIC RATED, 4" LAYOUT GRAVITY GREASE INTERCEPTOR, 24"E, 24"C, 24"E SINGLE BAFFLE, MODEL JP-750-ECE-G. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS. CONTRACTOR TO COORDINATE WITH, AND TO INSTALL UNDER DIRECT SUPERVISION OF CVWD.
- FURNISH AND INSTALL JENSEN PRECAST SAMPLE BOX WITH PIPE CONNECTORS, MODEL EV200. PROPOSED RIM COVER TO NEW PROPOSED FINISH GRADE. SEE SHEET 07 FOR GREASE INTERCEPTOR DETAILS.
- CONTRACTOR TO VERIFY AND INSTALL IF NECESSARY SEWER LINE REROUTING PER STANDARD DETAIL ON SHEET 07. FURNISH AND INSTALL FOUR (4) 45° ABS WYES. MINIMUM 2% SLOPE, 4" REROUTE LINE. IF REROUTED PIPE IS LESS THAN 2%, USE 6" ABS SEWER PIPE AT MINIMUM 1% SLOPE WITH ECCENTRIC FLOW LINE CONNECTION FITTINGS TO EX. SEWER LINE.

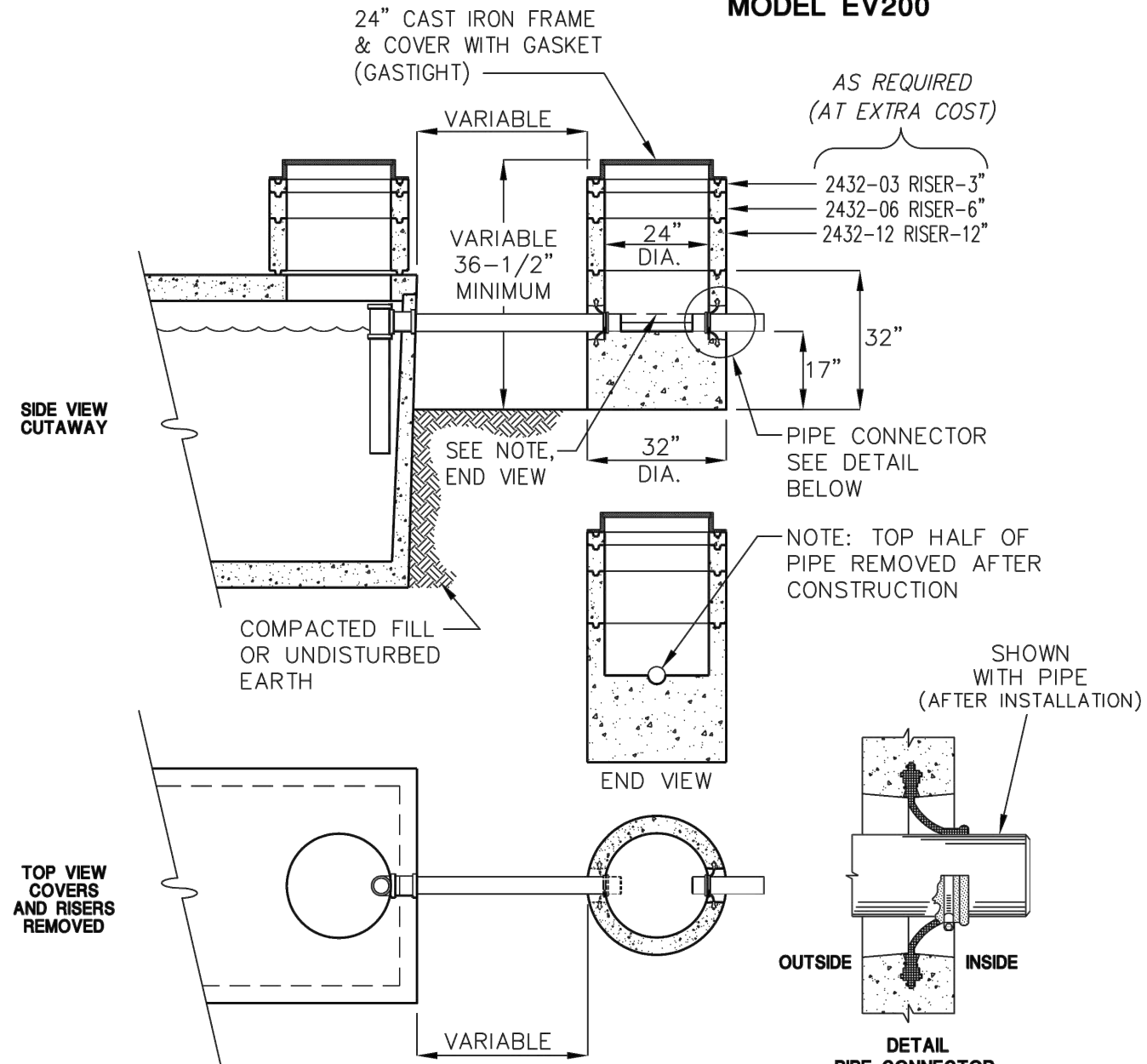


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SAMPLE BOX WITH PIPE CONNECTORS MODEL EV200



WEIGHT: 1680 LBS.
BOX DESIGN LOAD: H-20 TRAFFIC

SAMPLE BOX MUST BE PLACED ON SUITABLE BASE OF COMPACTED SOIL OR UNDISTURBED EARTH IN TRAFFIC CONDITION. FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

PIPE CONNECTOR CAST INTEGRALLY IN WALL. WILL ACCEPT PIPE O.D. (INCHES)
MIN. 4.25
MAX. 6.25
SEE PIPE CONNECTOR PAGE FOR ADDITIONAL INFORMATION



6/25/03
EV200SampleBox.dwg
© 2002, Jensen Precast

CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
GREASE INTERCEPTOR DETAILS

LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 07
OF SHEETS 07
CITY FILE NUMBER

N.A.P.
PARCEL 12
4.256 AC.

N.A.P.
PARCEL 1
0.511 AC.

PARCEL 1
2.762 A.C.

PARCEL 1
2.762 A.C.

PARCEL 2
2.567 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 3
0.688 AC.

N.A.P.
PARCEL 5
0.925 AC.

N.A.P.
PARCEL 4
0.513 AC.

SEE TOP RIGHT FOR CONTINUATION

SETBACKS

NOTE: CITY OF PALM DESERT HAS
COMMERCIAL BUILDING SETBACKS
FROM PROPERTY LINES AT 0'.

GROSS AND NET ACREAGE OF PARCEL(S)

PARCEL 1
- GROSS ACREAGE: 2.762 AC.
- NET ACREAGE: 2.762 AC.

PARCEL 2
- GROSS ACREAGE: 2.567 AC.
- NET ACREAGE: 2.567 AC.

LANDSCAPE PERCENTAGE

(IN AND ADJACENT TO THE PARKING AREA)

PARCEL 1
- 0.472 AC. = 17.1% OF PARCEL 1

PARCEL 2
- 0.457 AC. = 17.8% OF PARCEL 2

LOT COVERAGE

PERCENTAGE OF LAND COVERED BY BUILDING(S):

PARCEL 1
- EXISTING NORTH BUILDING: 17,546 S.F.
- PROPOSED NORTH PATIO STRUCTURE: 1,079 S.F.

TOTAL: 18,625 S.F. = 0.427 AC. = 15.5%

PARCEL 2
- EXISTING EAST BUILDING: 17,546 S.F.
- PROPOSED CENTRAL PATIO STRUCTURE: 1,079 S.F.
- SOUTH PATIO STRUCTURE: 622 S.F.

TOTAL: 19,247 S.F. = 0.442 AC. = 17.2%

APN

694-190-049 AND 694-190-050

LEGEND

—— PARCEL LINES
- - - - - ADA PATH OF TRAVEL
- - - - - STREET CENTERLINE
- - - - - STREET RIGHT OF WAY

GERALD FORD DRIVE

COOK STREET

SEE CENTER BOTTOM FOR CONTINUATION

N.A.P.
PARCEL 5
0.925 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 4
0.513 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 7
0.427 AC.

N.A.P.
PARCEL 6
1.467 AC.

PARCEL 2
2.567 AC.

N.A.P.
PARCEL 8
0.573 AC.

N.A.P.
PARCEL 9
2.933 AC.

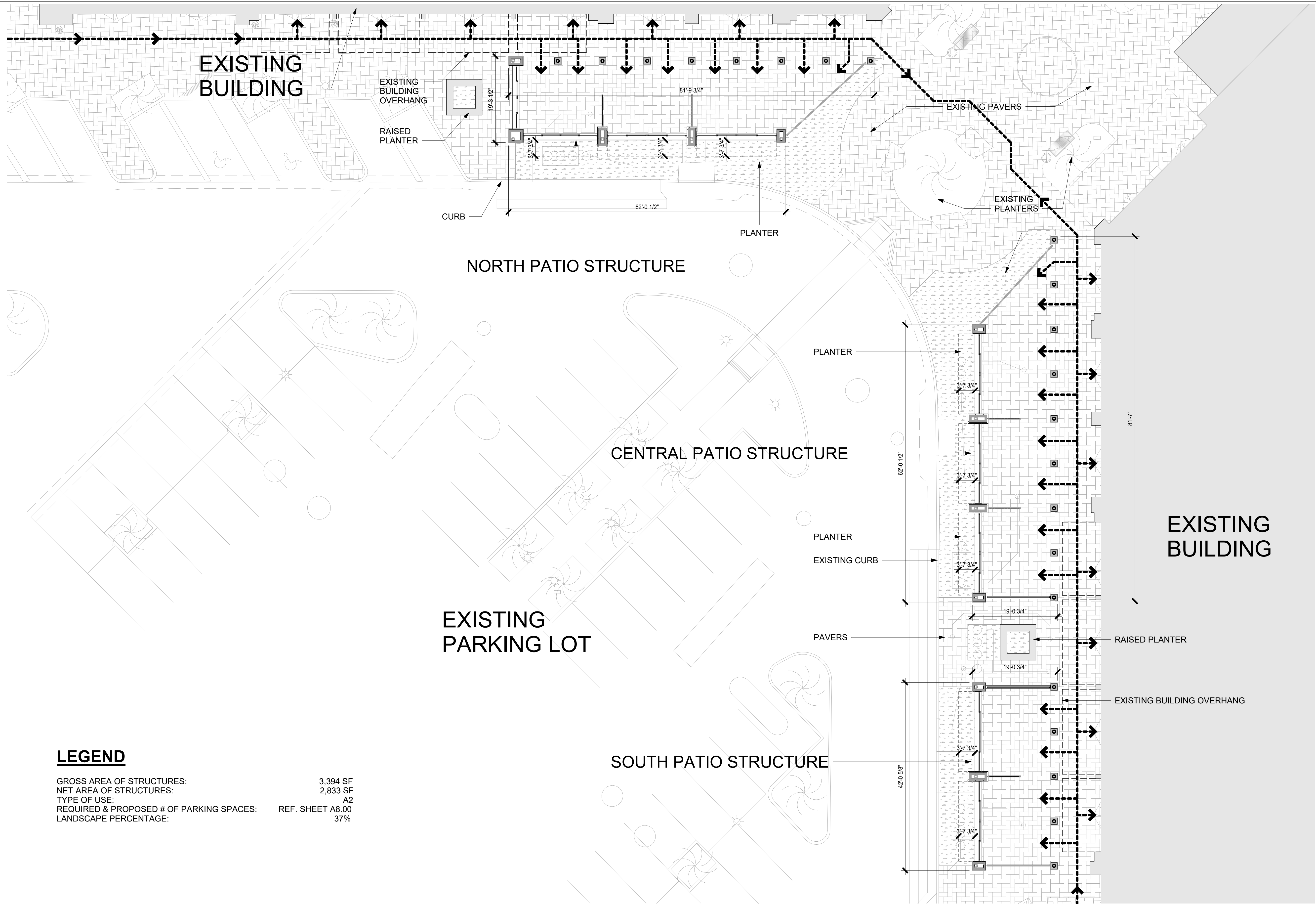
COOK STREET

Michael Baker
INTERNATIONAL
75410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481 MBAKERINTL.COM

DATE: 3/28/2025
DRAWN BY: BN
DESIGN BY: BN
CHECK BY: RV

CITY OF PALM DESERT
UNIVERSITY VILLAGE SHADE STRUCTURE ADDITIONS
SITE PLAN EXHIBIT
LOCATED WITHIN NORTH 1/2 OF SECTION 33, T.4S, R.6E, S.B.B. & M.

SHEET 01
OF
SHEETS 01

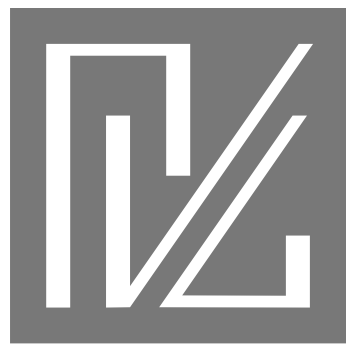
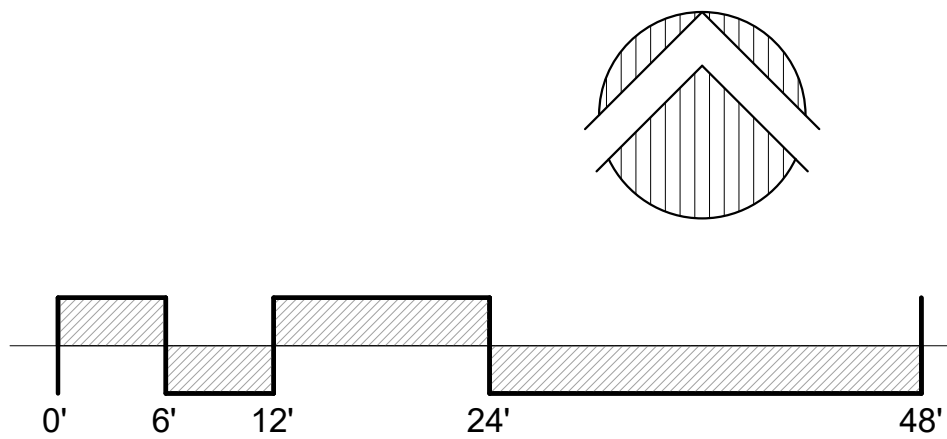


LEGEND

GROSS AREA OF STRUCTURES:	3,394 SF
NET AREA OF STRUCTURES:	2,833 SF
TYPE OF USE:	A2
REQUIRED & PROPOSED # OF PARKING SPACES:	REF. SHEET A8.00
LANDSCAPE PERCENTAGE:	37%

UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



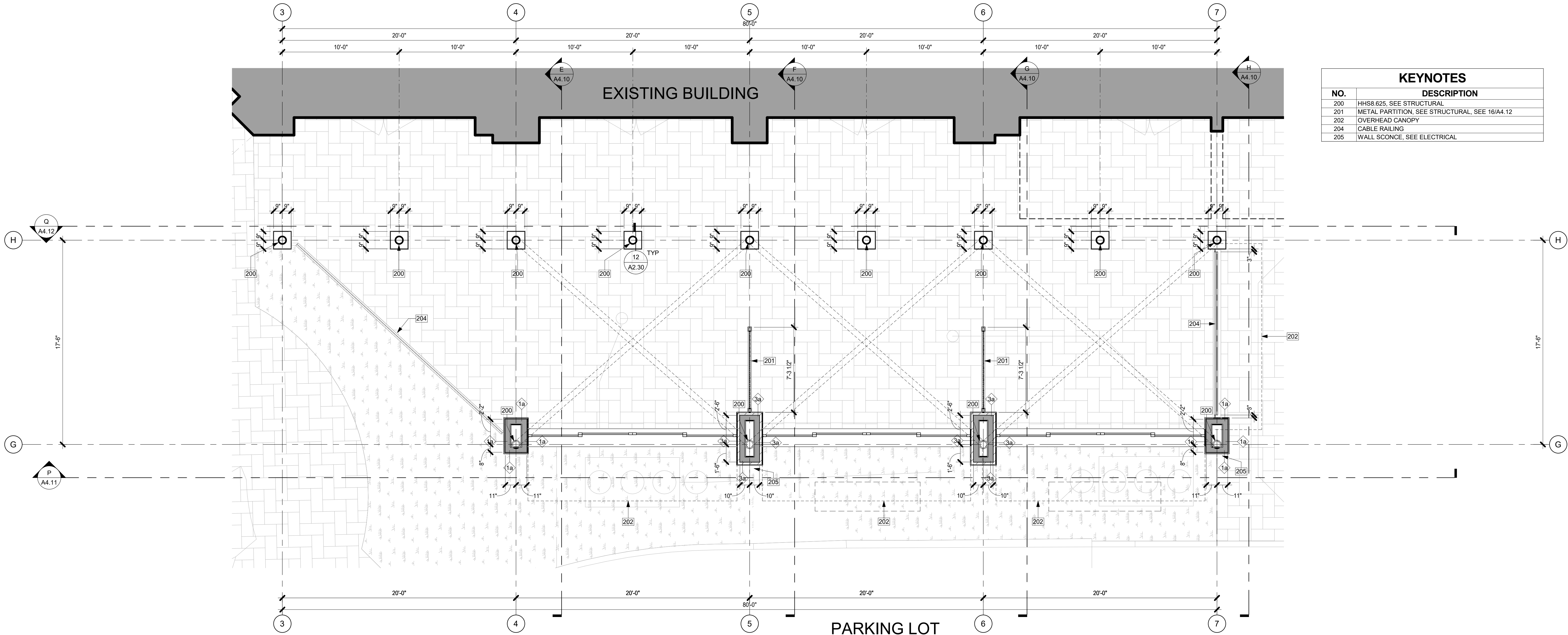
PREST | VUKSIC | GREENWOOD
ARCHITECTS • INTERIORS

44530 SAN PABLO AVE, STE 200 | PALM DESERT, CA 92260
WWW.PVGARCHITECTS.COM
INFO@PVGARCHITECTS.COM | 760 . 779 . 5393 T

SITE PLAN

Scale: 3/32" = 1'-0"
Sheet: **A101**

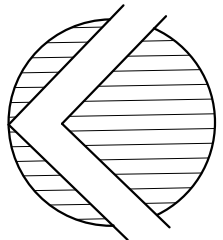
Issue Date
222012



KEYNOTES	
NO.	DESCRIPTION
200	HHS8.625, SEE STRUCTURAL
201	METAL PARTITION, SEE STRUCTURAL, SEE 16/A4.12
202	OVERHEAD CANOPY
204	CABLE RAILING
205	WALL SCONCE, SEE ELECTRICAL

UNIVERSITY VILLAGE PATIO STRUCTURES

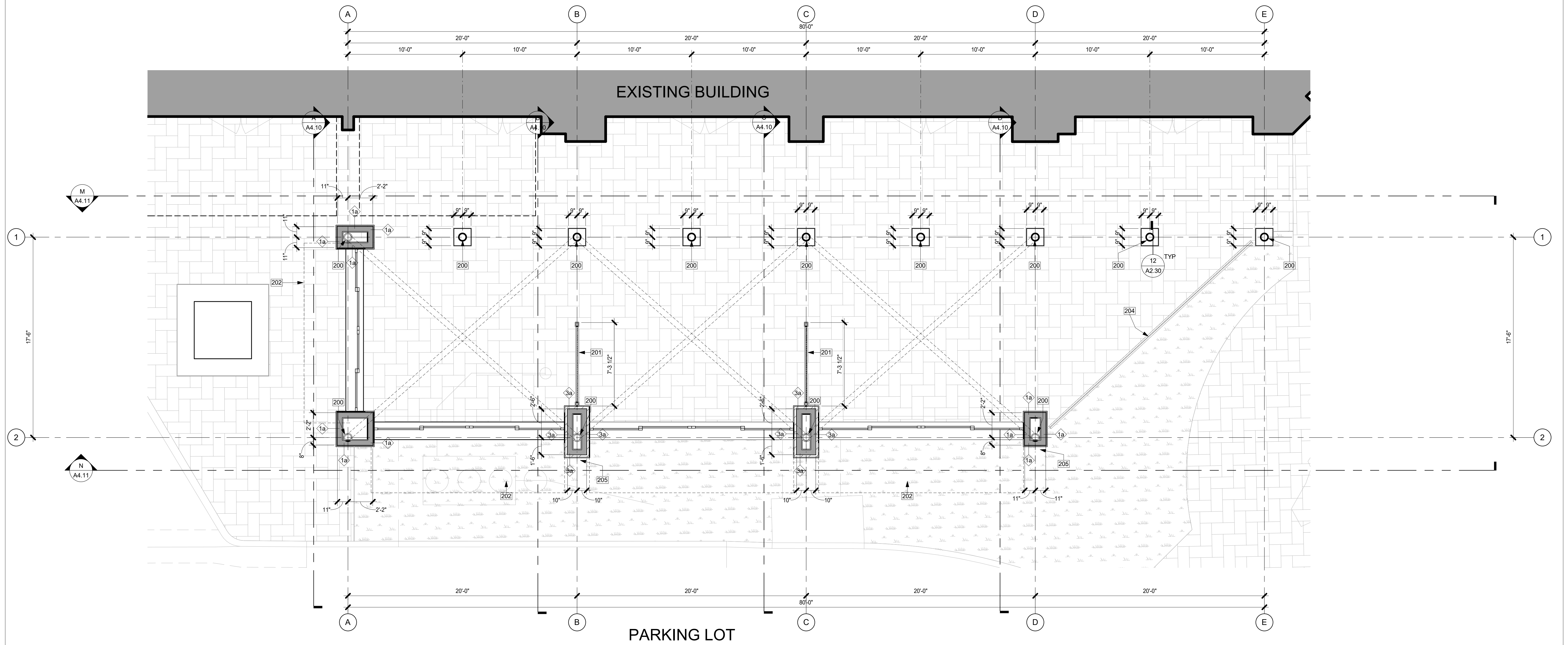
PALM DESERT, CA



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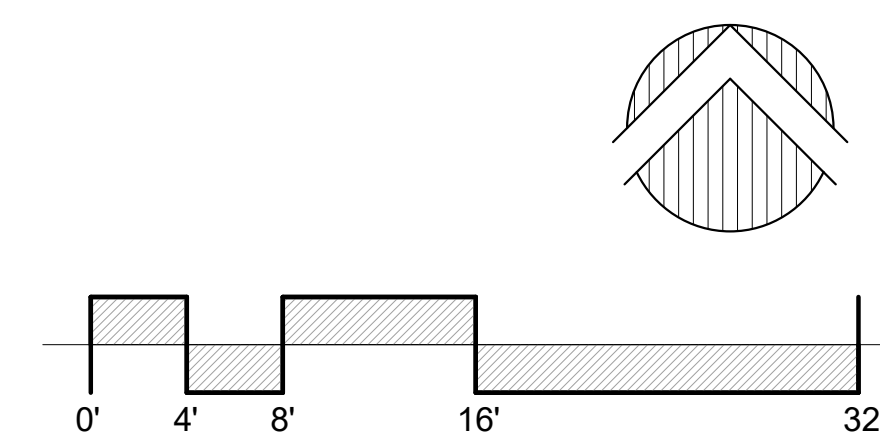
CENTRAL PATIO
FLOOR PLAN
Scale: 1/4" = 1'-0"
Sheet: A201

Issue Date
222012



UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



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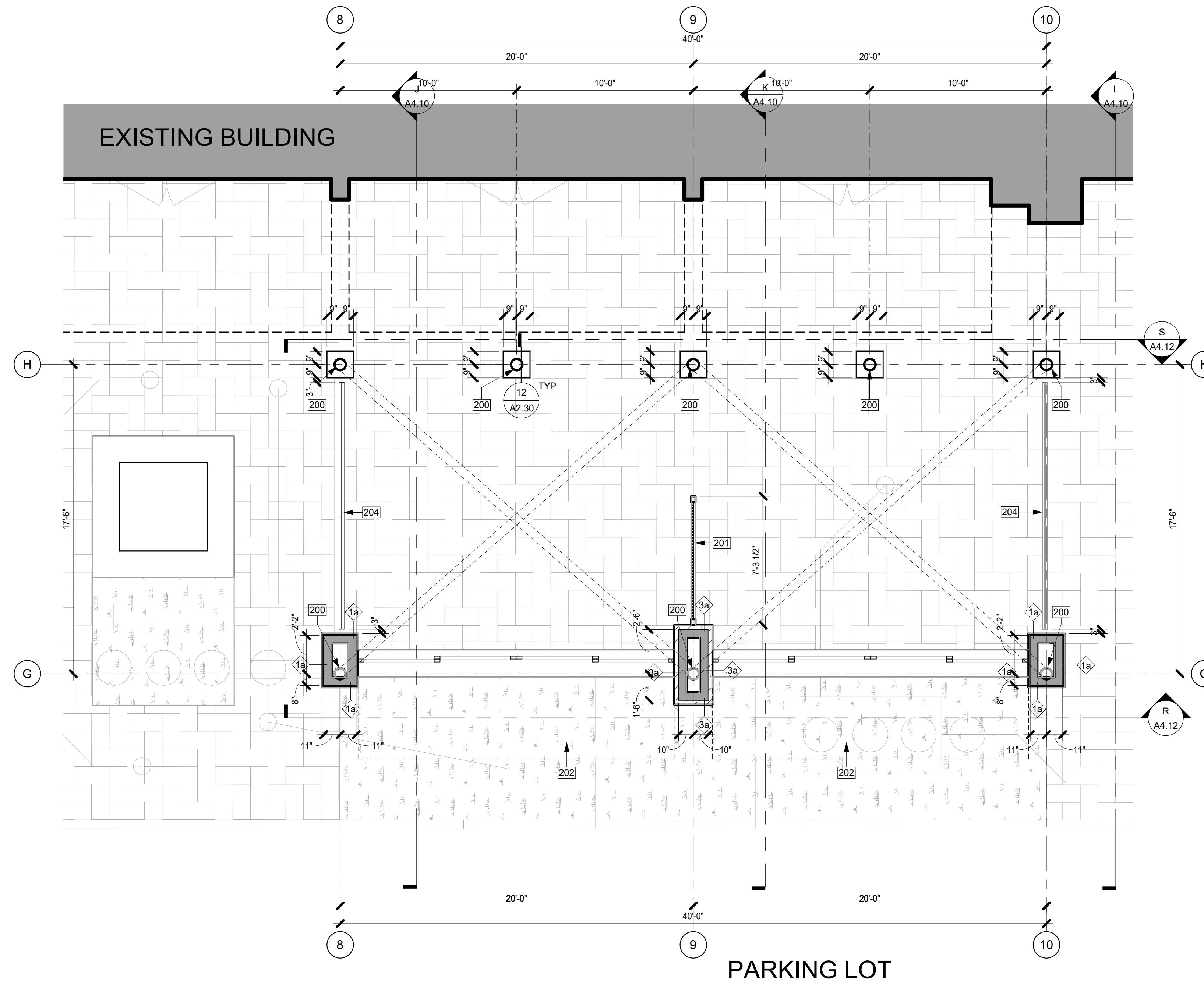
INFO@PVGARCHITECTS.COM | 760 . 779 . 5393 T

NORTH PATIO
FLOOR PLAN

Scale: 1/4" = 1'-0"

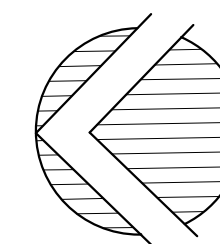
Sheet: **A202**

Issue Date
222012



UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



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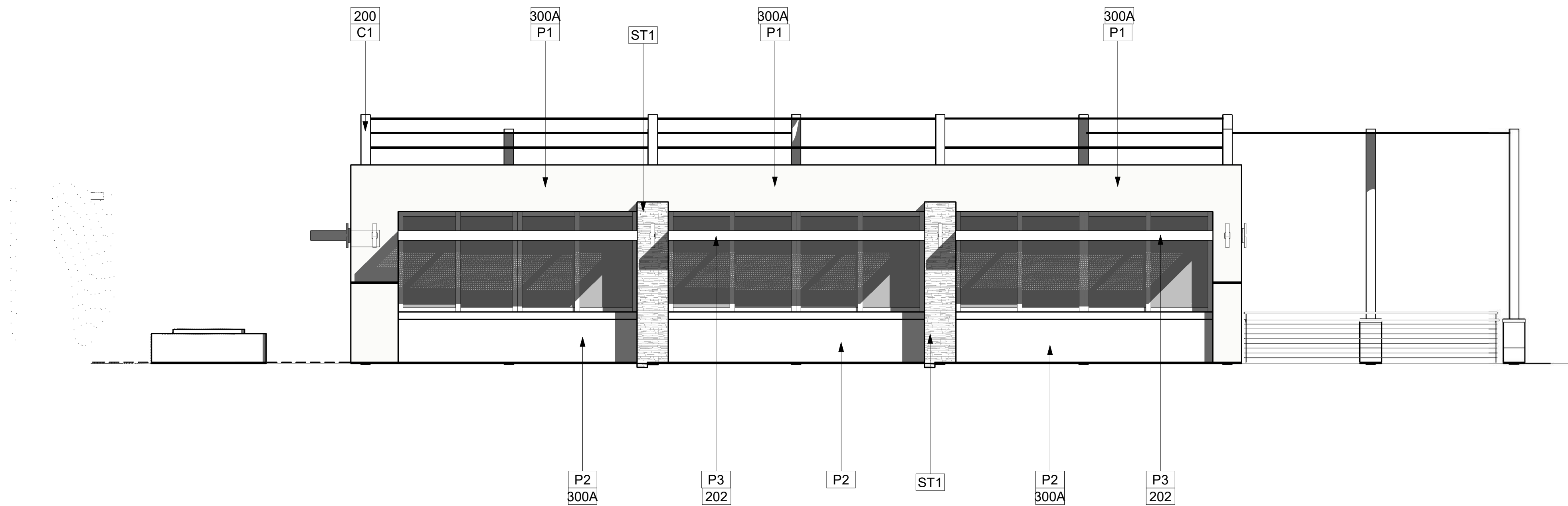
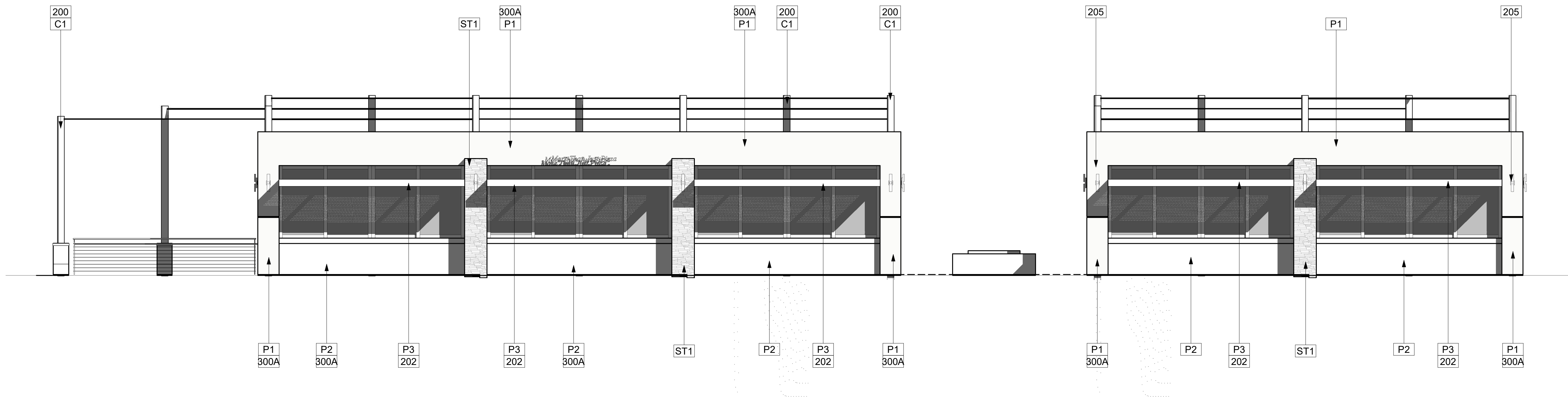
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SOUTH PATIO FLOOR PLAN

Scale: 1/4" = 1'-0"

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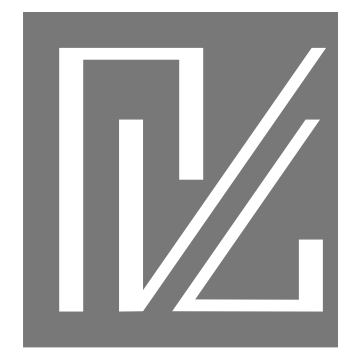
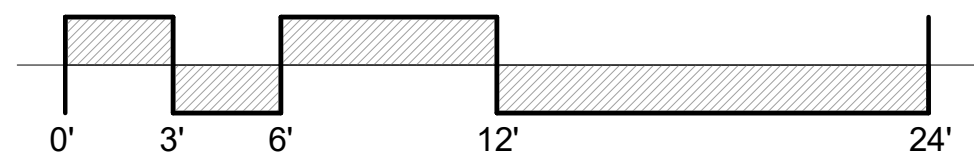
Issue Date
2/20/12



KEYNOTES	
NO.	DESCRIPTION
200	HHS8.625, SEE STRUCTURAL
202	OVERHEAD CANOPY
205	WALL SCONCE, SEE ELECTRICAL
300A	7/8" (3 COAT) EXTERIOR CEMENT PLASTER OVER METAL LATH, OMEGA FLEX FINE FINISH, COLOR: SEE PAINT SCHEDULE
C1	
ST1	STACKED STONE TO MATCH EXISTING

PAINT LEGEND	
NO.	DESCRIPTION
P1	MFR: DUNN EDWARDS, COLOR: DE6260 WISHFUL WHITE
P2	MFR: DUNN EDWARDS, COLOR: DE1631 COCOA POWDER
P3	MFR: PPG, COLOR: PPG 1007-7 BARK

UNIVERSITY VILLAGE PATIO STRUCTURES PALM DESERT, CA



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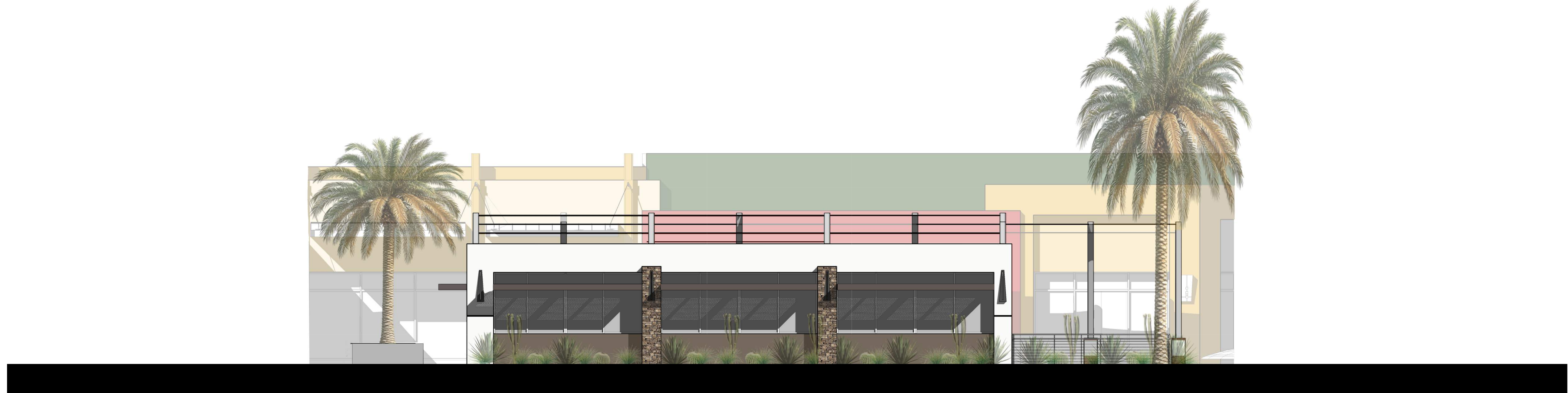
ELEVATIONS

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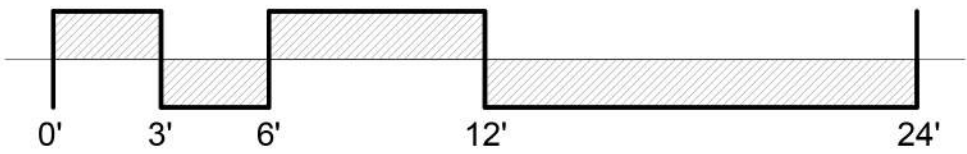
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Issue Date
222012



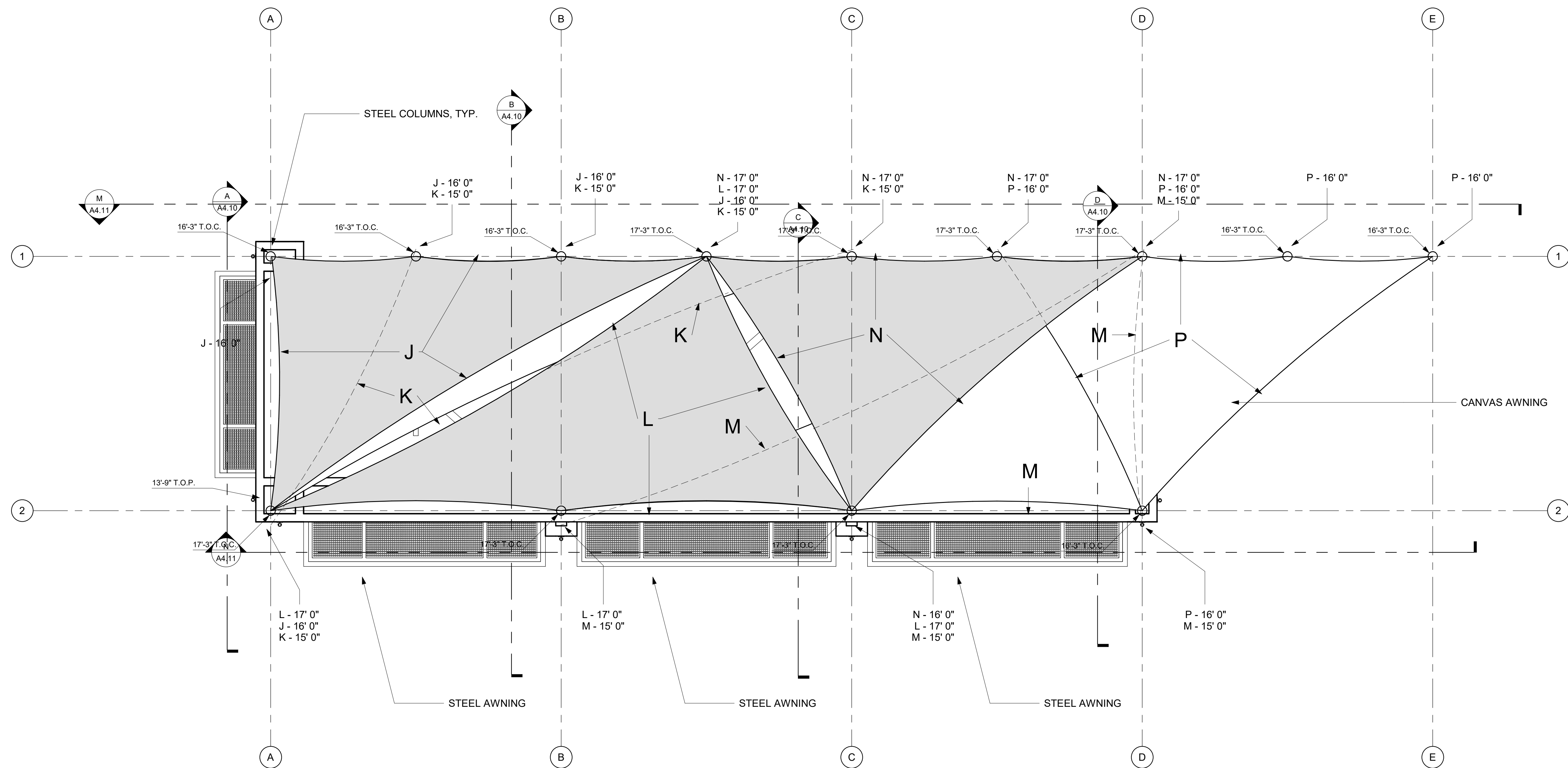
UNIVERSITY VILLAGE SHADING

PALM DESERT, CA



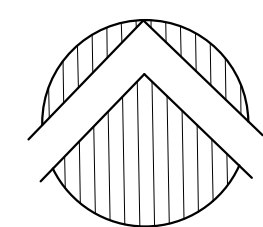
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COLORED
ELEVATIONS
Scale: 3/16" = 1'-0"
Sheet: **A302**



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PALM DESERT, CA



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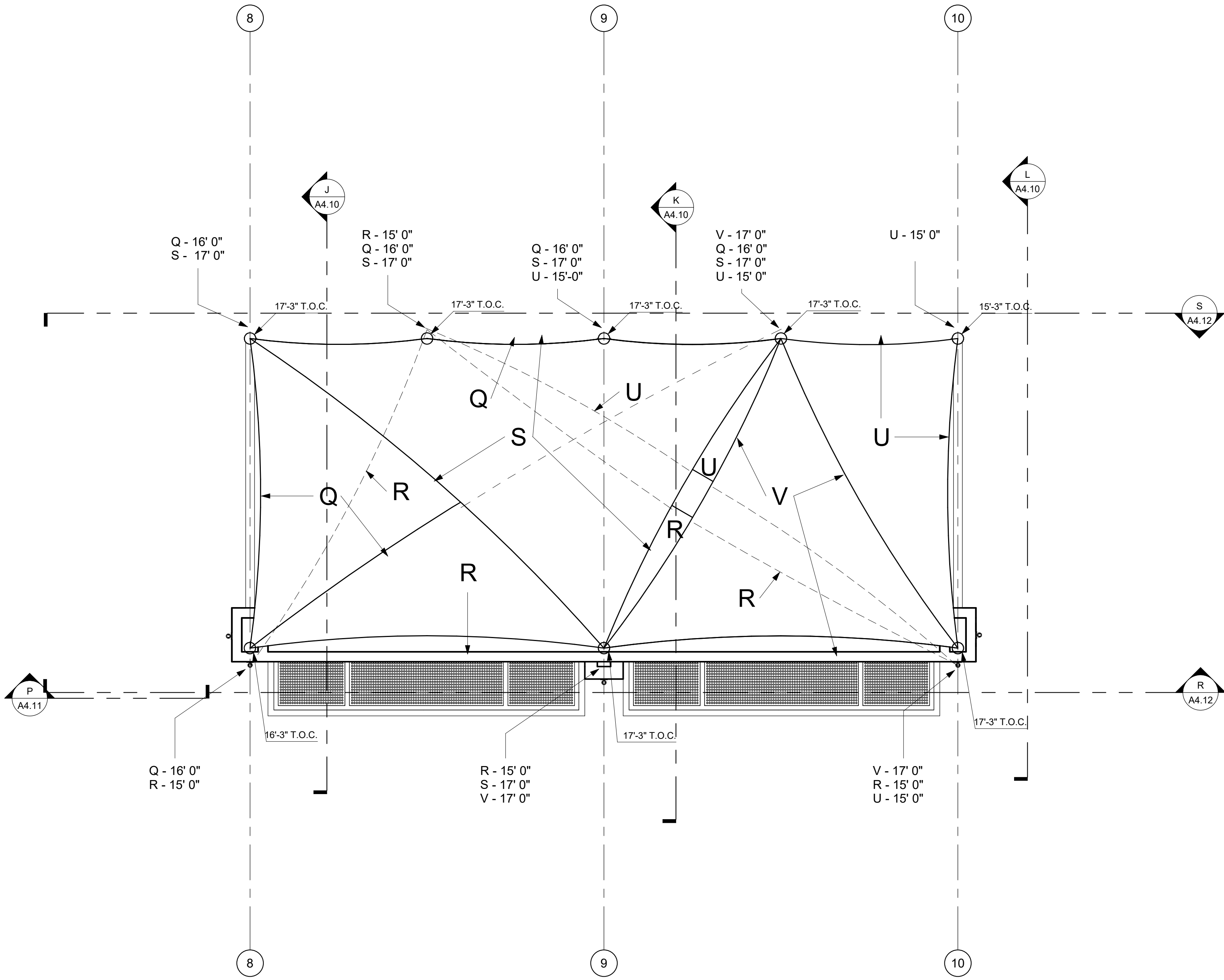
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NORTH PATIO
ROOF PLAN

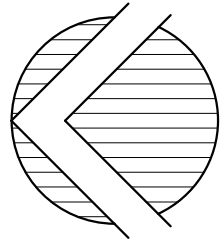
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Sheet: A402

Issue Date
222012



UNIVERSITY VILLAGE PATIO STRUCTURES
PALM DESERT, CA



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SOUTH PATIO
ROOF PLAN
Scale: 1/4" = 1'-0"
Sheet: A403

Issue Date
222012



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3D VIEWS

Scale:
Sheet: A501



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3D VIEWS

Scale:
Sheet:

A502



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3D VIEWS

Scale:

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A503

Issue Date
222012



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3D VIEWS

Scale:

Sheet: **A504**



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PALM DESERT, CA



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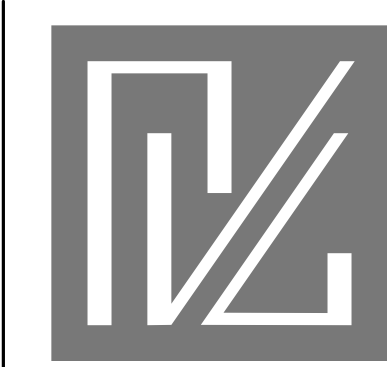
3D VIEWS

Scale:
Sheet: A505



UNIVERSITY VILLAGE PATIO STRUCTURES

PALM DESERT, CA



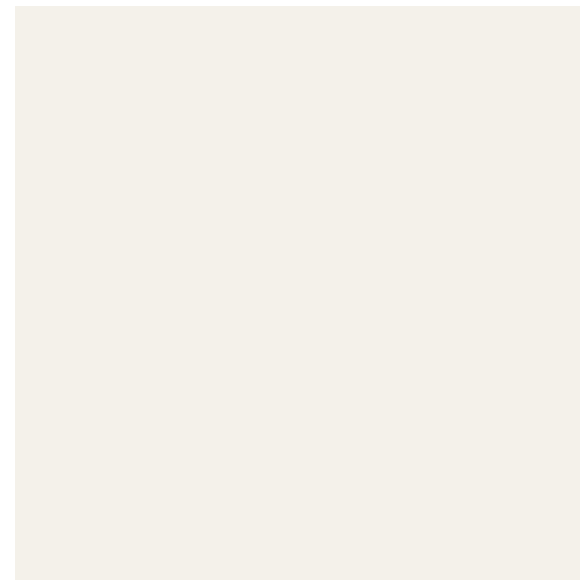
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3D VIEWS

Scale:
Sheet:

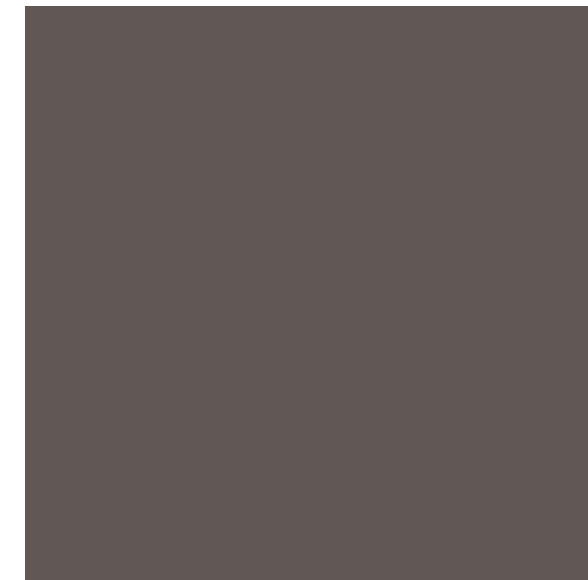
A506



P1: PLASTER WALLS
MFN: DUNN EDWARDS
COLOR: DE6260 WISHFUL WHITE



P2: PLASTER WALLS
MFN: DUNN EDWARDS
COLOR: DET631 COCOA POWDER



P3: METAL AWNINGS
MFN: PPG INDUSTRIES
COLOR: PPG 1007-7 BARK



ST1: STACKED STONE
MATCH EXISTING

UNIVERSITY VILLAGE PATIO STRUCTURES

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MATERIAL BOARD

Scale: 12" = 1'-0"

Sheet: **A601**

Issue Date
222012



UNIVERSITY VILLAGE PATIO STRUCTURES

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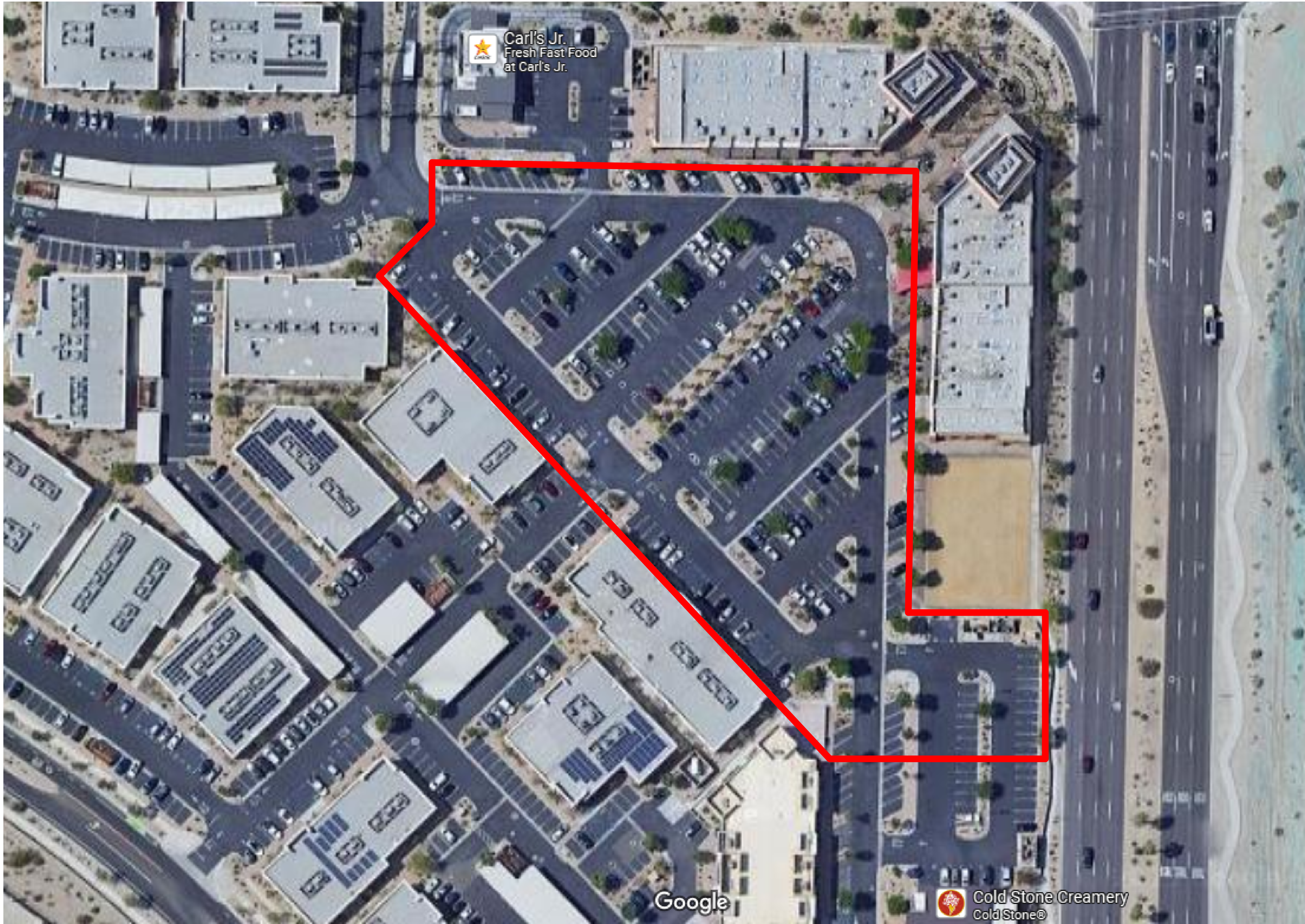
SEATING PLAN

Scale: NTS

Sheet:

A700

Issue Date
2/22/2012



PARKING STUDY

TOTAL EXISTING SPACES: 284
TOTAL EXISTING ADA SPACES: 14

TOTAL PROPOSED SPACES: 279
TOTAL PROPOSED ADA SPACES: 14

TOTAL REQUIRED PARKING SPACES
(8 PER 1000 SF): 18,512 SF/1000 SF
(PER PDMC) 18.512 X 8 =
149 REQUIRED SPACES

UNIVERSITY VILLAGE PATIO STRUCTURES
PALM DESERT, CA



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PARKING STUDY

Scale: _____
Sheet: **A800**

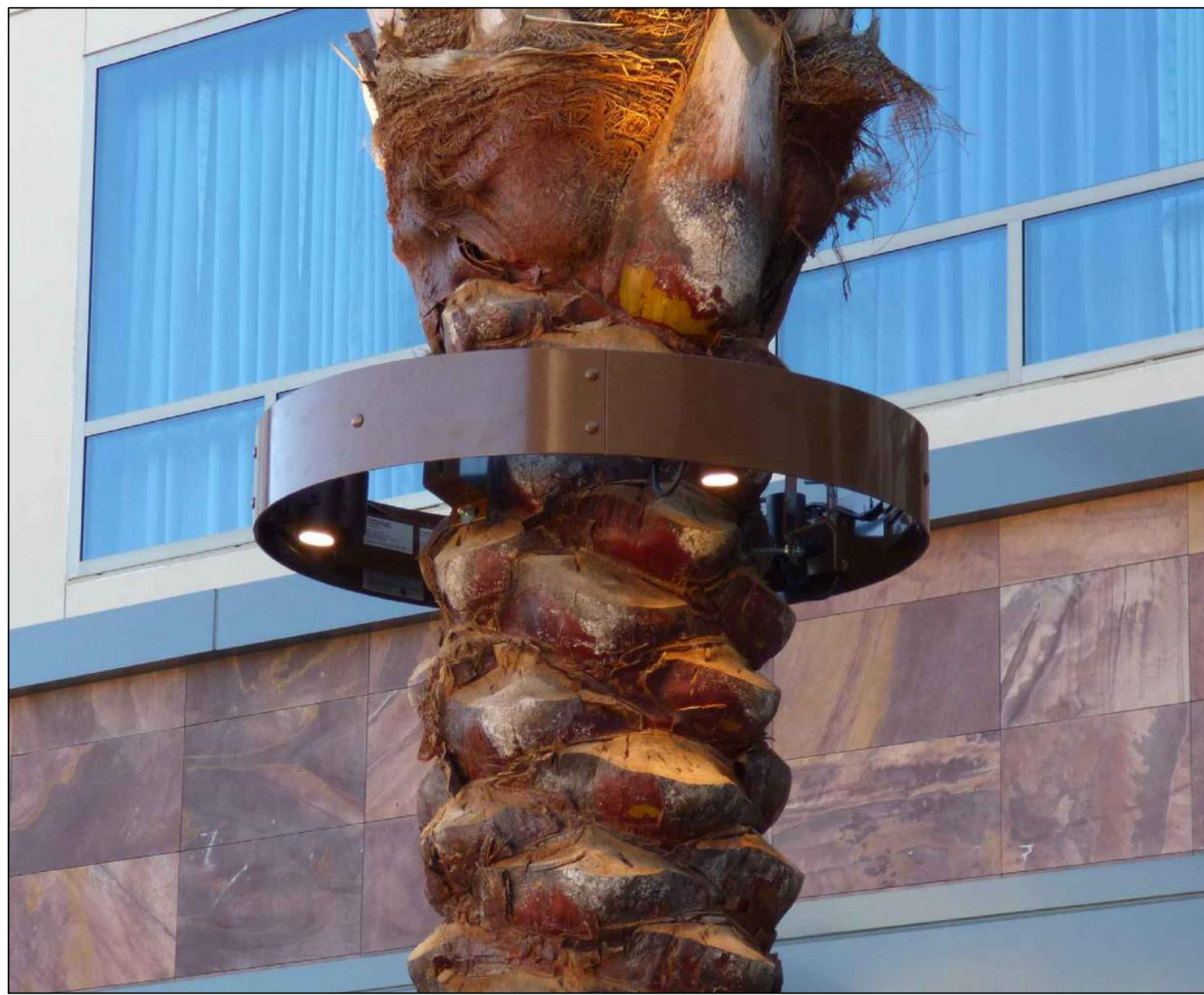
Issue Date
2/22/2012

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
TREES				
	Chamaerops humilis Mediterranean Fan Palm	24"box	M (5)	2
	Phoenix dactylifera Date Palm	20' B.T.H. minimum	M (5)	2
	Phoenix dactylifera Date Palm - EXISTING	EXISTING		2
SHRUBS				
	Agave angustifolia 'Marginata' Variegated Caribbean Century Plant	15 gal	L (2)	10
	Agave parryi truncata Artichoke Parry's Agave	5 gal	L (2)	17
	Agave victoriae-reginae Queen Victoria Agave	5 gal	L (2)	20
	Aloe ferox Bitter Tree Aloe	15 gal	L (2)	16
	Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	5 gal	M (5)	7
	Echinocactus grusonii Golden Barrel Cactus	5 gal	L (2)	26
	Euphorbia resinifera Resin Spurge	15 gal	L (2)	22
	Evolvulus glomeratus 'Blue Daze' Brazilian Dwarf Morning Glory	5 gal	M (5)	15
	Lantana x 'New Gold' New Gold Lantana	1 gal	M (5)	17
	Pachycereus marginatus Mexican Fence Post Cactus	15 gal	L (2)	3
	Pedilanthus macrocarpus Lady's Slipper	5 gal	L (2)	6
	Ruellia brittoniana Mexican Petunia	5 gal	M (5)	19
	Russelia equisetiformis Firecracker Plant	5 gal	M (5)	7

REFERENCE NOTES SCHEDULE

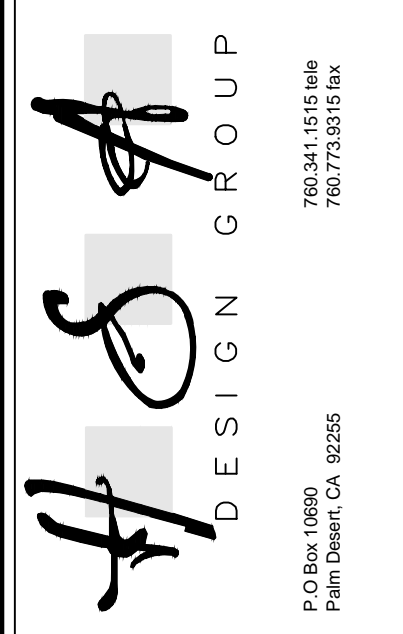
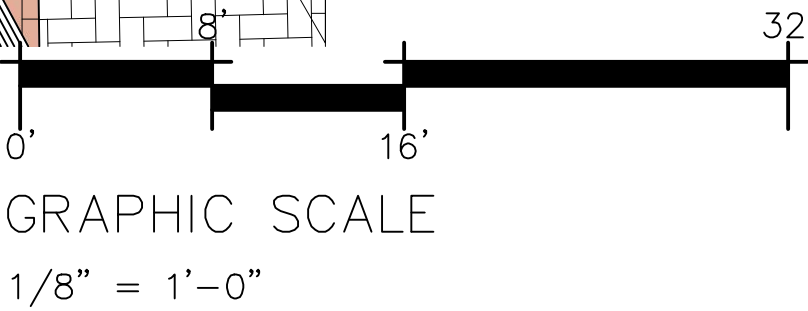
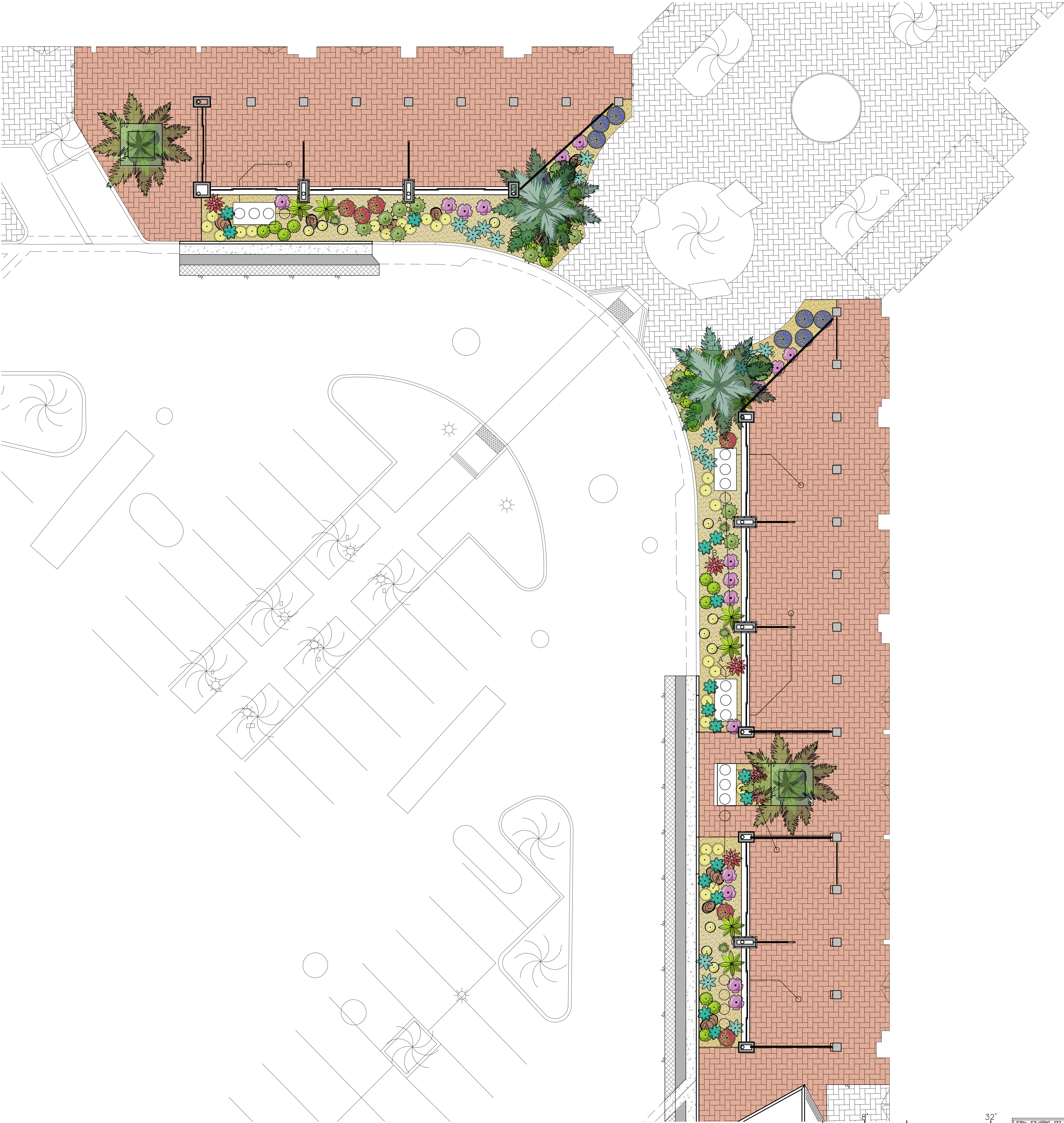
SYMBOL	DESCRIPTION	QTY
	DECOMPOSED GRANITE	17.7 cy
	PEDESTRIAN PAVERS - MATCH TO EXISTING PAVERS	6,752 sf
	CONCRETE BANDS	78 sf



TWO (2) EXISTING DATE PALMS AND TWO (2) NEWLY PROPOSED DATE PALMS TO HAVE BRADLEY LIGHTING "STELLA" LED PALM RING LIGHTS INSTALLED

ALL BUILDING AND FACADE LIGHTING TO BE COORDINATED PER ARCHITECT'S PLANS

IRRIGATION NOTE:
ALL NEW PLANTING TO IRRIGATED WITH POINT SOURCE DRIP EMITTERS CONNECTED TO THE EXISTING IRRIGATION SYSTEM, AND CONTROLLED WITH AN ET BASED CONTROLLER.



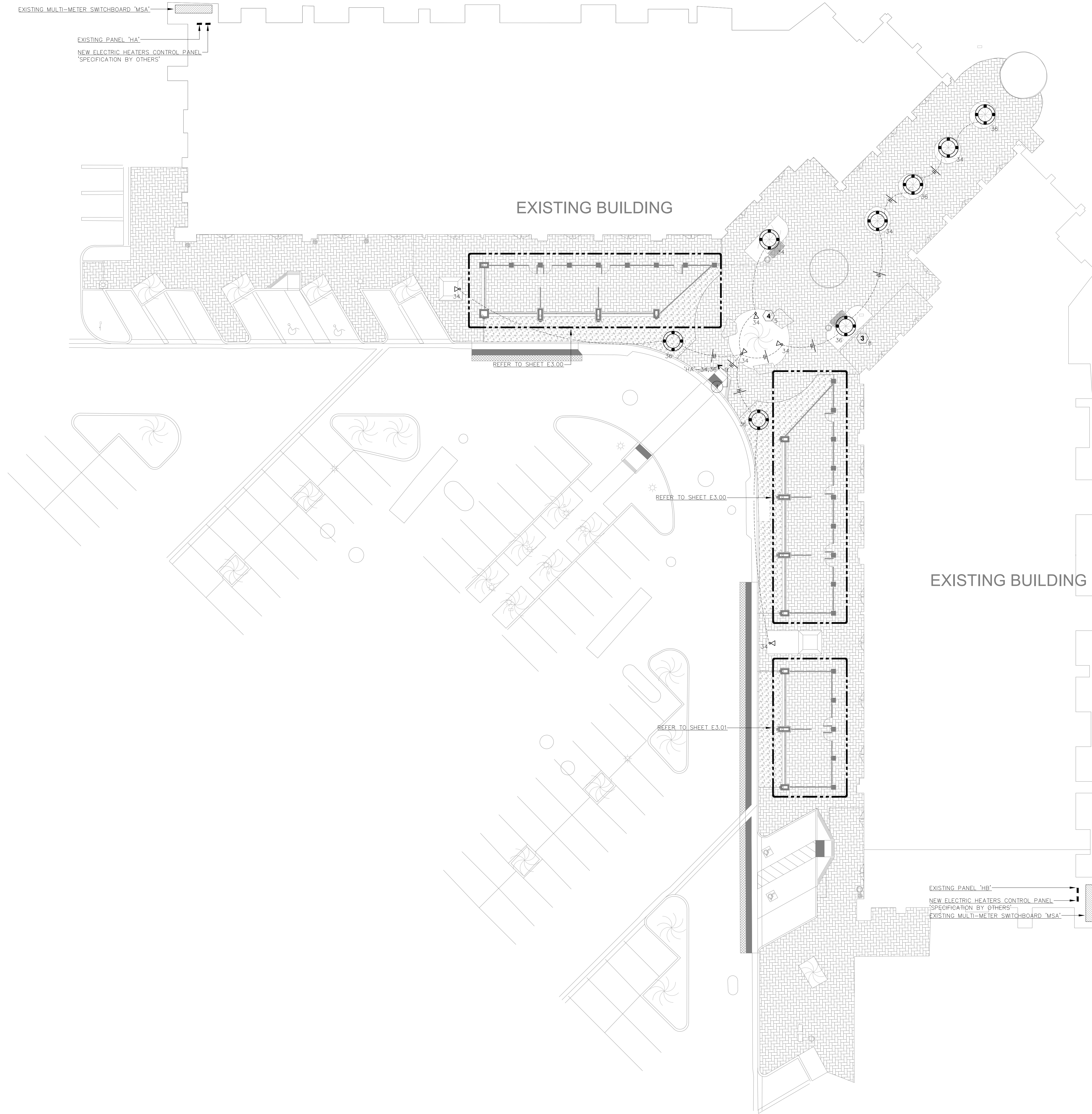
UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

no.	revisions	date	by
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Scale: 1/8" = 1'-0"
Date: MARCH 28, 2025
Drawn By: CRS
Approved By:

UNIVERSITY VILLAGE
PRELIMINARY PLANTING PLAN

North
Job No.
Sheet No.
L1.1
of



- KEYED NOTES
- 1 CIRCUIT THROUGH NEW EXTERIOR LIGHTING TIME CLOCK LOCATED AT BUILDING MAIN ELECTRICAL ROOM.

APPROVED STAMP

No.	Description	Date

PATIO STRUCTURES
FOR
UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

ELECTRICAL SITE PLAN

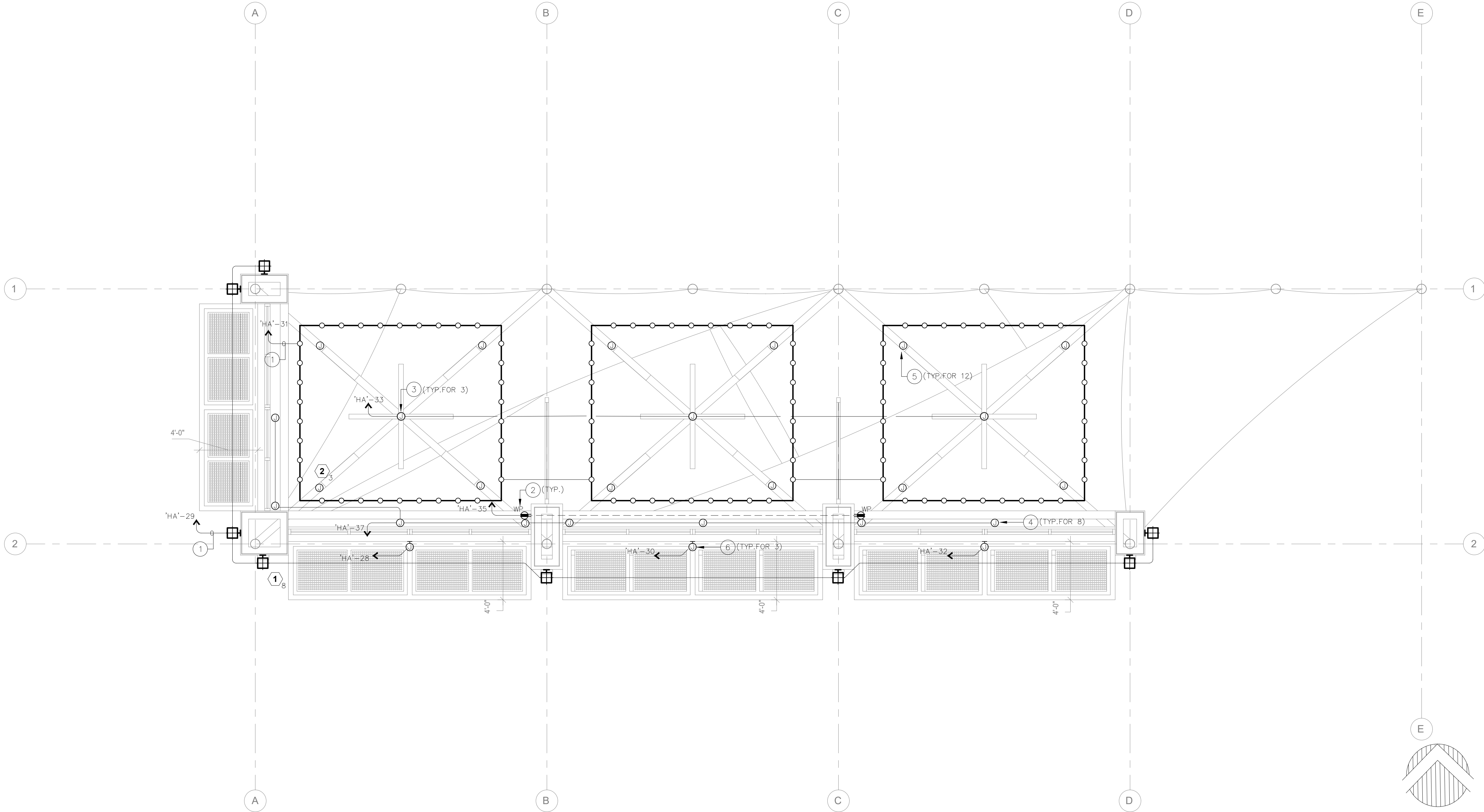
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DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number 222012	
Date	Issue Date

Project Status

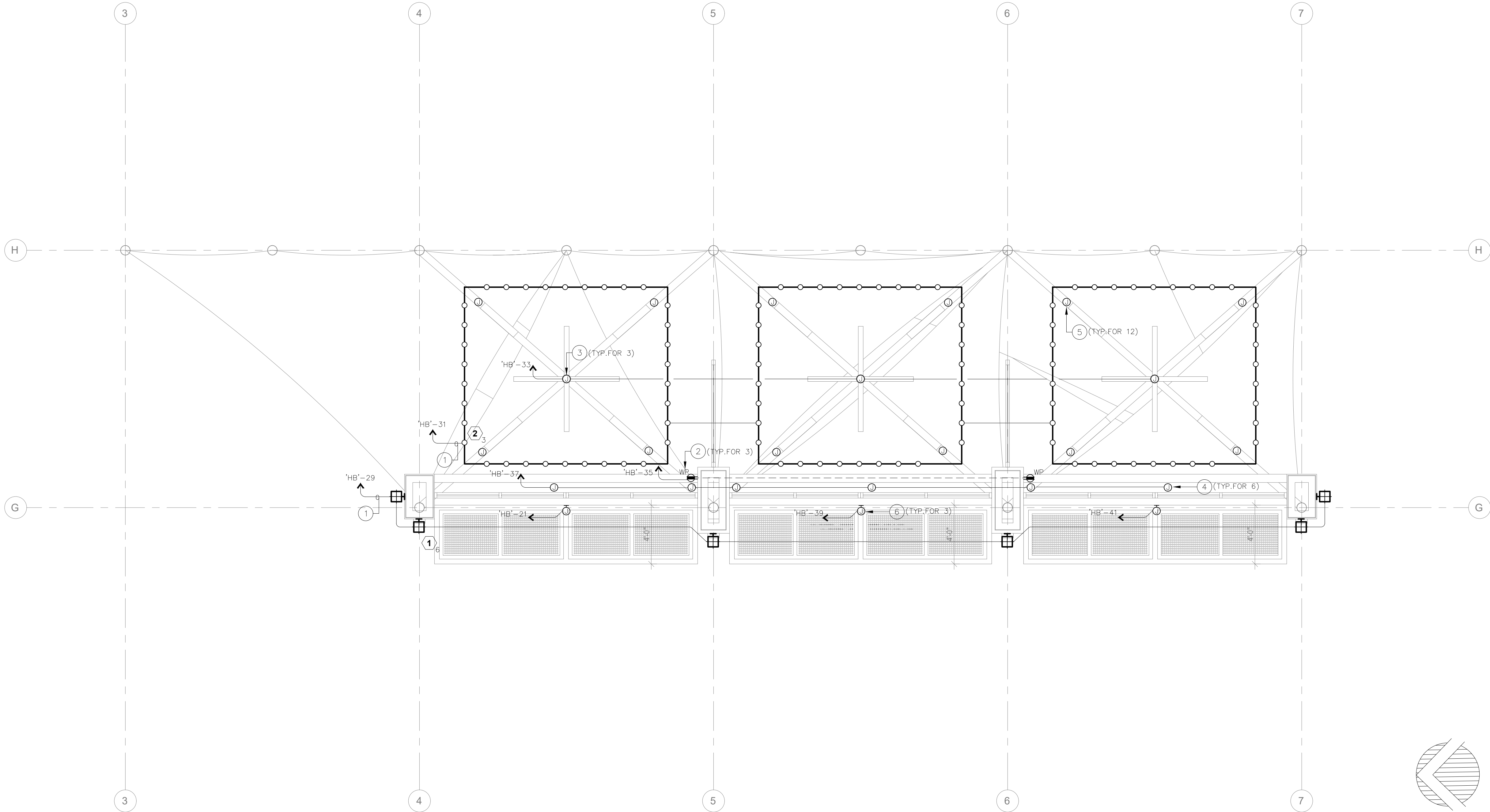
E2.00



NORTH PATIO ELECTRICAL PLAN

SCALE:
1/4"=1'-0"

2

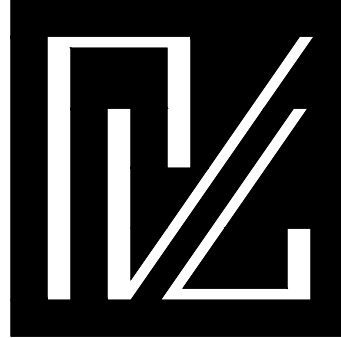


CENTRAL PATIO ELECTRICAL PLAN

SCALE:
1/4"=1'-0"

1

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ARCHITECTS . INTERIORS



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PALM DESERT, CA 92260
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info@pvgaarchitects.com
www.pvgaarchitects.com



R7 CONSULTING
ELECTRICAL, MECHANICAL & PLUMBING
ENGINEERING + LIGHTING DESIGN
11111 PALM DESERT + SAN DIEGO
800-437-3304

GENERAL NOTES

1. ALL ELECTRICAL WIRING AT CANOPY STRUCTURE SHALL RUN AND BE HIDDEN INSIDE THE STRUCTURE COLUMNS AND BEAMS. NO EXPOSED WIRING SHALL BE ALLOWED.

KEYED NOTES

1. CIRCUIT THROUGH NEW EXTERIOR LIGHTING TIME CLOCK LOCATED AT BUILDING MAIN ELECTRICAL ROOM.
2. WEATHER PROOF GFCI RATED POWER RECEPTACLE WITH KEY LOCK COVER.
3. JUNCTION BOX FOR FINAL CONNECTION TO OUTDOOR PADDLE FAN. COORDINATE FINAL MOUNTING PRIOR TO ELECTRICAL ROUGH-IN.
4. JUNCTION BOX FOR FINAL CONNECTION TO MOTORIZED SHADE POCKET. COORDINATE FINAL CONNECTION REQUIREMENT PRIOR TO ELECTRICAL ROUGH-IN.
5. JUNCTION BOX FOR FINAL CONNECTION TO ELECTRIC HEATER: MANUFACTURER 'INFRATECH', MODEL 'W-SERIES', 1,500 WATTS, 120 VOLTS. PROVIDE 2 #10 CU. 1 #10 CU. E.G. 3/4" CONDUIT FROM JUNCTION BOX TO CONTROL PANEL LOCATED AT NEAREST BUILDING MAIN ELECTRICAL ROOM.
6. FLUSH MOUNTED JUNCTION BOX FOR FINAL CONNECTION TO TENANT SIGNAGE.

APPROVED STAMP

No.	Description	Date

PATIO STRUCTURES
FOR
UNIVERSITY VILLAGE
36891 COOK ST.
PALM DESERT, CA 92211

ELECTRICAL PLAN

Scale: As indicated

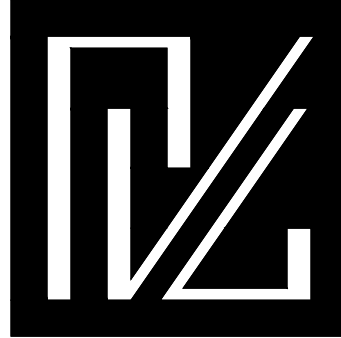
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DAVID G. PREST, AIA C-8690	
JOHN J. VUKSIC, AIA C-19210	
JOHN T. GREENWOOD, C-38012	
Project Number	222012
Date	Issue Date

Project Status

E3.00



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800-437-3304

GENERAL NOTES

1. ALL ELECTRICAL WIRING AT CANOPY STRUCTURE SHALL RUN AND BE HIDDEN INSIDE THE STRUCTURE COLUMNS AND BEAMS. NO EXPOSED WIRING SHALL BE ALLOWED.

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- ② WEATHER PROOF GFCI RATED POWER RECEPTACLE WITH KEY LOCK COVER.
- ③ JUNCTION BOX FOR FINAL CONNECTION TO OUTDOOR PADDLE FAN. COORDINATE FINAL MOUNTING PRIOR TO ELECTRICAL ROUGH-IN.
- ④ JUNCTION BOX FOR FINAL CONNECTION TO MOTORIZED SHADE POCKET. COORDINATE FINAL CONNECTION REQUIREMENT PRIOR TO ELECTRICAL ROUGH-IN.
- ⑤ JUNCTION BOX FOR FINAL CONNECTION TO ELECTRIC HEATER: MANUFACTURER 'INFRA TECH', MODEL 'W-SERIES', 1,500 WATTS, 120 VOLTS. PROVIDE 2 #10 CU. 1 #10 AL. E.G. 3/4" CONDUIT FROM JUNCTION BOX TO CONTROL PANEL LOCATED AT NEAREST BUILDING MAIN ELECTRICAL ROOM.
- ⑥ FLUSH MOUNTED JUNCTION BOX FOR FINAL CONNECTION TO TENANT SIGNAGE.

APPROVED STAMP

No.	Description	Date

PATIO STRUCTURES
FOR
UNIVERSITY VILLAGE

36891 COOK ST.
PALM DESERT, CA 92211

ELECTRICAL PLAN

Scale: As indicated

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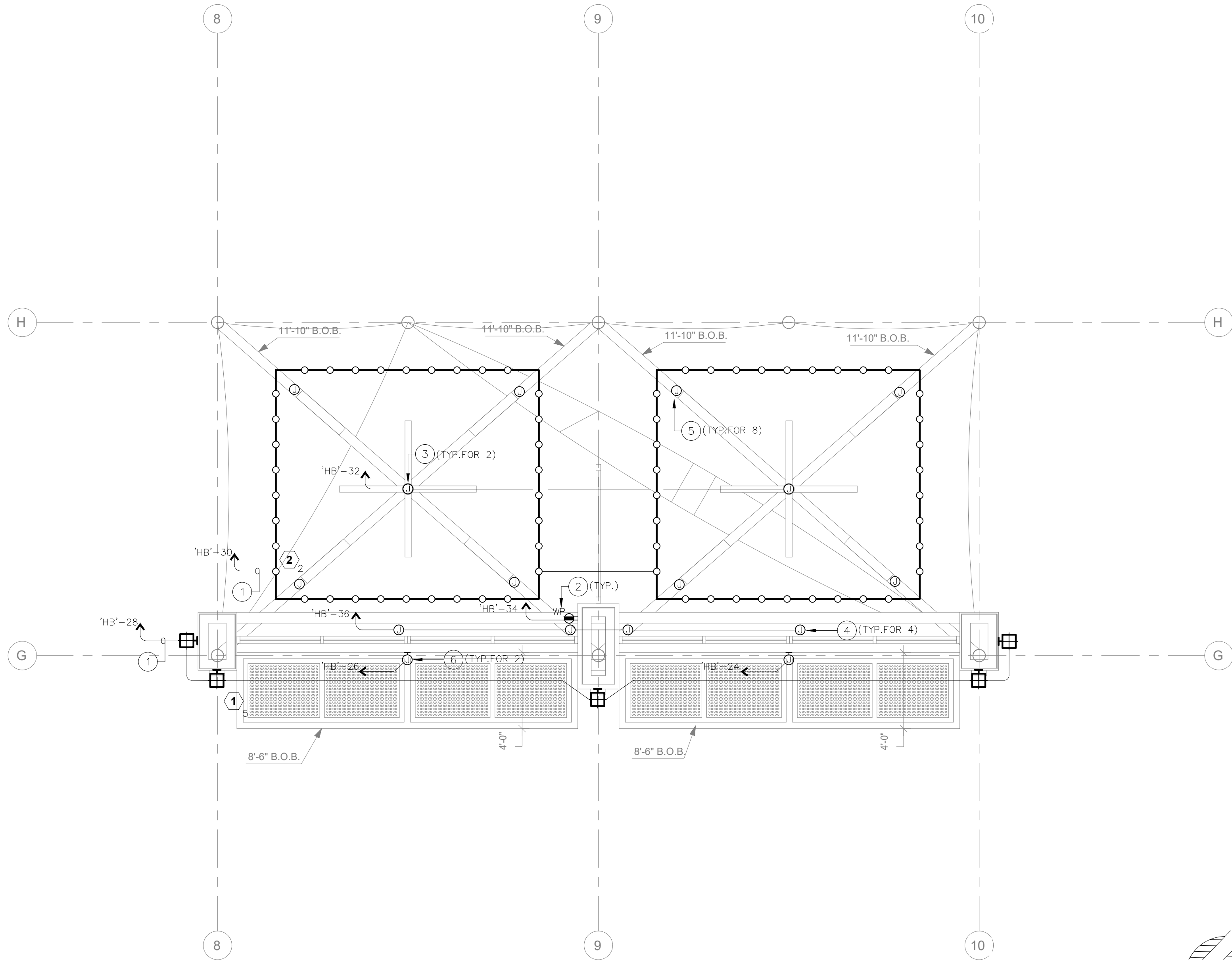
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JOHN J. VUKSIC, AIA C-19210
JOHN T. GREENWOOD, C-38012

Project Number 222012

Date Issue Date

Project Status

E3.01





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CITY OF PALM DESERT

73-510 FRED WARING DRIVE
PALM DESERT, CALIFORNIA 92260-2578
TEL: 760-346-0611
INFO@CITYOFPALMDESERT.ORG

CITY OF PALM DESERT PUBLIC HEARING NOTICE SPECIAL PLANNING COMMISSION MEETING CASE NO. CUP25-0003

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD BEFORE THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, TO REVIEW A REQUEST BY PREST VUKSIC GREENWOOD ARCHITECTS FOR THE ADOPTION OF THE NOTICE OF EXEMPTION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVAL OF A CONDITIONAL USE PERMIT TO CONSTRUCT THREE (3) PATIO SHADE STRUCTURES TOTALING 3,394 SQUARE FEET TOTAL WITHIN UNIVERSITY VILLAGE AT 36901 & 36891 COOK STREET

The City of Palm Desert (City), in its capacity as the Lead Agency for this project under the CEQA, finds that the proposed project is categorically exempt under Article 19 Section 15301 Existing Facilities ("Class 1") and Section 15303 New Construction or Conversion of Small Structures of the State CEQA guidelines; therefore, no further environmental review is necessary, and that a Notice of Exemption can be adopted as part of this project.

PROJECT LOCATION: 36901 & 36891 COOK STREET (APN 694-190-050 & 694-190-049)

PROJECT DESCRIPTION: The project proposes three (3) patio shade structures totaling 3,394 square feet of gross area at 36901 and 36891 Cook Street, within University Village, located at the southwest corner of Gerald Ford Drive and Cook Street. Adjacent to two (2) multi-tenant commercial buildings, these structures will replace existing outdoor dining areas, addressing current concerns related to noise, safety, lighting, aesthetics, and weather conditions.

PUBLIC HEARING: NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Palm Desert, California, will hold a Public Hearing at a Special Meeting on July 8, 2025. The Planning Commission meeting begins at 6:00 p.m. in the Council Chamber at 73510 Fred Waring Drive, Palm Desert, California. Pursuant to Assembly Bill 2449, this meeting may be conducted as a hybrid meeting allowing public access via teleconference or in person. Options for remote participation will be listed on the Posted Agenda for the meeting at: <https://www.palmdesert.gov/connect/city-council>

PUBLIC REVIEW: The plans and related documents are available for public review Monday through Friday from 8:00 a.m. to 5:00 p.m. by contacting the project planner, Kayleen Aguirre. Please submit written comments to the Planning Division. If any group challenges the action in court, issues raised may be limited to only those issues raised at the public hearing described in this notice or in written correspondence at or prior to the Planning Commission hearing. All comments and any questions should be directed to:

Kayleen Aguirre, Assistant Planner
City of Palm Desert
73-510 Fred Waring Drive
Palm Desert, CA 92260
(760) 776-6484
kaguirre@palmdesert.gov

PUBLISH: THE DESERT SUN
JUNE 27, 2025

ROSIE LUA, SECRETARY
PALM DESERT PLANNING COMMISSION



CITY OF PALM DESERT

73-510 FRED WARING DRIVE
PALM DESERT, CALIFORNIA 92260-2578
TEL: 760-346-0611
PLANNING@PALMDESERT.GOV

ARCHITECTURAL REVIEW COMMISSION NOTICE OF ACTION

May 27, 2025

Prest, Vuksic, Greenwood Architects
44-530 San Pablo Avenue, Suite 200
Palm Desert, California 92260

Subject: Consideration for design review approval for construction of 3,394 square feet of patio shade structures for outdoor dining at University Village located at 36901 Cook Street and 36891 Cook Street

The Architectural Review Commission of the City of Palm Desert considered your request and took the following action at its meeting of May 13, 2025:

MOTION BY COMMISSIONER MCAULIFFE, SECOND BY COMMISSIONER LATKOVIC, CARRIED 6-0 (CHAIR VUKSIC RECUSED); to approve Case No. CUP25-0003, as presented with the following conditions:

1. The Applicant shall provide an updated University Village sign program to clarify the new building frontage sign locations and blade signs, consistent with DR25-0003 drawings. The updated sign program is to be approved by Staff.
2. Piping and conduit, which services the patio structures, shall be concealed.

Pursuant to Palm Desert Municipal Code Section 25.60.080, any appeal of the above action may be made in writing to the City Clerk, City of Palm Desert, within 15 days of the date of the decision.

If you have any questions, please contact Assistant Planner, Kayleen Aguirre, at (760) 776-6484 or kaguirre@palmdesert.gov.

Sincerely,

CARLOS FLORES, SECRETARY
ARCHITECTURAL REVIEW COMMISSION
cc: File

**CITY OF PALM DESERT
PLANNING COMMISSION
STAFF REPORT**

MEETING DATE: July 8, 2025

PREPARED BY: Carlos Flores, AICP, Interim Deputy Director of Development Services

SUBJECT: CONSIDER APPROVING REVISED PAD ELEVATIONS FOR THE PALM COMMUNITIES HOUSING PROJECT (PP22-0003/TPM 38366, AMENDMENT 1)

RECOMMENDATION:

Adopt Resolution No. 2893 entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, TO APPROVE AMENDMENT NO. 1 TO PP22-0003/TPM 38366. A REVISION TO AN APPROVED PAD ELEVATION FOR AN APPROVED MULTI-FAMILY AFFORDABLE HOUSING DEVELOPMENT PROJECT AT THE NORTHWEST CORNER OF GERALD FORD DRIVE AND THE EXTENSION OF TECHNOLOGY DRIVE (APN: 694120028)”

BACKGROUND/ANALYSIS:

Note: This project was presented at the June 3, 2025 Planning Commission meeting. Due to a lack of quorum, the item was continued until June 17, 2025. Due to a lack of quorum, the June 17, 2025 Planning Commission was cancelled. This project is being presented at a special meeting of the Planning Commission on July 8, 2025.

On October 13, 2022, the City Council of the City of Palm Desert, California, approved Precise Plan 22-0003 and Tentative Parcel Map 38366 (PP22-0003) for a 241-unit, multi-family affordable housing development community consisting of 10 three-story apartment buildings, one (1) two-story community building with two (2) on-site manager’s units, outdoor recreation areas, landscaping, and associated parking areas on a 10.49-acre site on the northwest corner of Gerald Ford Drive and the extension of Technology Drive (now named Zenith Drive), Assessor’s Parcel Number 694-120-028. The project is surrounded by a vacant property designated for a future park to the north, single family homes to the west, multifamily apartments to the east, and single family homes to the south. The City Council staff report packet with background, analysis, and attachments can be found at the link here: [filestream.ashx\(escribemeetings.com\)](https://filestream.ashx(escribemeetings.com))

On October 13, 2022, the City Council, adopted Resolution No. 2022-85, approving PP22-0003. The approval included approving a preliminary precise grading plan which established pad elevations for the project, including pad elevations for each individual apartment building (Attachment 2).

Project Request

On March 4, 2025, Kimley Horn (Applicant), on behalf of Palm Communities, submitted precise grading plans (PGP) for staff review in compliance with the City of Palm Desert Municipal Code and Resolution No. 2022-85. The PGP was reviewed with the preliminary PGP approved for PP22-0003 where it was found that two (2) of the apartment buildings were proposed on a pad elevation higher than the approved elevation.

The Applicant requests to raise the pad elevations for Building 2 and Building 3, as identified in the original approval. The Applicant, who also serves as the engineer of record, stated that the final engineering drawings, once completed, indicate that an increase in pad elevations is necessary to accommodate emergency overflow management for stormwater onto Gerald Ford Drive. The City Engineer has reviewed the request and determined that it is technically acceptable. However, the final approval authority rests with the Planning Commission.

Building No. (Phase)	Approved Pad Height (feet)	Proposed Pad Height (feet)	Pad Change (feet)
Building 2 (Phase 1)	173.08	174.42	.62
Building 3 (Phase 1)	173.30	174.42	1.12

Building 2 and 3 are proposed to raise elevations by 0.62 feet and 1.12 feet, respectively, to an elevation of 174.42' for both (Exhibit B, Attachment 1). The Applicant has stated that the increase in elevation to accommodate the design for the emergency overflow management for stormwater onto Gerald Ford Drive, as outlined in Attachment 3. Exhibit 1 below provides a site plan showing, in blue, the two (2) buildings proposed for pad elevation increases. The proposed raised elevations are located on the northern part of the project abutting the vacant property proposed as a future park.

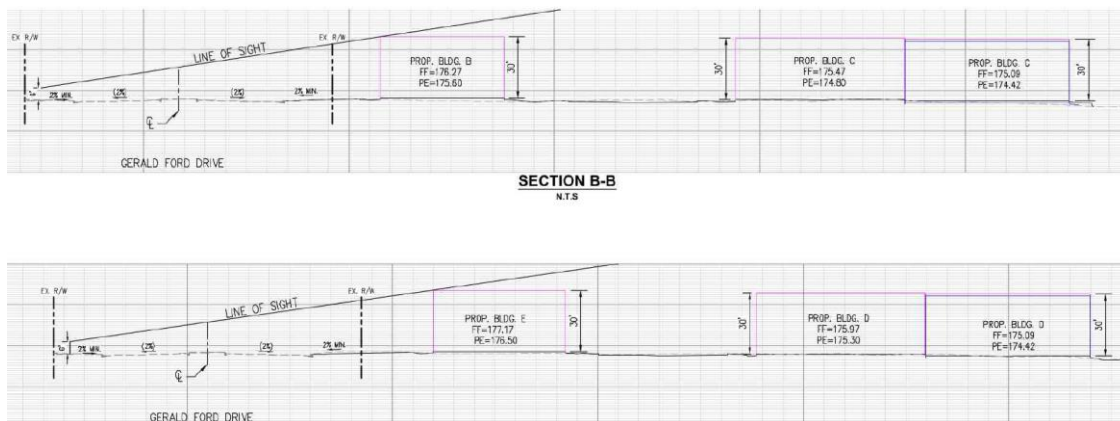
Exhibit 1 – Site Plan



Pursuant to Palm Desert Municipal Code Section 27.12.045(C): *“Where the property is subject to a tentative tract map or a final tract map that provides elevations for the property to be graded, the pad elevations shall conform to the applicable approved map. If the proposed elevations vary more than six inches from the elevations of the approved map, the revised elevations must be reviewed by the city engineer and approved through the director of development services. The director of development services may refer the request to a public hearing process for approval.”*

The City Engineer and Director of Development Services have both reviewed the request and recommend approval of the revised pad elevations, pursuant to a public hearing process. The Applicant has provided justification, including line of sight drawings, to confirm minimal view impacts to surrounding properties, Gerald Ford Drive, or Technology Drive.

Exhibit 2 – Line of Sight Drawings



Environmental Assessment/Environmental Review:

An application has complied with the requirements of the "City of Palm Desert Procedure for Implementation of CEQA" Resolution No. 2024-035, in that the Director of Development Services has determined that the project will not have a significant impact on the environment and that the project is categorically exempt pursuant to CEQA Guidelines Section 15183. The proposed amendment No. 1 does not have significant environmental changes to the determination approved by Resolution 2022-85. Therefore, the proposed amendment does not require further environmental review pursuant to State CEQA Guidelines Section 15183 (Public Resources Code §21083.3) which provides that the project is consistent with a Community Plan, General Plan, or Zoning for which an EIR has been certified "shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the Project or its site. The Environmental Impact Report (EIR) prepared and certified by the City Council as part of the Palm Desert General Plan (SCH# 2015081020) and the proposed Project remains consistent with the development density and use characteristics considered by the General Plan EIR in the Town Center Neighborhood (TCN) land use designation.

Public Notice: Public Notification

Public noticing was conducted for this Special Planning Commission meeting per the requirements of the Palm Desert Municipal Code (PDMC). A public hearing notice was published a minimum of 10 days before the hearing date on Friday, June 27, 2025, in The Desert Sun newspaper. Notices were mailed to all property owners within 1,000 feet of the project site. No comments have been received to date.

Findings of Approval:

Findings of approval may be found in draft Planning Commission Resolution No. 2893, attached to this report.

ATTACHMENTS:

1. Draft Resolution 2893
 - a. Exhibit B Revised Pad Elevations
2. Approved Preliminary Grading Plans
3. Applicant Justification
4. Public Hearing Notice

PLANNING COMMISSION RESOLUTION NO. 2893

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, TO APPROVE A REVISION TO AN APPROVED PAD ELEVATION FOR AN APPROVED MULTI-FAMILY AFFORDABLE HOUSING DEVELOPMENT PROJECT AT THE NORTHWEST CORNER OF GERALD FORD DRIVE AND THE EXTENSION OF TECHNOLOGY DRIVE (APN: 694120028)

CASE NOS. PP 22-0003/TPM 38366, Amendment 1

WHEREAS, the City Council of the City of Palm Desert, California, did on the 26th day of March, 2015, hold a duly noticed public hearing and adopted Ordinance No. 1281 for adoption of a Mitigated Negative Declaration and approval of The Millennium Palm Desert Specific Plan and Development Agreement 14-332; and

WHEREAS, the City Council of the City of Palm Desert, California, did on the 13th day of October 2022, adopt Resolution No. 2022-85, approving Precise Plan 22-0003 and Tentative Parcel Map 38366 for a 241-unit, multi-family affordable housing development community consisting of 10 three-story apartment buildings, one (1) two-story community building with two (2) on-site manager's units, outdoor recreation areas, landscaping, and associated parking areas on a 10.49-acre site on the northwest corner of Gerald Ford Drive and Technology Drive; and

WHEREAS, Resolution No. 2022-85 established approved pad elevations for the project site, including each of the 10 apartment buildings; and

WHEREAS, the Applicant submitted an application for a Precise Grading permit and building construction permit which proposed revisions to the aforementioned approved pad elevations. The revised pad elevations included an increase for Buildings 2 and 3 by 0.62 ft and 1.12 feet, respectively; and

WHEREAS, said application has complied with the requirements of the "City of Palm Desert Procedure for Implementation of CEQA" Resolution No. 2024-035, in that the Director of Development Services has determined that the project will not have a significant impact on the environment and that the project is categorically exempt pursuant to CEQA Guidelines Section 15183; therefore, no further environmental review is necessary; and

WHEREAS, the Planning Commission of the City of Palm Desert, California, did on the 8th day of July 2025, hold a duly noticed public hearing at a special meeting to consider the request for an amendment to PP22-0003/TPM 38336 for a revision to the approved pad elevations; and

WHEREAS, at the said public hearing, upon hearing and considering all testimony and arguments, if any, of all interested persons desiring to be heard, the Planning Commission did find the following facts and reasons, which are outlined in the staff report exist to justify approval of said request; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred; and

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, AS FOLLOWS:

SECTION 1. Recitals. The Planning Commission hereby finds that the foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

SECTION 2. CEQA Determination. There are no changes on the projects that require additional CEQA review from Resolution 2022-85. Resolution 2022-85 approved the project and found that the project did not require further environmental review pursuant to State CEQA Guidelines Section 15183 (Public Resources Code §21083.3) which provides that the projects which are consistent with a Community Plan, General Plan, or Zoning for which an EIR has been certified “shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the Project or its site; An Environmental Impact Report (EIR) was prepared and certified by the City Council as part of the Palm Desert General Plan (SCH# 2015081020) and the proposed Project is consistent with the development density and use characteristics considered by the General Plan EIR in the Town Center Neighborhood (TCN) land use designation.

SECTION 3. Findings on Amendment No. 1 Precise Plan. In recommending approval of this Project, the Planning Commission, and under Palm Desert Municipal Code (PDMC) Section 25.72.030(E), the following findings are required before granting a PP:

1. *In the approval of this amended precise plan, consideration is being given and restrictions are being imposed to the extent necessary, in view of the size and shape of the parcel and the present and proposed zoning and use of the subject property and the surrounding property, to permit the same degree of enjoyment of the subject property, but subject to the same degree of protection of adjoining properties, as would be accorded in normal circumstances by the standard restrictions imposed by Chapter 25.72.030. The project, as conditioned, meets all of the requirements of the underlying zone and provides this project the same allowances that its surrounding properties would be governed by.*
2. *The proposed amended precise plan is not found to substantially depreciate property values in the vicinity nor would it unreasonably interfere with the use or enjoyment of property in the vicinity by the occupants thereof for lawful purposes, nor would it endanger the public peace, health, safety, or general welfare.*

SECTION 4. Project Recommendations. The Planning Commission approves the revised pad elevation as shown in Exhibit B.

SECTION 5. Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings are based are located at the City's office at

PLANNING COMMISSION RESOLUTION NO. 2893

73510 Fred Waring Drive, Palm Desert, CA 92260. Rosie Lua, the Secretary to the Palm Desert Planning Commission, is the custodian of the record of proceedings.

SECTION 6. Execution of Resolution. The Chairperson of the Planning Commission will sign this Resolution, and the Secretary to the Commission shall attest and certify to the passage and adoption thereof.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Palm Desert, California, as follows:

1. That the above recitations are true and correct and constitute the findings for approval of the Planning Commission in this case.
2. That the Planning Commission does hereby recommend approval of the revised pad elevations for PP22-0003/TPM 38366 (Amendment 1), pursuant to the conditions of approval in Exhibit A and the approved pad elevation shown in Exhibit B.

ADOPTED ON JULY 8, 2025.

LINDSAY HOLT
VICE CHAIRPERSON

ATTEST:

ROSIE LUA
SECRETARY

PLANNING COMMISSION RESOLUTION NO. 2893

I, Rosie Lua, Secretary of the City of Palm Desert Planning Commission, hereby certify that Resolution No. 2893 is a full, true, and correct copy, and was duly adopted at a regular meeting of the Planning Commission of the City of Palm Desert on July 8, 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

RECUSED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Palm Desert, California, on July ____, 2025.

ROSIE LUA
SECRETARY

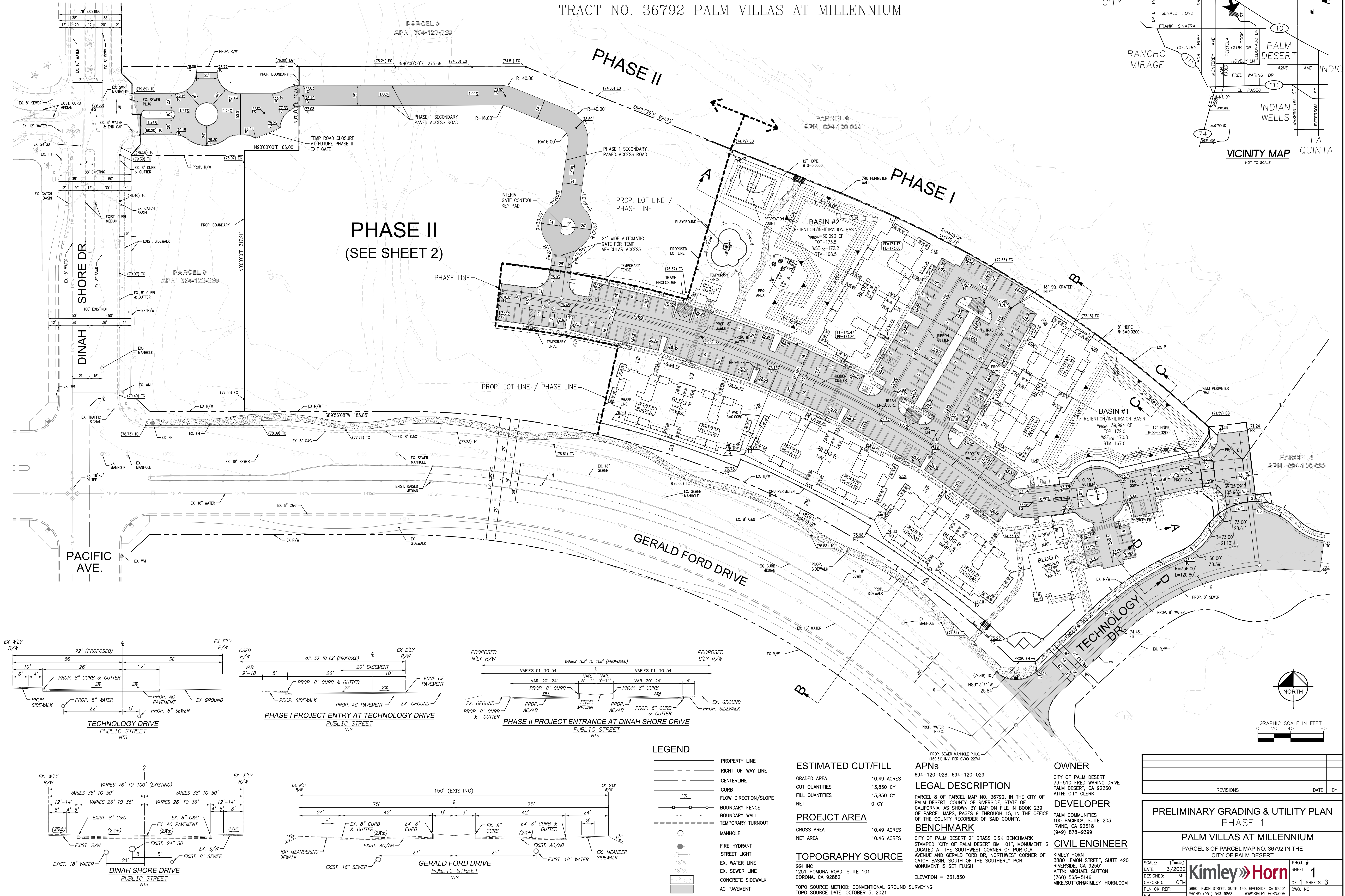
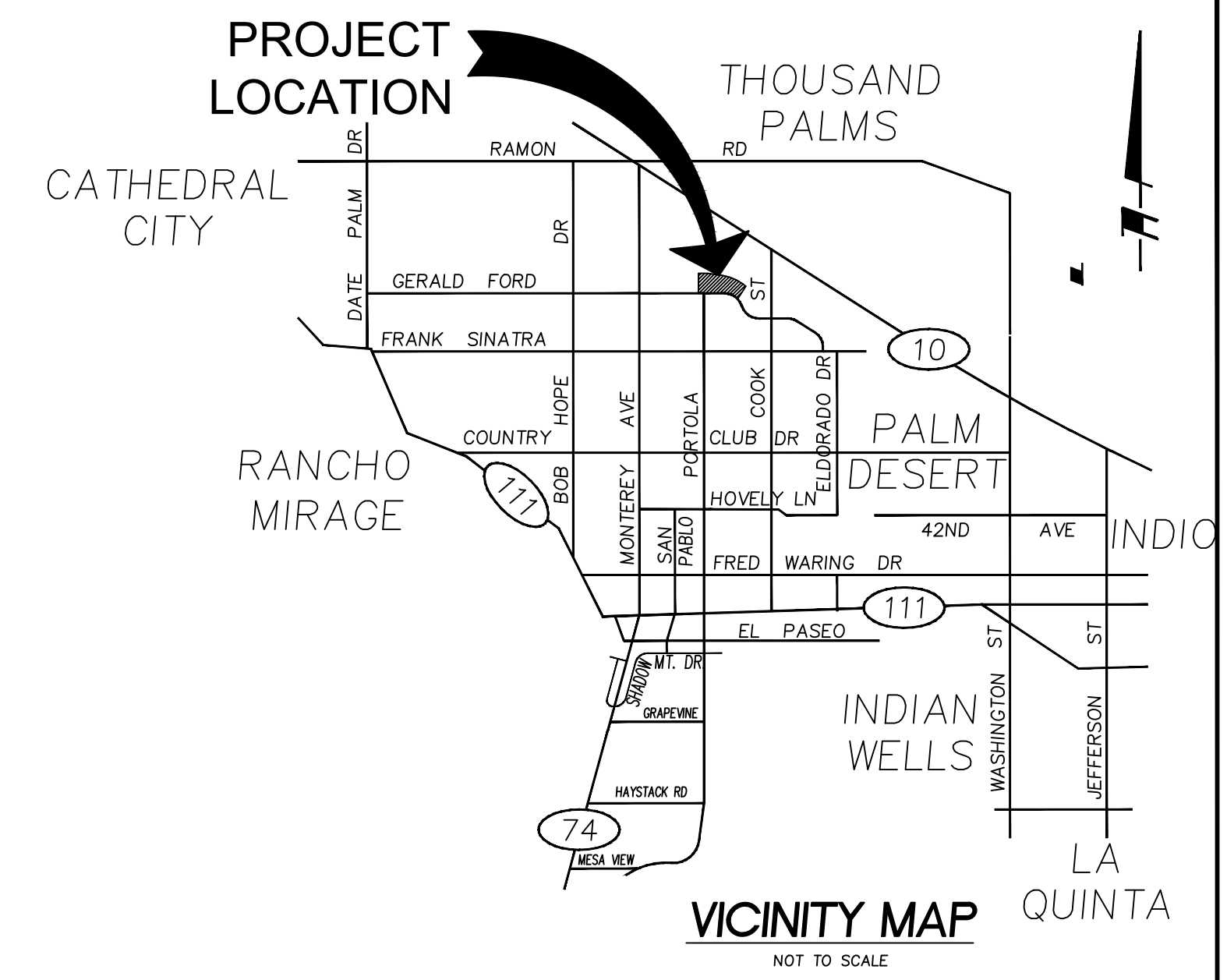
EXHIBIT “A”

**CONDITIONS OF APPROVAL
CASE NO. PP22-0003/TPM38366 (Amendment 1)**

PLANNING DIVISION:

1. The development of the property shall conform substantially with exhibits on file with the Development Services Department, as modified by the following conditions.
2. The applicant agrees that in the event of any administrative, legal, or equitable action instituted by a third party challenging the validity of any of the procedures leading to the adoption of these project approvals for the project, or the project approvals themselves, the developer and City each shall have the right, in their sole discretion, to elect whether or not to defend such action. Developer, at its sole expense, shall defend, indemnify, and hold harmless the City (including its agents, officers, and employees) from any such action, claim, or proceeding with counsel chosen by the City, subject to the developer's approval of counsel, which shall not be unreasonably denied, and at the developer's sole expense. If the City is aware of such an action or proceeding, it shall promptly notify the developer and cooperate in the defense. Developer upon such notification shall deposit with City sufficient funds in the judgment of City Finance Director to cover the expense of defending such action without any offset or claim against said deposit to assure that the City expends no City funds. If both parties elect to defend, the parties hereby agree to affirmatively cooperate in defending said action and to execute a joint defense and confidentiality agreement in order to share and protect the information, under the joint defense privilege recognized under applicable law. As part of the cooperation in defending an action, City and developer shall coordinate their defense in order to make the most efficient use of legal counsel and to share and protect information. Developer and City shall each have sole discretion to terminate its defense at any time. The City shall not settle any third-party litigation of project approvals without the developer's consent, which consent shall not be unreasonably withheld, conditioned, or delayed unless developer materially breaches this indemnification requirement.
3. The development of the property described herein shall be subject to the restrictions and limitations set forth herein, which are in addition to the approved development standards listed in the Palm Desert Municipal Code (PDMC), state, and federal statutes now in force, or which hereafter may be in force.
4. The project is approved at a pad elevation of 174.42' for Building #2 and Building #3, as shown on Exhibit B.
5. The project shall confirm with all of the following project approvals:
 - A. Ordinance No. 1281 (Adoption of the Mitigated Negative Declaration and approval of The Millennium Palm Desert Specific Plan and Development Agreement 14-332)
 - B. Resolution No. 2022-85
 - C. Planning Commission Resolution 2884

IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING & UTILITY PLAN
TRACT NO. 36792 PALM VILLAS AT MILLENNIUM



ESTIMATED CUT/FILL

GRADED AREA	10.49 ACRES
CUT QUANTITIES	13,850 CY
FILL QUANTITIES	13,850 CY
NET	0 CY

PROEJCT AREA

GROSS AREA	10.49 ACRES
NET AREA	10.46 ACRES

TOPOGRAPHY SOURCE
GGI INC
1251 POMONA ROAD, SUITE 101
CORONA, CA 92882
TOPO SOURCE METHOD: CONVENTIONAL GROUND SURVEYING
TOPO SOURCE DATE: OCTOBER 5, 2021

APNs
694-120-028, 694-120-029

LEGAL DESCRIPTION
PARCEL 8 OF PARCEL MAP NO. 36792, IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 239 OF PARCEL MAPS, PAGES 9 THROUGH 15, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK
CITY OF PALM DESERT 2" BRASS DISK BENCHMARK STAMPED "CITY OF PALM DESERT BM 101", MONUMENT IS LOCATED AT THE SOUTHWEST CORNER OF PORTOLA AVENUE AND GERALD FORD DR. NORTHWEST CORNER OF CATCH BASIN, SOUTH OF THE SOUTHERLY PCR. MONUMENT IS SET FLUSH
ELEVATION = 231.830

OWNER
CITY OF PALM DESERT
73-510 FRED WARING DRIVE
PALM DESERT, CA 92260
ATTN: CITY CLERK

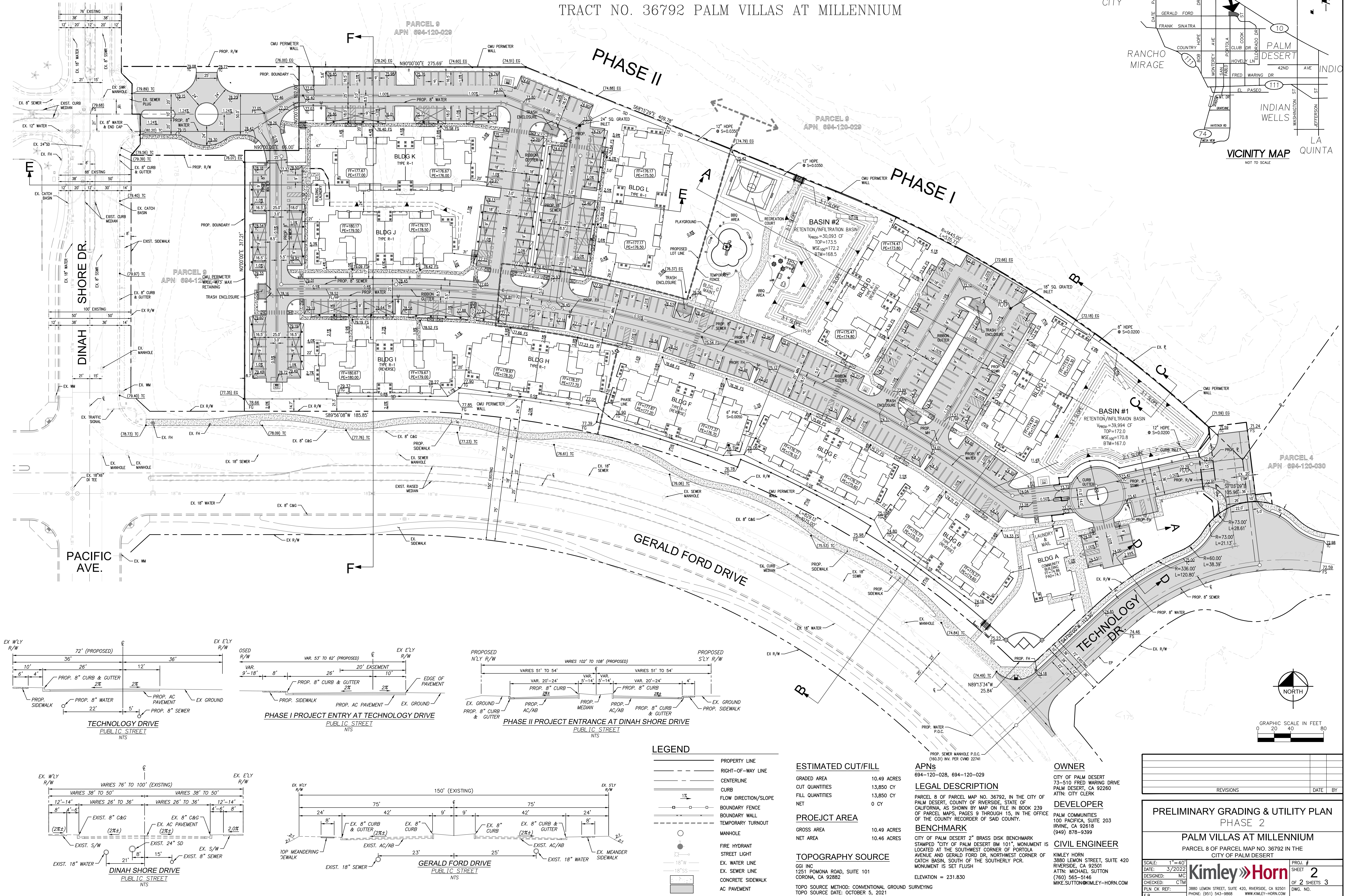
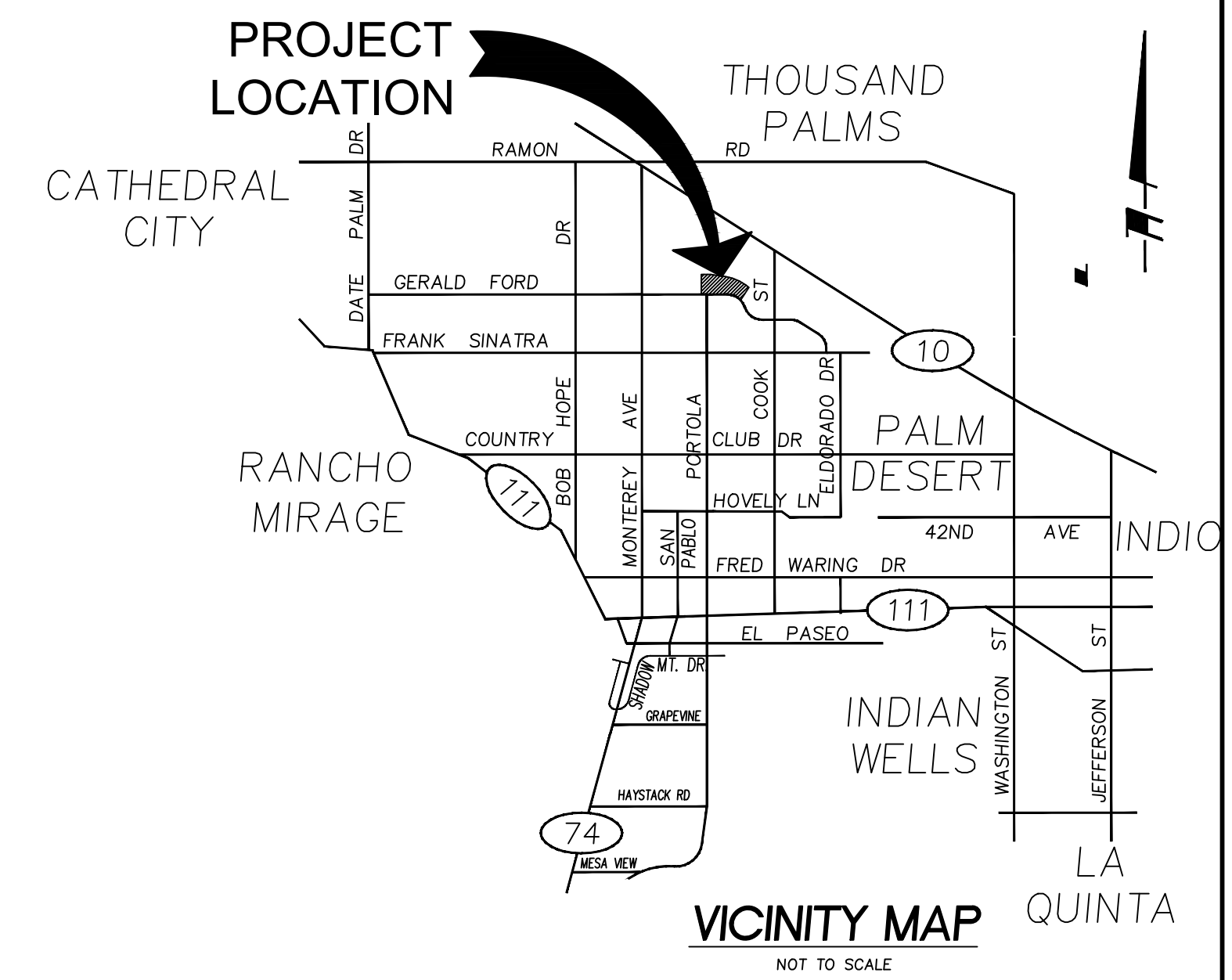
DEVELOPER
PALM COMMUNITIES
100 PACIFICA, SUITE 203
IRVINE, CA 92618
(949) 878-9399

CIVIL ENGINEER
KIMLEY HORN
3880 LEMON STREET, SUITE 420
RIVERSIDE, CA 92501
ATTN: MICHAEL SUTTON
(760) 565-5146
MIKE.SUTTON@KIMLEY-HORN.COM

REVISIONS		DATE	BY

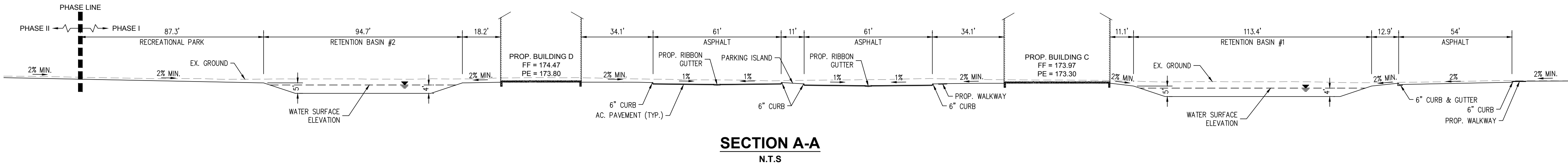
PRELIMINARY GRADING & UTILITY PLAN		PROJ. #
PHASE 1		
PALM VILLAS AT MILLENNIUM		
PARCEL 8 OF PARCEL MAP NO. 36792 IN THE CITY OF PALM DESERT		
SCALE: 1"=40'	DATE: 3/2022	SHEET 1
DESIGNED: MC	CHECKED: CTM	OF 1 SHEETS 3
PLN CK REF:	3880 LEMON STREET, SUITE 420, RIVERSIDE, CA 92501	DWG. NO.
F.B.	PHONE: (951) 543-8868 WWW.KIMLEY-HORN.COM	

IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING & UTILITY PLAN
TRACT NO. 36792 PALM VILLAS AT MILLENNIUM

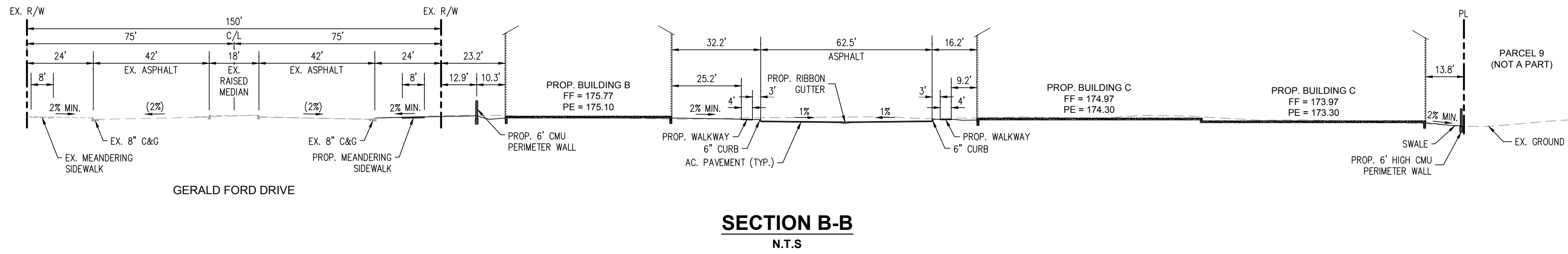


IN THE CITY OF PALM DESERT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING & UTILITY PLAN

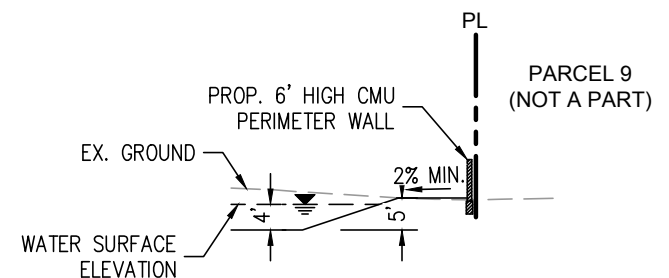
TRACT NO. 36792 PALM VILLAS AT MILLENNIUM



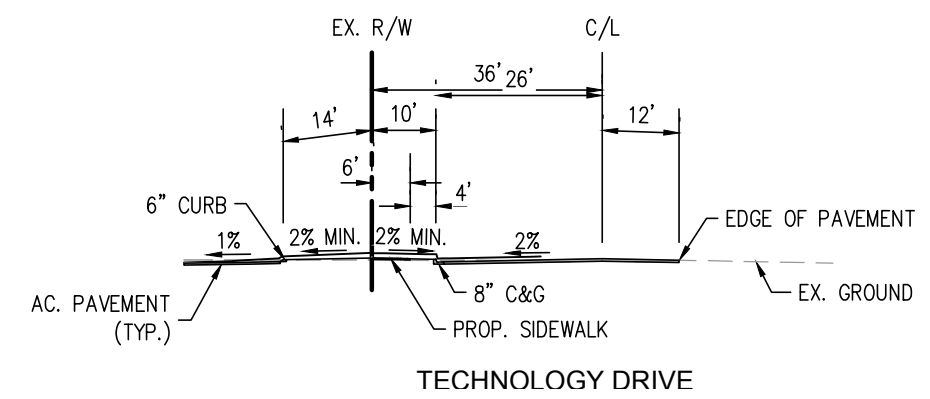
SECTION A-A
N.T.S



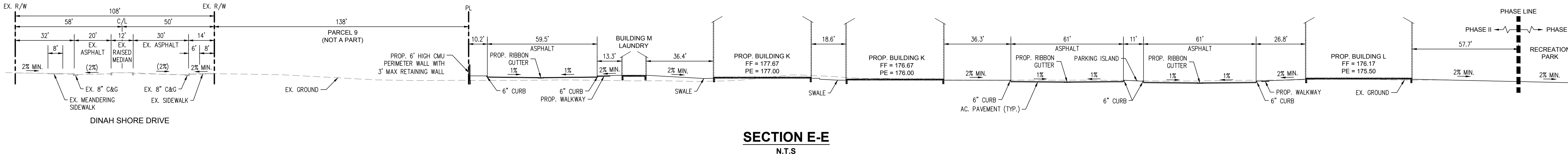
SECTION B-E
N.T.S



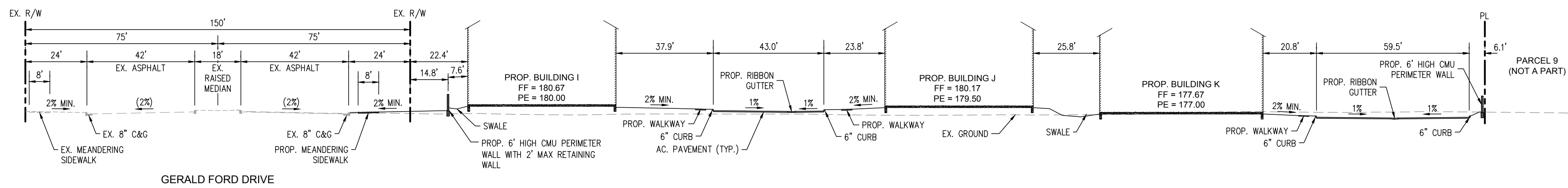
SECTION C-C
N.T.S



SECTION D-
N.T.S



SECTION E-E
N.T.S



SECTION F-F
N.T.S

REVISIONS	DATE	BY

PRELIMINARY GRADING & UTILITY PLAN CROSS SECTIONS

PALM VILLAS AT MILLENNIUM

PARCEL 8 OF PARCEL MAP NO. 36792 IN THE
CITY OF PALM DESERT

SCALE: N.T.S.		PROJ. #
DATE: 3/20/22		SHEET 3
DESIGNED: MC		OF 3 SHEETS 3
CHECKED: CTM		DWG. NO.
PLN CK REF:		
F.B.	3880 LEMON STREET, SUITE 420, RIVERSIDE, CA 92501 PHONE: (951) 543-9868 WWW.KIMLEY-HORN.COM	

City of Palm Desert
Planning Department
73510 Fred Waring Drive,
Palm Desert, CA 92260

RE: Palm Villas at Millennium | Letter of Justification for Pad Elevations

To whom it may concern:

I hope this letter finds you well. On behalf of Palm Communities, I am writing to formally request an exemption to the current city ordinance 27.12.04.C that limits raising the elevation of building finish floors more than 6-inch from what was approved through preliminary engineering and the tentative map approval.

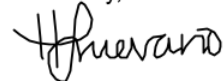
As part of the engineering plan check and design efforts for the new project located at Gerald Ford and Dinah Shore, we have identified a critical need to raise the finish floors of two buildings located along the northern property line by more than the 6 inches threshold. This adjustment is necessary to ensure effective emergency overflow management for stormwater onto Gerald Ford Drive. Supplemental exhibits have been provided with our submittal that highlight the north portion of Buildings 2 and 3 that are being raised by 0.62ft and 1.12ft respectively.

Justification of Changes:

1. **Emergency Overflow Management:** In the preliminary engineering/tentative map, the northern portion of building's 2 and 3 were situated lower than the surrounding street grades at Dinah Shore, Gerald Ford and Technology. The proposed elevation increase is crucial to accommodate a safe and controlled pathway for emergency stormwater overflow during extreme weather events. This proactive measure aims to protect the structures from potential flooding and allows for stormwater to release onto Gerald Ford before entering the structures, thus ensuring public safety and structure protection.
2. **Minimal Impact:** The elevation adjustment is designed to be minimally intrusive while delivering significant protective benefits. The visual and practical impact of the new proposed pad elevations and their surroundings will be negligible. This ensures that the architectural aesthetics and functional layout remain virtually unchanged while enhancing flood resilience. It should be noted that these two buildings are situated in the back of the property and sit lower than the surrounding structures, so the additional elevation will not be noticeable from Gerald Ford.

Given the importance of this modification for public safety and infrastructure integrity, we kindly request the City of Palm Desert Planning Department to consider granting approval for the new proposed pad elevations for buildings 2 and 3 in the Palm Villas at Millennium development. Thank you for your consideration of this matter. We look forward to your favorable response and are available for any meetings or consultations required to facilitate this process.

Sincerely,



Hannah Luevano
Kimley Horn
73700 Dinah Shore, Unit 101
Palm Desert, CA 92211



CITY OF PALM DESERT

73-510 FRED WARING DRIVE
PALM DESERT, CALIFORNIA 92260-2578
TEL: 760-776-6483
PLANNING@PALMDESERT.GOV

**CITY OF PALM DESERT
PUBLIC HEARING NOTICE
SPECIAL PLANNING COMMISSION MEETING
CASE NO. PP 22-0003/TPM 38366**

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD BEFORE THE PLANNING COMMISSION OF THE CITY OF PALM DESERT, CALIFORNIA, TO APPROVE A PAD ELEVATION CHANGE FOR THE DEVELOPMENT OF A 241-UNIT MULTI-FAMILY DEVELOPMENT AT THE NORTHWEST CORNER OF GERALD FORD AND THE EXTENSION OF TECHNOLOGY DRIVE.

The City of Palm Desert (City), in its capacity as the Lead Agency for this project and pursuant to the California Environmental Quality Act (CEQA), has determined the project to be exempt from further environmental review pursuant CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning). The Planning Commission will consider this request at the meeting.

PROJECT LOCATION: 10.49-acre property at the northwest corner of Gerald Ford Drive and extension of Technology Drive, now named Zenith Drive (APN: 694-120-028 and 694-120-029)

PROJECT DESCRIPTION: The project is a request to increase an approved pad elevation for Precise Plan 22-0003 and Tentative Parcel Map 38366 for a 241-unit, multi-family affordable housing apartment development.

PUBLIC HEARING: The Planning Commission meeting begins at 6:00 p.m. in the Council Chamber at 73510 Fred Waring Drive, Palm Desert, California. Pursuant to Assembly Bill 2449, this meeting may be conducted as a hybrid meeting allowing public access via teleconference or in person. Options for remote participation will be listed on the Posted Agenda for the meeting at <https://www.palmdesert.gov/connect/city-council>

PUBLIC REVIEW: The plans and related documents are available for public review Monday through Friday from 8:00 a.m. to 5:00 p.m. by contacting the project planner, Carlos Flores. Please submit written comments to the Planning Division. If any group challenges the action in court, issues raised may be limited to only those issues raised at the public hearing described in this notice or in written correspondence at or prior to the Planning Commission hearing. All comments and any questions should be directed to:

Carlos Flores, AICP, Interim Deputy Director of Development Services
City of Palm Desert
73-510 Fred Waring Drive
Palm Desert, CA 92260
(760) 776-6478
cflores@palmdesert.gov

PUBLISH: THE DESERT SUN
JUNE 27, 2025

ROSIE LUA, SECRETARY
PALM DESERT PLANNING COMMISSION

CITY OF PALM DESERT ATTENDANCE REPORT

PLANNING COMMISSION ATTENDANCE
Prepared By: Monique Lomeli

Year	2024		2024		2024		2024		2024		2025		2025		2025		2025		2025		2025		Total Absences	Total Unexcused Absences
Month	Aug		Sep		Oct		Nov		Dec		Jan		Feb		Mar		Apr		May		Jun			
Date	6	20	3	17	1	29	5	17	3	17	7	21	4	18	4	18	1	15	6	20	3	17		
DeLuna, Nancy	-	P	P	-	P	P	-	P	-	P	P	-	-	-	-	E	P	-	-	P	P		1	0
Greenwood, John	-	P	P	-	P	P	-	E	-	P	P	-	-	-	-	P	P	-	-	E	P		2	0
Gregory, Ron	-	E	E	-	P	P	-	P	-	P	P	-	-	-	-	P	P	-	-	E	E		4	0
Holt, Lindsay	-	P	P	-	P	E	-	P	-	P	P	-	-	-	-	P	E	-	-	P	E		3	0
Meyerhoff, Alex	-	N/A	N/A	-	N/A	N/A	-	N/A	-	N/A	N/A	-	-	-	-	P	P	-	-	P	P		0	0

Palm Desert Municipal Code 2.34.010:

Twice Monthly: Six unexcused absences from regular meetings in any twelve-month period shall constitute an automatic resignation of members holding office on boards that meet twice monthly.

- P Present
- A Absent
- E Excused
- No meeting
- P Remote