

**ARCHITECTURAL REVIEW COMMISSION  
CITY OF PALM DESERT  
MEETING AGENDA**

Tuesday, February 11, 2025

12:30 p.m.

Development Services Conference Room, City Hall

73-510 Fred Waring Drive

Palm Desert, CA 92260

Pursuant to Assembly Bill 2449, this meeting may be conducted as a hybrid meeting allowing public access via teleconference or in person, and up to two Commissioners may attend remotely.

- To participate via Zoom, use the following link: <https://palmdesert.zoom.us/j/83648797515> or call (213) 338-8477, Zoom Meeting ID: 836 4879 7515
- Written public comment may also be submitted to [planning@palmdesert.gov](mailto:planning@palmdesert.gov). E-mails received by 9:30 a.m. prior to the meeting will be distributed to the Commission. Any correspondence received during or after the meeting will be distributed to the Commission as soon as practicable and retained for the official record. **Emails will not be read aloud** except as an ADA accommodation.

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**Pages**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. NON-AGENDA PUBLIC COMMENT**

This time has been set aside for the public to address the Architectural Review Commission on issues that are not on the agenda for up to three minutes. Speakers may utilize one of the three options listed on the first page of the agenda. Because the Brown Act does not allow the Architectural Review Commission to act on items not listed on the agenda, members may briefly respond or refer the matter to staff for a report and recommendation at a future meeting.

**4. CONSENT CALENDAR**

All matters listed on the Consent Calendar are considered routine and may be approved by one motion. The public may comment on any items on the Consent Calendar within the three-minute time limit. Individual items may be removed by the Architectural Review Commission for a separate discussion.

**RECOMMENDATION:**

Approve the consent calendar as presented.

**4.a APPROVAL OF MINUTES**

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**RECOMMENDATION:**

Approve the Minutes of January 28, 2025.

**5. CONSENT ITEMS HELD OVER**

**6. ACTION CALENDAR**

The public may comment on individual Action Items within the three-minute time limit. Speakers may utilize one of the three options listed on the first page of the agenda.

**6.a CONSIDERATION TO APPROVE A SIGN PROGRAM AMENDMENT FOR AN EXISTING, MULTITENANT COMMERCIAL BUILDING NORTH OF HIGHWAY 111, APPROXIMATELY 505 FEET EAST OF DEEP CANYON ROAD**

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**RECOMMENDATION:**

Staff recommends the ARC approve the request for a comprehensive sign program amendment approval, determining the requirements of the findings have been met.

**6.b CONSIDERATION OF DESIGN REVIEW FOR A FAÇADE MODIFICATION TO EXISTING STOREFRONT FOR RESTORATION HARDWARE LOCATED AT 73100 EL PASEO, SUITES 3-10.**

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**RECOMMENDATION:**

Staff recommends the Architectural Review Commission find that the project satisfies all findings for design review approval and approves the project with the following condition:

1. The awnings shall be a “Heather Beige” color as provided in the physical material sample.

**6.c CONSIDERATION TO APPROVE A DESIGN REVIEW FOR A FAÇADE MODIFICATION TO AN EXISTING COMMERCIAL STOREFRONT FOR LOVESAC RETAIL BUSINESS AT 73-199 EL PASEO, SUITES C-D**

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**RECOMMENDATION:**

Staff recommends the Architectural Review Commission find that the project satisfies all findings for design review approval and approves the project with the following condition:

1. The Dark Tile Plank shall remain with a “Walnut” brown finish.

**7. REPORTS & REMARKS**

**7.a ARCHITECTURAL REVIEW COMMISSIONERS**



7.b CITY STAFF

7.c ATTENDANCE REPORT

8. ADJOURNMENT

The next Regular Meeting will be held on February 25, 2025 at 12:30 p.m.

9. PUBLIC NOTICES

**Agenda Related Materials:** Pursuant to Government Code §54957.5(b)(2) the designated office for inspection of records in connection with this meeting is the Office of the City Clerk, Palm Desert Civic Center, 73-510 Fred Waring Drive, Palm Desert. Staff reports for all agenda items considered in open session, and documents provided to a majority of the legislative bodies are available for public inspection at City Hall and on the City's website at [www.palmdesert.gov](http://www.palmdesert.gov).

**Americans with Disabilities Act:** It is the intention of the City of Palm Desert to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, or in meetings on a regular basis, you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the Office of the City Clerk, (760) 346-0611, at least 48 hours prior to the meeting to inform us of your needs and to determine if accommodation is feasible.

**AFFIDAVIT OF POSTING**

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda for the Architectural Review Commission was posted on the City Hall bulletin board and City website not less than 72 hours prior to the meeting.

/S/ Melinda Gonzalez

Executive Administrative Assistant



**ARCHITECTURAL REVIEW COMMISSION  
CITY OF PALM DESERT  
REGULAR MEETING MINUTES**

January 28, 2025, 12:30 p.m.

Present: Commissioner James Blakeley, Commissioner Dean Wallace Colvard, Commissioner Nicholas Latkovic, Commissioner Michael McAuliffe, Commissioner Francisco Sanchez, Chair John Vuksic

Absent: Commissioner James McIntosh

Staff Present: Principal Planner Carlos Flores, Associate Planner Kenny Taylor, Recording Secretary Melinda Gonzalez

**1. CALL TO ORDER**

A Regular Meeting of the Architectural Review Commission was called to order by Chair Vuksic on January 28, 2025, at 12:30 p.m. in the Development Services Conference Room, City Hall, located at 73-510 Fred Waring Drive, Palm Desert, California.

*It should be noted that due to technical difficulties the Zoom option for this meeting was unavailable to the public until approximately 2:20 p.m. starting at item 7.b.2.*

**2. ROLL CALL**

**3. NON--AGENDA PUBLIC COMMENT**

Chair Vuksic opened and closed the public comment period for Non-Agenda public comment. No public comments were provided.

**4. CONSENT CALENDAR**

The Consent Calendar was approved as presented.

**Motion by:** Commissioner Colvard

**Seconded by:** Commissioner McAuliffe

**Motion Carried (6 to 0)**

**4.a APPROVAL OF MINUTES**

The Architectural Review Commission (ARC) regular meeting minutes of December 10, 2024, were approved as presented.

**Motion by:** Commissioner Colvard

**Seconded by:** Commissioner McAuliffe

**Motion Carried (6 to 0)**

**5. CONSENT ITEMS HELD OVER**

None

**6. ACTION CALENDAR**

**6.a CONSIDERATION OF DESIGN REVIEW FOR A FAÇADE MODIFICATION TO EXISTING STOREFRONT FOR O'REILLY AUTO PARTS LOCATED AT 72875 HIGHWAY 111. (CONTINUED FROM DECEMBER 10, 2024)**

Associate Planner, Kenny Taylor, narrated a PowerPoint presentation on the item and responded to Commission inquiries.

Chair Vuksic opened the public comment period. With no members of the public wishing to comment, Chair Vuksic closed the public comment period. Discussion on the item ensued with Commissioners providing comments on the project.

**Motion by:** Commissioner McAuliffe

**Seconded by:** Commissioner Blakeley

Motion carried to approve Case No. MISC24-0017 as presented, subject to the following conditions:

1. The "Red Powder Coat" shown on the northern and southern elevations shall be restricted to the proposed sign area.
2. The applicant shall apply for a separate sign permit prior to construction of O'Reilly signage onsite.

**Motion Carried (6 to 0)**

**6.b CONSIDERATION TO APPROVE A DESIGN REVIEW TO DEVELOP 146 DETACHED RESIDENTIAL UNITS WITHIN UNIVERSITY PARK (CONTINUED FROM DECEMBER 10, 2024)**

Commissioner Sanchez advised the need to recuse himself from the item as his firm is the Landscape Architect on record for the project and left the conference room.

Principal Planner, Carlos Flores, provided a brief introduction noting this item was continued by the ARC on December 10, 2024; subsequently the Applicant met with Commissioners Colvard and McAuliffe to go over comments provided by the Commission. Principal Planner Flores narrated a PowerPoint presentation on the item and responded to Commission inquiries. Efreem Joelson, Applicant Representative, Kevin Crook, Architect, and Jose Estrada, Landscape Architect, were present in person.

Chair Vuksic opened the public comment period and invited the applicant to speak. Efreem Joelson, Applicant Representative, Jose Estrada, Landscape Architect, and Kevin Crook, Architect, introduced themselves and answered questions from the Commission.

With no other members of the public wishing to comment, Chair Vuksic closed the public comment period. Discussion on the item ensued with Commissioners providing comments on the project.

**Motion by:** Chair Vuksic

**Seconded by:** Commissioner Colvard

Motion carried to approve Case No. MISC24-0049 as presented, subject to the following condition:

1. Windows located on front elevations that are not already recessed shall be recessed by installing 2" x 8" walls, with exception to instances where there are strong architectural reasons which were discussed in the meeting. (e.g. where the siding is next to the window)

RECUSED (1): Commissioner Sanchez

**Motion Carried (5 to 0)**

Commissioner Sanchez returned to the meeting at the conclusion of this item.

## **7. REPORTS & REMARKS**

### **7.a ARCHITECTURAL REVIEW COMMISSIONERS**

None

### **7.b CITY STAFF**

#### **7.b.1 PROVIDE FEEDBACK ON NEW WAYFINDING SIGNS**

Principal Planner Flores briefly introduced the item, noting the City has hired a consultant, Selbert Perkins Design, to provide a design concept for new wayfinding signs for the City. City staff members, Erica Powell, Management Analyst, and Chris Gerry, Senior Project Manager, were present for this item. Brandon Reeves, Design Director with Selbert Perkins Design, narrated a presentation on the proposed new City wayfinding signs. Mr. Reeves reviewed the three design options under consideration, each of which included identity monuments signs, direction signs, and amenity signs. The following comments were provided regarding the design concepts:

1. Materials should be durable enough to withstand high winds experienced in certain areas of the City.
2. The pole style direction signs from options 1A and 1C do not stand out like the direction signs from option 1B which are more elegant and present like street art.
3. If option 1A is selected, be mindful of the image proportions and how they overlap.
4. Mountain theme is very overused throughout the Coachella Valley.

5. Actual lighting versus relying on reflective material for illumination of signs in the nighttime is preferred.
6. Consider removing "City of" and having just "Palm Desert" on monument signs.
7. The smaller horizontal monument sign in option 1B may not be legible enough.
8. The Yellow color in option 1C is obtrusive and not used much in the City. The green color in option 1B is pleasant, soft and is similar to cactus color.
9. The palm frond logo on option 1A monument sign appears oddly placed; consider lightening the paint color of the palm frond.
10. At night the 1B option has great contrast, but the contrast of the palm fronds and details are lost in the daytime.
11. Option 1B may be high maintenance because of the cutout pattern which may collect debris.
12. Consideration will need to be given for option 1B signs that are in pedestrian locations as children may put their hands and items in the cutouts which could pose a safety concern.
13. Option 1C presents as a good compromise which compliments already existing signage for the City and introduces a new element to move forward in design. Consider changing the stone from emulating a mountain to regular stone shape. The vertical element on the monument sign adds a contemporary feel and the color reaching to the ground works well giving it a strong design.

The majority of Commissioners agreed they liked the stone monument signs concept of option 1A but preferred the non-pole design of the directional and amenity signs for option 1B. They discouraged the use of the pole sign designs or mountain themed design.

#### **7.b.2 PROVIDE FEEDBACK ON PROPOSED DESIGNS FOR FIRE STATIONS 33 AND 71**

Principal Planner Flores provided a brief introduction to the item, noting the City has hired consultant PBK to design two new Fire Stations for the City. City staff, Lucero Leyva, Senior Project Manager, and Fire Chief Mike Beverlin, were present for this item. Jaime Moreno, Architect for PBK, narrated a PowerPoint presentation.

Mr. Moreno presented elevations and details for Fire Station 33 first. The following comments were provided by Commissioners:

1. Consider a heavy metal frame for the proposed Gabion baskets to give it a better design.

2. Consider the continuation of the same type of architecture over the entry, the stepped slab element, instead of incorporating a new metal brow.
3. Revisit the use of an angled brow over windows when compared to straight angled brow used at entry.

Mr. Moreno presented elevations and details for Fire Station 71 second. Commissioners were pleased with the design concept for this station and did not offer design comments for consideration.

**7.c ATTENDANCE REPORT**

The attendance report was provided with the agenda materials. The Commission took no action on this item.

**8. ADJOURNMENT**

The Architectural Review Commission adjourned at 2:59 p.m.

Respectfully submitted,

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Melinda Gonzalez, Executive Administrative Assistant  
Recording Secretary

ATTEST:

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Carlos Flores, Principal Planner  
Secretary

APPROVED BY ARC: \_\_/\_\_/2025





**ARCHITECTURAL REVIEW COMMISSION  
CITY OF PALM DESERT  
STAFF REPORT**

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MEETING DATE: February 11, 2025

PREPARED BY: Kayleen Aguirre, Planning Technician

CASE NO: SARC24-0019

SUBJECT: CONSIDERATION TO APPROVE A SIGN PROGRAM AMENDMENT FOR AN EXISTING, MULTITENANT COMMERCIAL BUILDING NORTH OF HIGHWAY 111, APPROXIMATELY 505 FEET EAST OF DEEP CANYON ROAD

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**RECOMMENDATION:**

Staff recommends the ARC approve the request for a comprehensive sign program amendment approval, determining the requirements of the findings have been met.

Any modifications required by the ARC should be added to the motion as a condition of approval.

**BACKGROUND:**

The Applicant, Jack Rivers for Canyon Print & Signs, is requesting approval of a Sign Program Amendment for an existing, multitenant commercial building (Building) north of Highway 111, approximately 505 feet east of Deep Canyon Road, at 74600 Highway 111 (Assessor's Parcel Number: 625100037).

The proposal would amend the existing Sign Program (Program) and would set guidelines for sign criteria, including size, location, construction, height, length, and illumination for all building and monument signage for the Building.

**PROJECT SUMMARY:**

A. Property Description:

- On September 12, 1996, the City Council (Council) approved Resolution 96-57 for a 9,200 square-foot Precise Plan design for a 35,000 square-foot project site (Site) on the north side of Highway 111, approximately 505 feet east of Deep Canyon Road (Case No. PP 96-6). Ordinance 813 was adopted for the approval of a Zoning Map amendment on the same date to change the Site's zone from PC-4 (Resort Commercial) to PC-2 (District Commercial) (Case No. C/Z 96-4).
- On October 8, 1996, the Architectural Review Commission (ARC) approved a sign program and free-standing identification monument sign with four tenants listed, subject to the lay-out and script that would return to the commission for approval (Case No. PP 96-6). See Attachment 2 for the original Program.

- On February 25, 1997, the ARC approved the re-design of the monument sign using vertical scoring (Case No. PP 96-6).
- The Building is currently an active multitenant commercial building with tenants including “Wingstop” and “Starbucks”. It is located within an existing commercial center with two other buildings, including a singular “Albertson’s” grocery building to the north of the commercial center and another multitenant commercial building to the west. The Program is solely for the Building and would not apply to the other two commercial buildings within the commercial center.

B. Zoning, General Plan and Adjacent Uses

**Table 1 – Adjacent Land Use and Designations**

	<b>Existing Uses</b>	<b>General Plan</b>	<b>Zoning</b>
<b>Project Site</b>	General Retail Center	Suburban Retail Center	District Commercial Center (P.C.-2)
<b>North</b>	Grocery/Produce Store	Small Town Neighborhood	District Commercial Center (P.C.-2)
<b>South</b>	Full-Service Restaurant	Town Center Neighborhood	District Commercial Center (P.C.-2)
<b>West</b>	General Retail Center	Suburban Retail Center	District Commercial Center (P.C.-2)
<b>East</b>	Hotel	Suburban Retail Center	Resort Commercial Center, Scenic Preservation Overlay (PC. -4, S.P.)

C. Project Description

The Applicant is requesting a Program amendment and will be making corrections to illegible portions of the document. The proposed Program would set guidelines for sign criteria, including size, location, construction, height, length, and illumination for one (1) multitenant building, and for one (1) standalone monument sign, as shown on Exhibit 1 (next page).

### Exhibit 1 – Program Site Plan

**Tenant Main sign / Corner Units Allowed One Sign Per Fascia**

- A A1**  
Dual Lit (Front & Back Lit)
- B**  
Back Lit, Front lit or Dual Lit
- C**  
Back Lit, Front lit or Dual Lit
- D**  
Back Lit, Front lit or Dual Lit
- E**  
Back Lit, Front lit or Dual Lit
- F**  
Back Lit, Front lit or Dual Lit
- G G1**  
Back Lit, Front lit or Dual Lit

**Monument sign**

- 1**  
Double sided



The Program outlines the standards and requirements for the Building signs on the existing Building. All the Building signs are currently approved and installed. The Program does not create any nonconformities with existing signs and is intended to provide clarity for the Building moving forward.

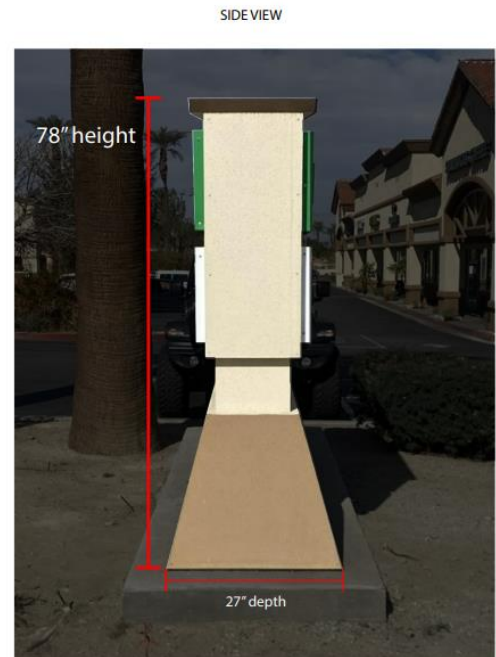
The Program separates signage guidelines into three (3) categories: (1) Approved Signs, (2) Monument Sign, and (3) Prohibited Sign Types (Attachment 1, Page 4). The Program details submittal requirements (Attachment 1, Page 7), sign construction details (Attachment 1, Page 11), a site plan with allowed sign types (Attachment 1, Page 12), and monument sign construction details (Attachment 1, Pages 15-16).

The Program proposes a re-design for one (1) multitenant monument sign that exists along Highway 111. The one (1) multitenant monument sign is the only sign part of this Program that will have a new design from what is currently existing and approved. Details for the existing and proposed monument signs are listed in Table 2 (next page). Exhibit 2 (next page) shows the existing monument sign and Exhibit 3 (page 5) provides the proposed new monument sign. Exhibit 3 shows the proposed monument sign without finished colors but would include the existing color palette, as identified in Table 2.

**Table 2 – Monument Sign Details**

Detail	Existing (Exhibit 2)	Proposed (Exhibit 3)
<b>Panels</b>	<ul style="list-style-type: none"> <li>• Four (4) 15" tall panels for tenants</li> <li>• Square footage: 5.2 sf (per sign)</li> <li>• Projection: 1.5" retainer</li> </ul>	<ul style="list-style-type: none"> <li>• Seven (7) 15" tall panels for tenants</li> <li>• Square footage: 5.2 sf (per sign)</li> <li>• Projection: 1.5" retainer</li> </ul>
<b>Monument Dimensions</b>	<ul style="list-style-type: none"> <li>• Height (grade to top): 6 ft. 6 in.</li> <li>• Depth: 2 ft. 3 in.</li> <li>• Width: 9 ft.</li> </ul>	<ul style="list-style-type: none"> <li>• Height (grade to top): 8 ft.</li> <li>• Depth: 2 ft. 3 in.</li> <li>• Width: 9 ft.</li> </ul>
<b>Monument Base</b>	<p><u>Concrete foundation:</u> 3" tall from grade  <u>Monument base:</u> 14" tall from concrete foundation, 120" width</p> <ul style="list-style-type: none"> <li>• Reinforced with concrete anchors and steel posts</li> </ul>	Same as existing.
<b>Colors &amp; Materials</b>	<p>Desert color palette</p> <ul style="list-style-type: none"> <li>• Panels: White acrylic faces</li> <li>• Monument: Stucco painted tan</li> <li>• Base &amp; Cap: Stucco painted deep brown</li> </ul>	Same as existing.
<b>Lighting</b>	Internally illuminated.	Same as existing.

**Exhibit 2 – Existing Monument Sign**



### Exhibit 3 – Proposed Monument Sign Dimensions



#### **ANALYSIS:**

Per Palm Desert Municipal Code (PDMC) Section 25.56.100, the purpose of a comprehensive sign program is to “integrate all of a nonresidential project’s signs with the overall site design and the structures’ design into a unified architectural statement. A comprehensive sign program provides a means for the flexible application of sign regulations in order to provide incentive and latitude in the design and display of multiple signs...”

Table 3 (next page) provides a summary of proposed development standards for the Program as compared to the City’s sign ordinance under PDMC Section 25.56.070 and guidelines from the existing Program for reference.

**Table 3 – PDMC Summary**

<b>Standard</b>	<b>PDMC Allowance</b>	<b>Existing</b>	<b>Proposed</b>
<b>Size (max sign area)</b>	1 sf per lineal foot of tenant frontage to a maximum of 50 sf per elevation	1 sf per lineal foot of tenant frontage to a maximum of 50 sf per elevation.	Same as existing.
<b>Sign Height</b>	Maximum height of 20 ft. from ground floor	20 ft maximum height	No mention – PDMC 20 feet will apply.
<b>Letter Height</b>	N/A	<ul style="list-style-type: none"> <li>• Letter height: 14” min., 24” max</li> <li>• 2 lines considered case by case.</li> </ul>	<ul style="list-style-type: none"> <li>• 24” total sign height, 1 line</li> <li>• 2 lines considered case by case</li> <li>• Tenants A and G (ends): 58”, 2 lines</li> </ul>
<b>Number of Signs</b>	1 per building frontage	Additional sign allowed for the north elevation shop tenant. No additional sign for the south elevation shop tenant.	1 sign per tenant leased frontage. An additional sign is allowed if the unit is an end or corner unit.
<b>Illumination Allowed</b>	Yes	Yes, non-illumination prohibited.	Same as existing.
<b>Length</b>	N/A	N/A	N/A
<b>Secondary Signs</b>	Permitted per standards listed in PDMC §25.56.080C.	N/A	No mention – PDMC will apply.
<b>Monument sign</b>	50 sf of sign area 6 ft height but may be higher if necessary. Height shall not exceed 10 ft.	48 sf of sign area 6 ft height	61.5 sf of sign area 8 ft height

**ZONING ORDINANCE SUMMARY:**

Proposed comprehensive sign programs require Design Review approval by the Architectural Review Commission pursuant to PDMC Section 25.68.050(C)(3). A comprehensive sign program shall comply with the following standards, as outlined in PDMC Section 25.56.100(D):



1. The proposed sign program shall comply with the purpose and intent of this chapter.

*The intent of this chapter (PDMC Chapter 25.56 Signs) is to implement the goals and policies of the General Plan, particularly with regard to developing a City that is visually attractive and preserving and enhancing the visual aspects of the City's streets, highways, vistas, and view sheds. The purpose of these regulations is to provide each sign user an opportunity for adequate identification while guarding against excessive advertising and the confusing proliferation of signs, ensure signs are in harmony with the building, the neighborhood, and other signs in the area, and protect the safety of motorists and pedestrians by minimizing the distraction of excessive and intrusive signs as well as to protect the life, health, property, and general welfare of residents and visitors.*

*Everything proposed is in line with the intent mentioned above. The Program provides each tenant with adequate identification but not a proliferation of number of square footage of signs that is excessive. Signs are designed to be harmonious with the building and surrounding commercial uses and are designed in a way to not cause distractions to motorists as they drive by. The Program creates strict criteria to ensure that the signage on the building is attractive and enhances the visual aspects of the City meanwhile providing adequate size for businesses.*

2. The proposed signs shall enhance the overall development, be in harmony with, and relate visually to other signs included in the comprehensive sign program, to the structures and/or developments they identify, and to surrounding development when applicable.

*The proposed Program creates a uniform look for the building and provides criteria to ensure this consistency. The signs are designed to be in harmony with the building and all signs on the building. The Program has clear and detailed criteria relating to development standards, construction, sign criteria, and location. The signs are compatible with the surrounding commercial uses.*

3. The sign program shall address all signs, including permanent, temporary, and exempt signs.

*The Program provides standards for all types of signs, including permanent, temporary, and exempt signs. Additionally, information is provided for prohibited signs and the monument sign. Other types of signs, including store numbers and window signs, shall be reviewed and approved according to the standards listed in the Palm Desert Municipal Code.*

4. The sign program shall accommodate future revisions that may be required because of changes in use or tenants.

*The Program is broad enough to provide standards for a change of tenants, meanwhile still providing clear criteria for any future use or tenants in the building. Future tenants will*

*be required to submit plans for building signage to the City of Palm Desert for compliance with the sign program and Palm Desert Municipal Code.*

5. The sign program shall comply with the standards of this chapter, except that deviations are allowed with regard to sign area, total number, location, and/or height of signs to the extent that the comprehensive sign program will enhance the overall development and will more fully accomplish the purposes and intent of this chapter.

*Table 3 in the staff report provides a breakdown of where the Program deviates from the Palm Desert Municipal Code chapter on signs as well as guidelines from the existing Program for reference. The Program complies with the standards and intent of the chapter. The revised Program is designed to correct illegible portions of the existing document and to enhance the overall development, including the Building and surrounding commercial uses. The signs identified within the Program are existing and were approved under the original Program. The Program does not create any nonconformities with existing signs and provides a design to replace the existing (1) monument sign. The revisions to the existing Program are appropriate for the Building, surrounding area, and the existing signs.*

*The Program proposes to allow for deviations from PDMC standards for the proposed monument sign including a total sign area of 61.5 square feet, which is above the allowed maximum of 50 square feet, and a height of 8 feet, which is above the allowed maximum of 6 feet. Signs may be proposed with a greater height if topographic or other features necessitate a higher sign, but in no event shall the total sign height exceed 10 feet. The current monument sign is less than the maximum 50 square feet of sign area, and the proposed monument sign only increases the existing height to allow for additional signage with a proposed design to match the existing sign. It does not increase width, depth, or foundation.*

6. Approval of a comprehensive sign program shall not authorize the use of signs prohibited by this chapter.

*Approval of the Program would not include approval of individual sign permit(s). If the program is approved, the Applicant would need to apply for sign permit(s) for any individually proposed signs, subject to the review and approval of the City's Development Services Department. The Program provides information on prohibited sign types and indicates that all signs prohibited by the City of Palm Desert shall not be allowed.*

7. Review and approval of a comprehensive sign program shall not consider the signs' proposed message content.

*The sign program is written to be absent of any standards as it relates to message content and instead focuses solely on sign standards, locations, construction, and criteria. The approval of a sign program does not take into account the signs proposed message content.*



Findings for the ARC decisions of comprehensive sign program applications are listed under PDMC Section 25.56.100(E) as follows.

1. The comprehensive sign program complies with the purpose of this chapter, including the design criteria.

*The intent of PDMC Chapter 25.56 Signs is to provide regulations that allow each sign user an opportunity for adequate identification while protecting against excessive advertising and the confusing proliferation of signs. It ensures signs are in harmony with the building, the neighborhood, other signs in the area, and protects the safety of motorists and pedestrians by minimizing the distraction of excessive and intrusive signs.*

*Everything proposed within the Program is in line with the intent mentioned above. The Program provides its tenants with adequate identification. Signs are designed to be harmonious with the building and surrounding commercial uses and are designed in a way to not cause distractions to motorists that drive by. The Program creates strict criteria to ensure that signage on the building is attractive and enhances the visual aspects of the City.*

2. Proposed signs enhance the overall development and are in harmony with other signs included in the plan with the structures they identify and with surrounding development.

*The proposed Program creates a uniform look for the building and provides criteria to ensure this consistency. The signs are designed to be in harmony with the building and all signs on the building. The Program has clear and detailed criteria relating to development standards, construction, sign criteria, and location. The signs are compatible with the surrounding commercial buildings.*

3. The comprehensive sign program contains provisions to accommodate future revisions that may be required because of changes in use or tenants.

*The Program is broad enough to provide standards for a change of tenants, meanwhile still providing clear criteria for any future use or tenants in the building. Future tenants will be required to submit plans for building signage to the City of Palm Desert for compliance with the sign program and Palm Desert Municipal Code.*

4. The comprehensive sign program complies with the standards of this chapter, except that flexibility is allowed with regard to sign area, number, location, and/or height to the extent that the signs proposed under the comprehensive sign program will enhance the overall development, achieve superior quality design, and will more fully accomplish the purposes of this chapter.

*Table 3 in the staff report provides a breakdown of where the Program deviates from the Palm Desert Municipal Code chapter on signs as well as guidelines from the existing Program for reference. The Program complies with the standards and intent of the*

*chapter. The revised Program is designed to correct illegible portions of the existing document and to enhance the overall development, including the Building and surrounding commercial uses. The signs identified within the Program are existing and were approved under the original Program. The Program does not create any nonconformities with existing signs and provides a design to replace the existing (1) monument sign. The revisions to the existing Program are appropriate for the Building, surrounding area, and the existing signs.*

*The Program proposes and allows for a deviation from PDMC standards for the proposed monument sign, to allow for a sign area of 61.5 square feet, above the allowed maximum of 50 square feet, and a height of 8 feet, above the allowed maximum of 6 feet. Signs may be proposed with a greater height if topographic or other features necessitate a higher sign, but in no event shall the total sign height exceed 10 feet. The current monument sign is less than the maximum 50 square feet of sign area, and the proposed monument sign only increases the existing height to allow for additional signage with a proposed design to match the existing sign. It does not increase width, depth, or foundation. The proposed re-design of the monument sign and the Program in its entirety are appropriate and effective for the Building, its tenants, the commercial center, and the surrounding neighborhood.*

**ATTACHMENTS:**

1. Revised Sign Program
2. Original Sign Program

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# CV3 Deep Canyon LLC

## SIGN PROGRAM

*74-600 Deep Canyon, Palm Desert, CA 92260*

January 16, 2025

  
CANYON  
PRINT & SIGNS  
760.832.8433  
68303 Ramon Rd  
Cathedral City CA 92234

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# Introduction

The purpose of this sign criteria is to provide the guidelines necessary to assure coordination and compatibility between all signs on the building. Balanced and appealing sign environment, harmonious with the architecture of the project, while maintaining provisions for individual graphic expression.

No sign, whether permanent or temporary, including any supporting structure and lighting thereof, shall present any hazard to the safety of pedestrian or vehicular traffic by obstructing the flow of such traffic, by obstructing the sight lines required for the safe movement of pedestrian or vehicular traffic, by interfering with the visibility and effectiveness of any traffic control or warning device or in any other manner.

A zoning compliance sign permit is required prior to the erection, alteration, or relocation of any sign subject to sign guidelines

Signs in conformance with an approved sign program or business name signs which are in conformance with the standards of the maximum allowable sign area for the site may receive approval by the Planning Division in the Development Services Department. Palm Desert City staff will be able to advise you on the appropriate review process.

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## Approved Signs

Illuminated Back lit, front lit and Dual lit (Front and Back) sign allowed. (See site plan on page 12 for more information)

Company logo and or color allowed, in compliance with the sign requirements of this sign program and the City of Palm Desert.

- Max overall sign height with 2 lines, 58”h for Tenant A and G.
- Signs which include both upper and lower-case letters may not exceed 24” in height of First capital letter (Maximum allowance for sign with ascenders and descenders is 24” total sign height)
- The sign layout shall be one (1) line format for storefront identification. Two line format may be considered on a case by case basis. The sign layout shall not exceed a height which would encroach within the area six inches (6”) from the top and bottom of fascia "sign band" area.
- The maximum allowable sign area is not to exceed one square foot (1 sq. ft.) per lineal foot of tenant store frontage to a maximum of fifty square feet (50 sq. ft.) per elevation.
- All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Palm Desert Municipal Code allows 3 colors maximum, unless a nationally registered logo/trademark. Color represented in drawing proof are for presentation purposes only, final color product might change. No exposed conduits will be allowed.

## Monument Sign

- Monument Internally illuminated, 1/2” push through, .063 aluminum Box with acrylic panels for tenants names. Monument Painted Stucco Tan DE 6205. Tenant panels to be White Acrylic panels. TEXT color and font to be Approved by owner.
- Monument size 96 inches high by 108 inches wide of the top portion and 120” w on base for 80 square feet.
- Tenant Sign Panel is 15 inches by 50 inches wide. with 1 1/2 inch retainer. (See page 15)

## Prohibited Sign Types

- Non-illuminated signage
  - Internally illuminated CABINETS signs are prohibited.
  - Flat cut aluminum/acrylic and PVC
  - Paper, cardboard, styrofoam
  - Moving or rotating signs
  - Signs directly painted on wall
  - Cabinet signs
  - All signs prohibited by the City of Palm Desert
- Allowed Portable signs: Chalkboards, sandwich boards, Temporary Banners or A-Frames signs.

***No sign should be installed without the written landlord approval and the required city permits.***

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# Sign Requirements I

All signs shall comply with Palm Desert Municipal Code.

Tenant will be responsible for its sign contractor to indemnify, defend and hold harmless the landlord and its agents from any damage or liability resulting from the contractor's work. Tenant will also provide Landlord adequate evidence of tenant's sign contractor insurance coverage, naming Landlord as additionally insured.

Sign labels that pertain to construction and installation shall be permitted and placed in a conspicuous location for inspections and/or emergencies.

Penetration of the building structure required by installation shall be neatly sealed in a "water tight" condition and painted to match exterior surface. Upon termination of lease, tenant is responsible for the removal of signage, patching and painting to match existing building color.

Temporary identification sign such as: construction, developer, seasonal promotions and/or compliance non illuminated advertising displays permitted as per Palm Desert Municipal code.

Sign contractor to obtain structural construction documents and visit project site to confirm shear wall locations prior to installing signage.

For future building signage, owner/tenant(s) will need to submit exterior elevations showing designated areas for signage, sign exhibits and materials that meet the sign program for the city of Palm Desert approval and landlord approval.

Tenant signage shall include only the business name, as registered on the lease agreement, and established logo symbol, subject to approval by Landlord.

Tenants wishing to initiate logo graphics for their business, which are not concurrent with the typestyle or fabrication techniques stipulated within the sign program, must submit a professionally prepared design drawing (in scale and color) of the proposed sign for review by the Landlord. Upon the approval by the Landlord (in writing), the tenant must submit the design to the City of Palm Desert for approval and permit

No sign shall be permitted that pose a nuisance or hazard. No exposed lamps, tubing and/or bulbs, shall be permitted.

Roof Sign or projected sign shall not be permitted.

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## Sign Requirements II

All costs of signs, installation and permits shall be pay by the owner/tenant and their California C45 licensed Sign Contractor are responsible for fulfilment of all requirements of this sign program.

Sign contractor shall provide owner's with certificate of insurance naming owners and any other designated party as additional insured showing evidence of worker compensation and public liability insurance against all damage suffered or done to any and all persons or property while engaged in the construction or erection of signs in the amount of \$1,000,000.00 per occurrence.

The tenant, the tenant's agent and/or the tenant's sign contractor and/or general contractor shall be responsible for obtaining any and all permits required.

Maintenance of signs is the responsibility of the tenant to maintain all elements of its sign in a first class condition at all times. If damaged signage is not rectified within thirty days, the Landlord may repair the sign at the tenant's expense.

Former tenant(s) shall be responsible for the removal of the signage, including: sealing patching, painting, and electrical disconnect(s). Removals to be completed within a 10(ten) day period of lease termination at the tenant's expense. It is required that you use a sign contractor for signage and signage component removal and electrical disconnect, and a painting contractor for finishing and painting work. All repair work must match the building color and texture. Working area must be left in a neat and clean condition and the surface that the sign be left in a new-like or original appearance.

Performance will be strictly enforced and any non-conforming signs will be removed and signage are repaired by the Landlord at the tenant's sole expense.



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# Submittal Requirements

A sign application consistent with this program shall consist of the following:  
For each proposed sign application on the building, the following shall be specified:

1. A dimensioned location of each sign in the building and/or property.
2. A sign dimensions including letter height, color, sign length and sign projection from building.
3. Color scheme.
4. Type style or graphic style.
5. Material being used.
6. Method of installation / attachment / cross-section.
7. Site plan indicating the location of the occupant space on the site.
8. Fabrication and installation details.
9. The Tenant shall pay for all necessary permit and sign.
10. Linear building frontage
11. Height of sign (from ground level to top of sign)
12. Dimensions clearly showing that signs are in the middle 50% of occupancy frontage (lease line to lease line)
13. Type of illumination (if applicable)
14. Night rendering of illumination (if applicable)
15. A dated signature of approval by the Landlord will be placed on each sign working drawing prior to submittal to the City of Palm Desert for a building permit.

Provide an Illustrated representation of the signage and graphic logo superimposed on a photograph where signage is to be located.  
Provide a photograph to include entire store-front. All permits for the sign(s) and their installation shall be obtained by the sign applicant. The sign application shall satisfy all requirements and specifications.

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# Binding Effects

No sign shall be erected, constructed, installed, altered, placed or maintained except in conformance with this program. In case of any conflict between the provisions of this program and any other provisions of City of Palm Desert zoning ordinance.

**Approvals:**

The design and construction of the tenant’s signage must receive written approval by the Landlord and the City of Palm Desert before fabrication and installation.

The landlord written approval shall be submitted to the City, along with a completed City application, approved plans, and fees.

Landlord approval shall be based on the following:

1. Conformity to the provisions of this sign program.
2. Complete information, i.e. contractor’s name, company name, address, license number, and workers compensation number. To secure the owners approval, 3 (three) copies of the design drawing of the signage must be submitted directly to the Landlord.

**Final Inspection of Sign Installation:**

1. The installing sign contractor shall call the City for a final inspection after having installed the sign.
2. The Final Inspection Card must be maintained on file with the Sign Contractor.
3. Signs that deviate from this Sign Program will be removed at the tenant’s expense.

This sign program is intended to address nearly all sign types while adhering to city sign codes and facilitating business operations. It is understood that a tenant could have sign needs that may not fit the Sign Program. Landlord and the city of Palm Desert Planning Department will reserve the right to review your sign proposal on a case to case basis. Applicants that fall into this category are strongly encouraged to meet with the landlord and the planning department prior to sign design to review and exhaust all options prior to using said provision due to legal sensitivity and extended lead times of provision.

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# Approve Sign Vendor Specifications

All sign fabrication work shall be done by a professional sign contractor possessing current valid state license.

Approved sign contractor



67990 E. PALM CANYON DRIVE  
CATHEDRAL CITY, CA 92234

PH: 760.832.8433  
WEB: CANYONPS.COM

**All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Colors represented in drawing proof are for presentation purposes only, final color product might change. No exposed conduits will be allowed.**

# Sign samples

*Backlit Sign*



*Front Lit Sign*

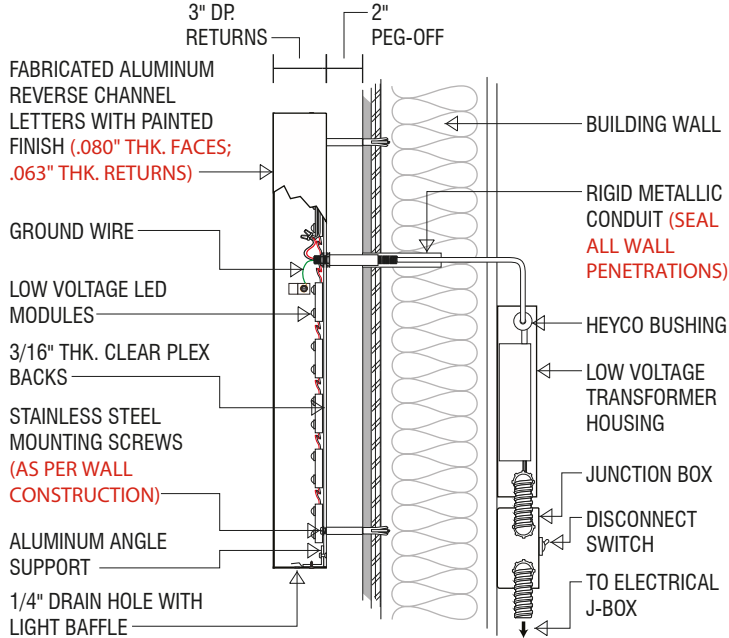


*Front & Back Lit*



# Sign Construction

## Backlit Sign



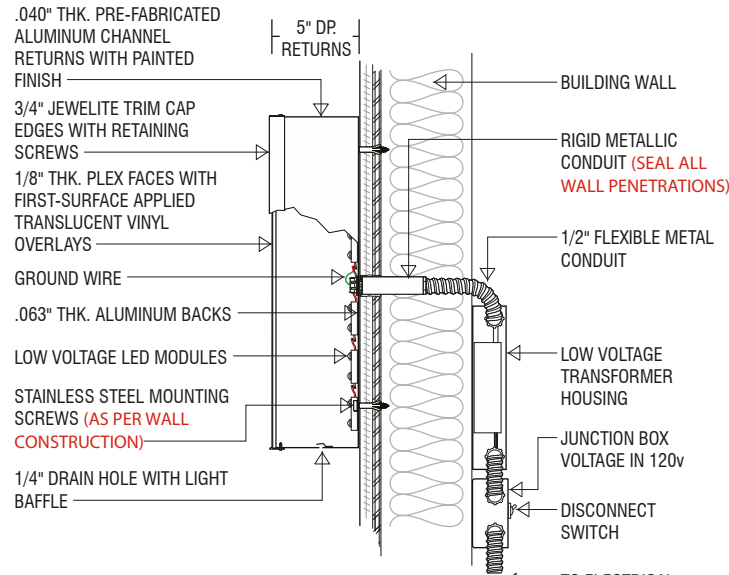
SECTION

SIGN TO BE UL APPROVED AND BEAR UL LABEL

### REVERSE PAN CHANNEL LETTERS WITH LED ILLUMINATION

**NOTE:**  
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

## Front Lit Sign



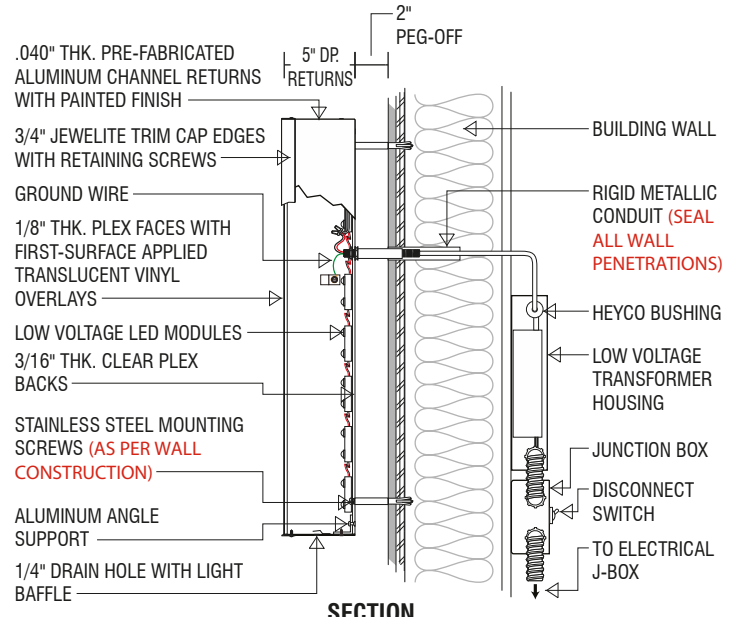
SECTION

SIGN TO BE UL APPROVED AND BEAR UL LABEL

### PLEX FACED CHANNEL LETTERS WITH LED ILLUMINATION

**NOTE:**  
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

## Front & Back Lit



SECTION

SIGN TO BE UL APPROVED AND BEAR UL LABEL

### PLEX FACED CHANNEL LETTERS WITH THROUGH FACE & HALO LED ILLUMINATION

**NOTE:**  
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



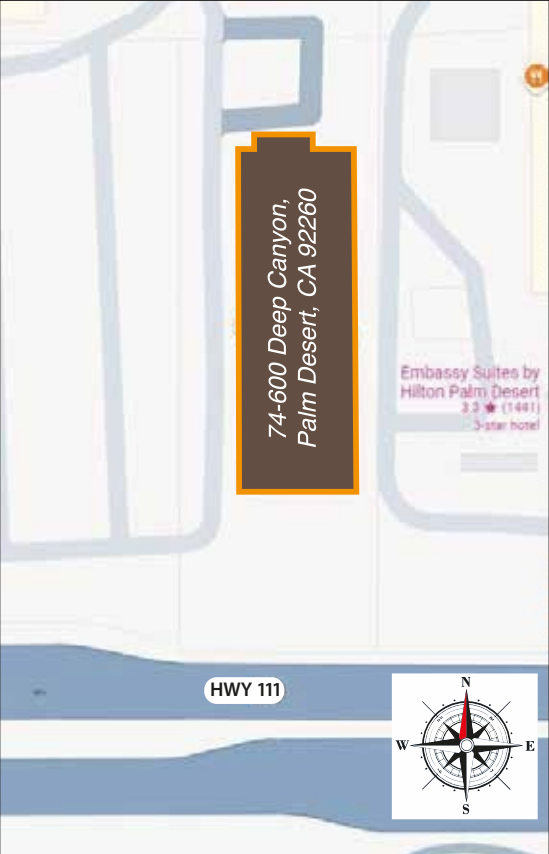
# SITE PLAN/SIGN TYPE

*Tenant Main sign / Corner Units Allowed One Sign Per Fascia*

- A A1**  
Dual Lit (Front & Back Lit)
- B**  
Back Lit, Front lit or Dual Lit
- C**  
Back Lit, Front lit or Dual Lit
- D**  
Back Lit, Front lit or Dual Lit
- E**  
Back Lit, Front lit or Dual Lit
- F**  
Back Lit, Front lit or Dual Lit
- G G1**  
Back Lit, Front lit or Dual Lit

**Monument sign**

- 1**  
Double sided







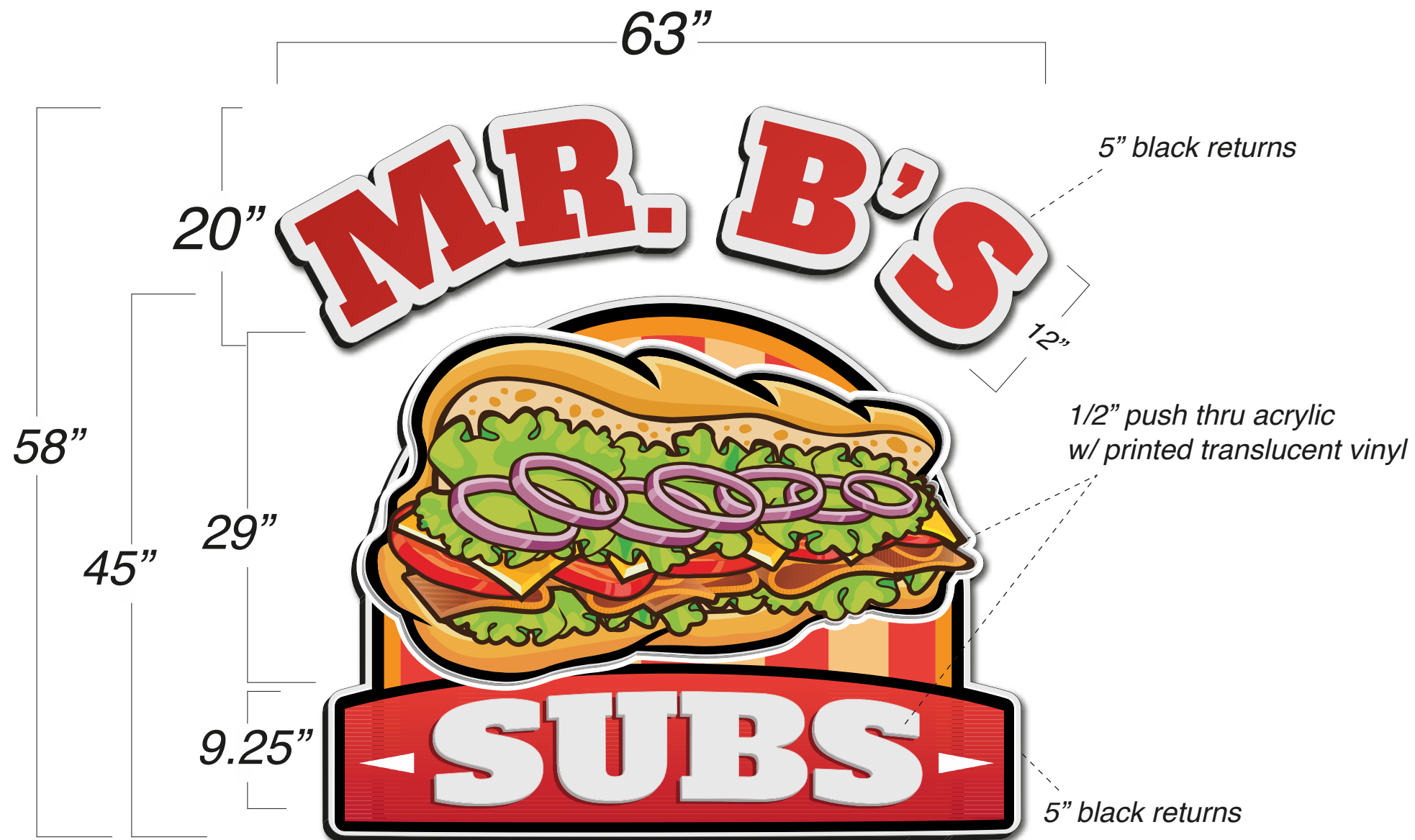
• Reverse channel letters internally illuminated, .080 aluminum face thickness, 063 aluminum returns, 3/16" clear plex backs, illuminated with Low voltage LED modules, letters to be 2" standoff from building fascia.

• Dual Lit (Front and Back illuminated) letters, 1/8" plex faces, .040 5" returns, 3/4" trim cap edges, 3/16" clear plex backs, illuminated with Low voltage LED modules, letters to be 2" standoff from building fascia.

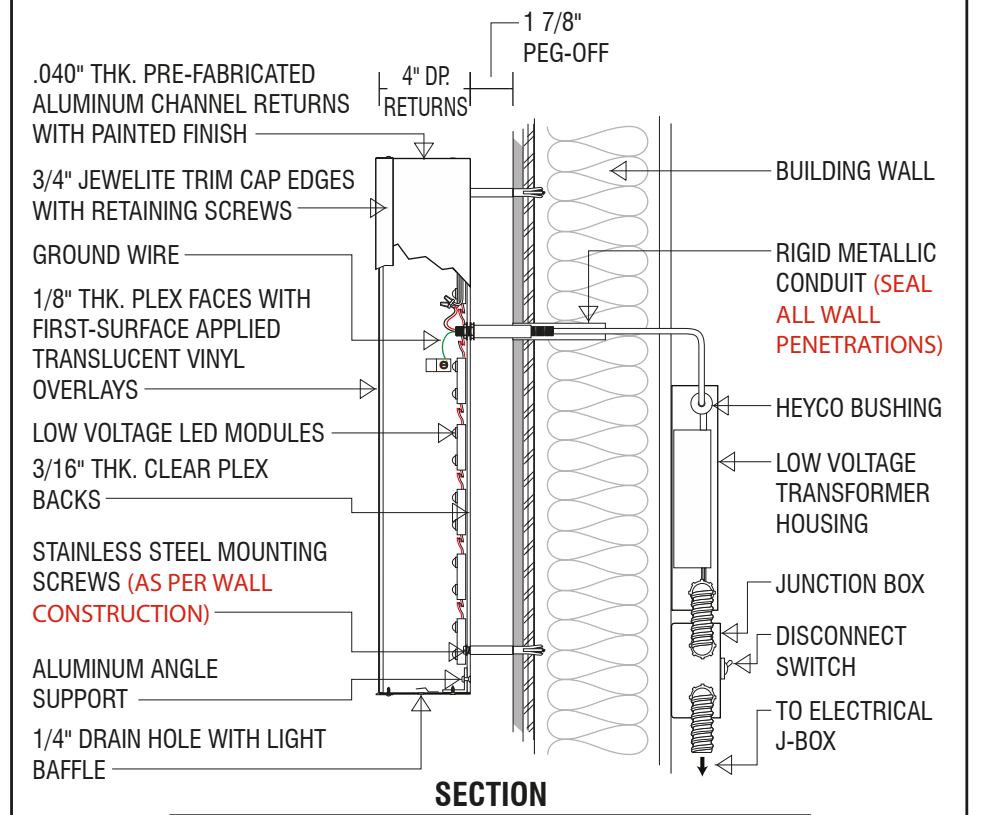
• Front illuminated letters, 1/8" plex faces, .040 5" returns, 3/4" trim cap edges, .063 aluminum back, illuminated with Low voltage LED modules, letters mounted flush to building fascia.

January 16, 2025

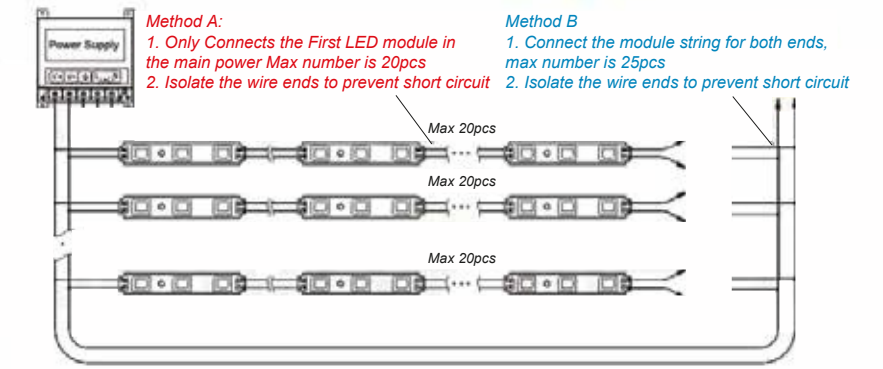




### Front and Back Lit Channel Letters (Dual Illuminated)



### LED Illuminated Diagram



UI Approval Components Consisting Of Low Voltage(12v) LED Modules, With Minimum Light Output Of 120 Lumens/ft.

#### signs specs

Halo Internally Illuminated  
 Lexan thickness: 1/8" acrylic  
 Aluminum Thickness: .060  
 Face Color: 4 color process print  
 Return Color: Black  
 Mounting: Back

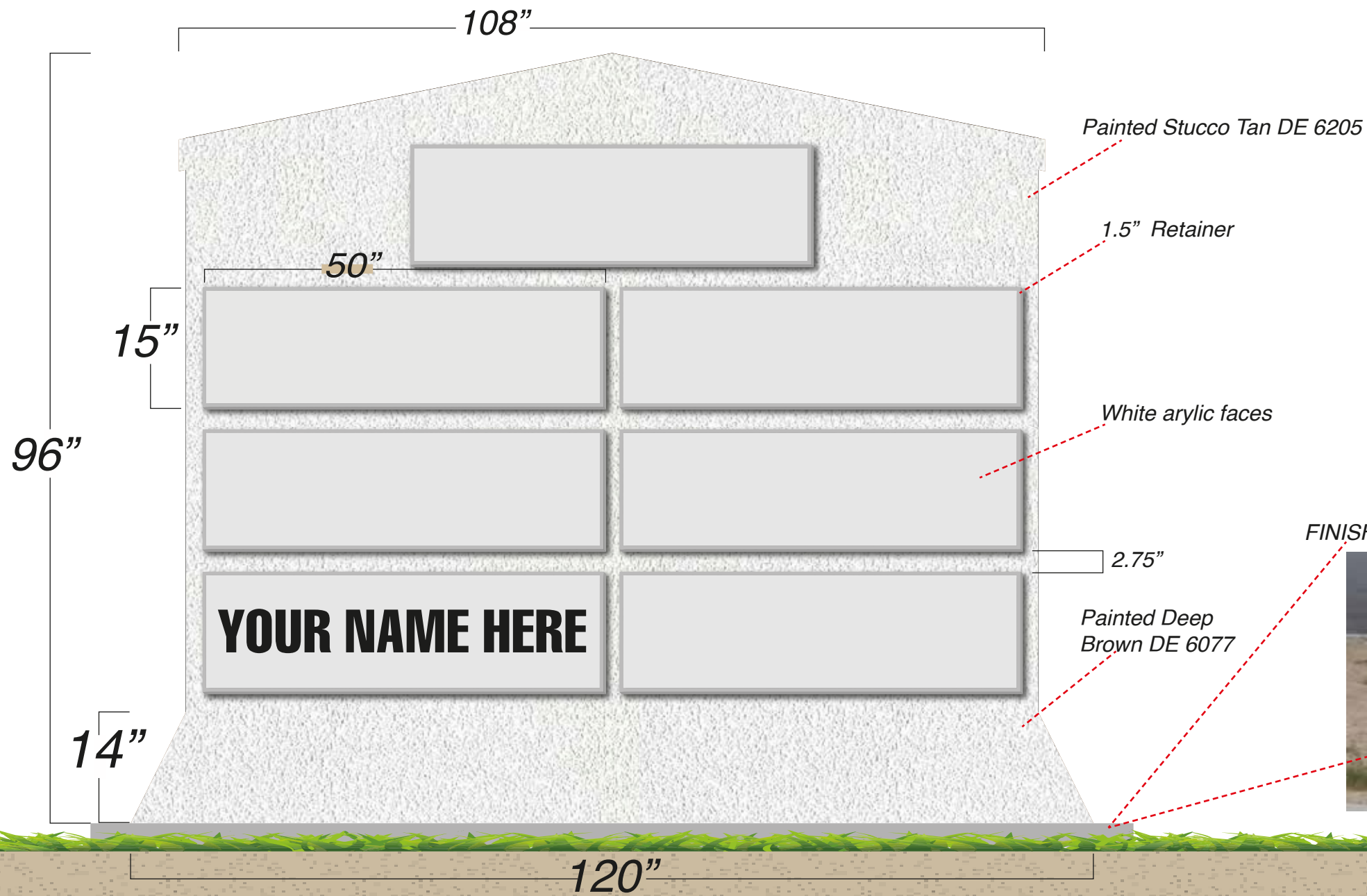
Standoff: Standoff  
 LED Color: Cool white 8000k temperature  
 60W2-60-W 12VDC LED  
 Operation temp. -4°F ~ 140°F  
 IP68 Waterproof  
 w/ Photocell

**Building Linear Footage**  
**31 linear feet**

**Sign SqFt**  
**26.25 Sqft**

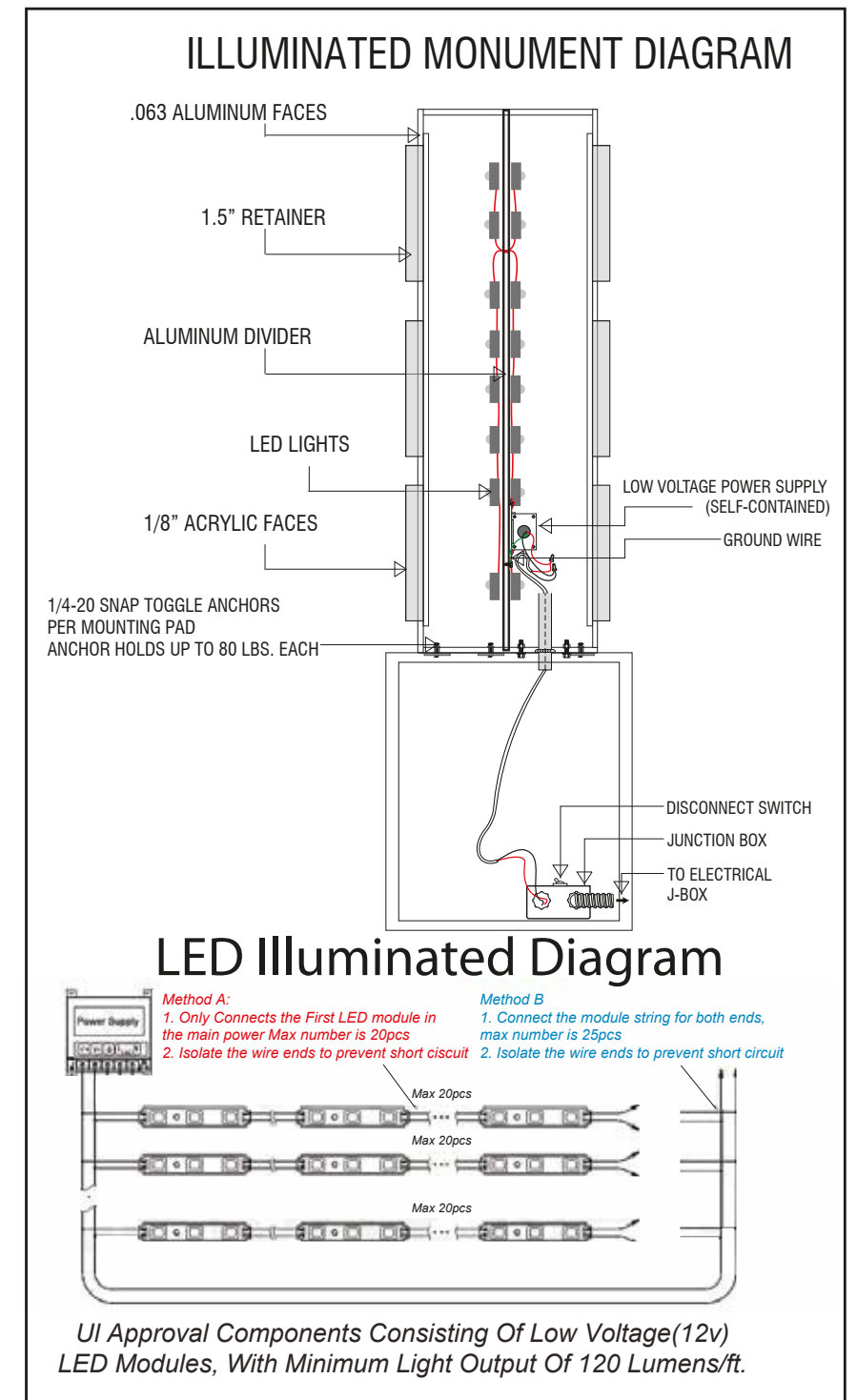
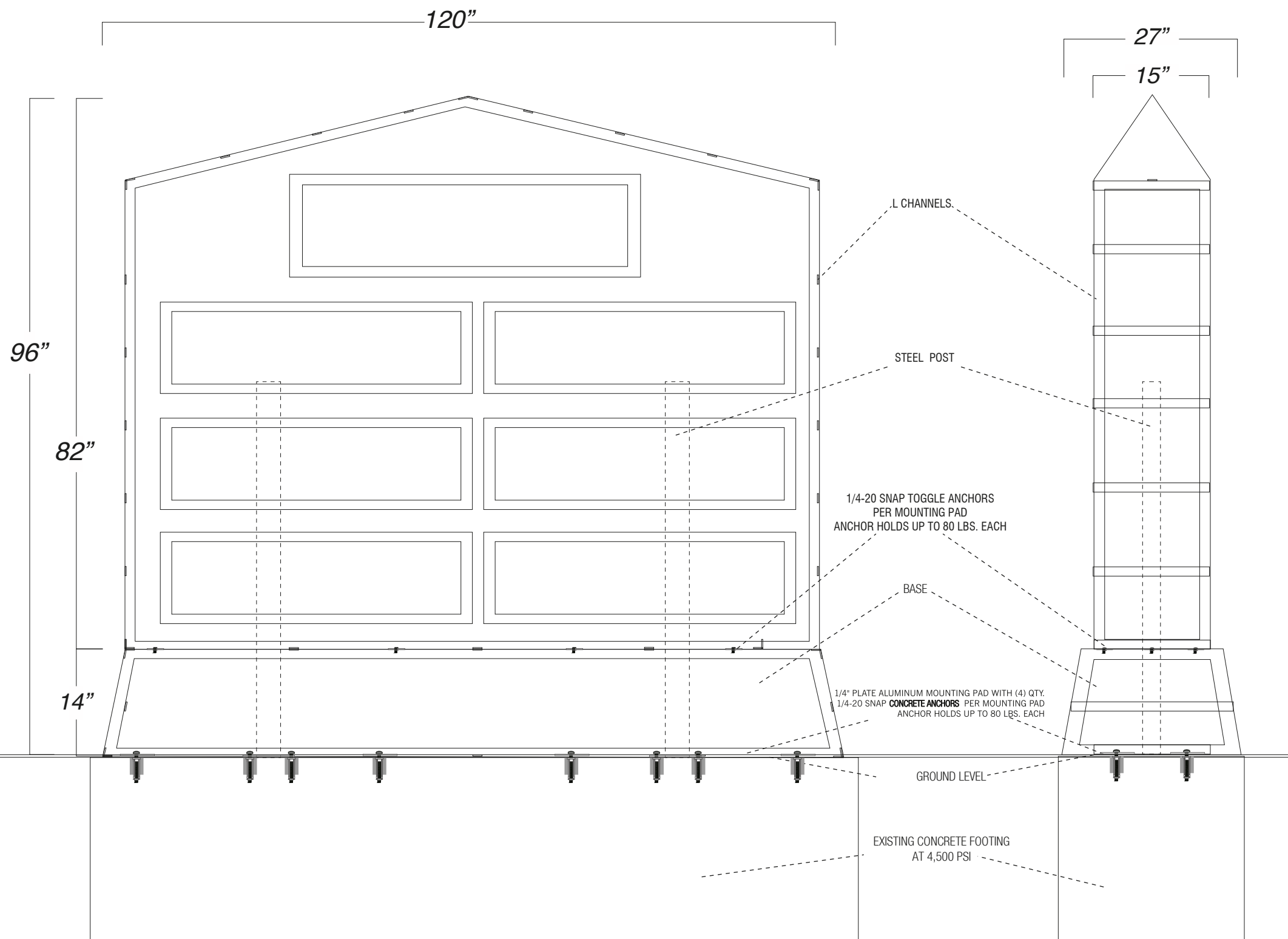


South Elevation



NIGHT VIEW





Attached is City approved sign program for 74600 Deep Canyon, Palm Desert, CA 92226(Albertson's Center at Highway 111, Deep Canyon)  
Building current owner: CV3 Deep Canyon, LLC

Received from Kayleen Aguirre, August 9, 2024



Albertson's Center  
111 Deep Cyn

TENANT SIGN PROGRAM  
9200 SQ. FT. SHOP BUILDING  
DEEP CANYON AND HIGHWAY 111

Section I  
Introduction

The purpose of this sign program is to ensure the design and production of quality signage which reflects the integrity of the architecture and the intent of the Landlord and the City of Palm Desert for this Shopping Center. This sign program has been developed to communicate the particular parameters each tenant is to follow so their individual store signage will be effective and also compliment the project as a whole. Performance will be strictly enforced and any non-conforming signs will be removed and signage area repaired by the Landlord at the tenant's sole expense.

The program establishes minimum and maximum letter sizes, sign area allowances, and locations for each sign type which is subject to the sole discretionary approval of the Landlord, within the context of this sign program.

In addition to this sign program, all signs are limited to the requirements of the City of Palm Desert sign ordinance.

Section II  
Approval Procedure

Tenant shall submit to Landlord through the tenant's sign company for approval before fabrication, three (3) copies of detailed drawings indicating the location, size, layout, design and color of the proposed sign, including all the lettering and/or logo, prior to submitting to the City of Palm Desert for review, approval and permit.

All permits for signs and their installation shall be obtained by tenant or its representative at it's sole cost. Tenant shall be responsible for submitting its sign drawing to the appropriate city agency for approval.

A dated signature of approval by the Landlord will be placed on each sign working drawing prior to submittal to the City of Palm Desert for a building permit.

Section III  
General Sign Criteria

1. Tenant signage shall include only the business name, as registered on the lease agreement, and established logo symbol, subject to approval by landlord.
2. Maintenance of each sign is the responsibility of the tenant. Letter forms or letter faces which require repair will be replaced or repaired within thirty (30) days of damage or notice from landlord. If the signage is not rectified within the thirty day period, the Landlord may repair the sign at the Tenant's expense.
3. Signs will be free of all labels and manufacturer's advertising with the exception of code requirements.
4. Roof mounted signs will not be allowed.
5. Banners, pennants, or temporary signs may not be displayed on the Building or in the parking area, and temporary signs may not be placed on the inside surface of any window or hung closer than ten feet (10) behind the inside window without prior approval of Landlord, and compliance with the City of Palm Desert.
6. Cooperative tenant seasonal promotions signing may be permitted only upon review and approval of the Landlord and the City of Palm Desert.

Post-it* Fax Note	7671	Date	1/2	# of pages	4
To	AARON	From	MARTIN	Co.	
Co./Dept.		Phone	885-4775	Fax #	885-5645

7. As a general rule, tenant signs must be located visually centered, horizontally and vertically, within the fascia (sign band) space above their leasehold.

8. The tenant will be fully responsible for the performance of its sign contractor and will indemnify, defend and hold harmless the Landlord and its agents from a damage of liability resulting from contractor's work. Tenant will also provide Landlord adequate evidence of tenant's sign contractor insurance coverage, naming Landlord as additionally insured.

9. Upon removal of any sign by tenant any damage to the Building fascia or sign area will be repaired by Tenant, or by the Landlord at the Tenant's expense. Repair work to be completed within a ten (10) day period.

#### Section IV

##### Shop Tenant I.D. Signs

1. Shop tenant signs are to be individually mounted, indirect channel letters, face and halo illuminated. Letters to illuminate through both face and halo.

2. Letter height for shop tenant's signs are to be a minimum of fourteen inches (14"), and a maximum of twenty-four inches (24") including ascenders, descenders, swashes and flourishes.

3. Shop tenants with nationally or regionally recognized logo graphics may use their business identity typestyle upon review and approval by the Landlord and the City of Palm Desert.

4. Tenants wishing to initiate logo graphics for their business, which are not concurrent with the typestyles or fabrication techniques stipulated within this sign program, must submit a professionally prepared design drawing (in scale and in color) of the proposed sign for review by the Landlord. Upon the approval by the Landlord (in writing), the tenant must submit the design to the City of Palm Desert for approval and permit.

5. The maximum allowable sign area is not to exceed one square foot (1 sq. ft.) per linear foot of tenant store frontage to a maximum of fifty square feet (50 sq. ft.) per elevation. The area of the sign shall be within a single continuous perimeter of not more than eight straight lines enclosing the extreme limits of writing, representation, emblem, or any figure of similar character, together with any material or color forming an integral part of the display or used to differentiate such sign from the background against which it is placed.

6. The maximum height of the tenant shop sign shall not exceed twenty (20) feet in height. "Height of a sign" means the greatest vertical distance measured from the ground level directly beneath the sign to the top of the sign.

7. An additional shop tenant sign will be allowed, in addition to storefront signage, on the north elevation of the Building. No signage will be allowed on the south elevation. One (1) shop tenant sign will be allowed on the east elevation in an area above the tenant occupying the south end cap location.

8. The sign layout shall be one (1) line format for storefront identification. Two line format may be considered on a case by case basis. The sign layout shall not exceed a height which would encroach within the area six inches (6") from the top and bottom of the fascia "sign band" area.

9. If a logo system is to be employed as part of the shop tenant sign, it must be confined within an area three times (3x) the capital letter height in width, and must not exceed 130% of the height of the capital letter. A registered trademark/logo, without adjacent individual letters, may be included within the calculated

sign area provided the allowable sign area for the trademark/logo letters is reduced to thirty-three (33%) of the allowable area and that the logo may not exceed three feet (3') in any dimension. Logo sign shall also be sized to be in proportion to the building face to which it is attached. This sign is also subject to approval by the Landlord and the City of Palm Desert.

Section V  
Shop Tenant I.D. Signs

The following standards further specify the design and production requirements for shop tenant signs.

Along with the requirements of this section, the tenant must also comply with all the requirements outlined in Section III 'General Sign Criteria'.

GENERAL STANDARDS

1. All tenant signs are to be illuminated signs which are connected to an assigned box provided by the landlord, which must be controlled by a dedicated time clock, and have a disconnect means (switch) within visual proximity to the sign.

2. All signs and installations of signs must conform to the appropriate building and electrical codes. The tenant and the sign contractor will obtain any and all permits required.

3. In no case will there be any exposed electrical raceways, conduit, transformers, junction boxes, conductors, or crossovers. Exposed hardware will be finished in a manner consistent with quality fabrication practices and the installation will be approved by the landlord.

4. Channel letter, and logo forms, are to be fabricated from minimum 24 gauge sheet metal or .050 aluminum formed into a pan channel configuration with a five inch (5") return. Each letter must have a minimum of two (2) 1/4" diameter seep holes for drainage of water. The inside of the metal letter, and logo form, are to be painted white. Internal illumination to be 30 milli-amp neon tube lighting. The letters are to be pinned off the building fascia one and a half inch (1 1/2") with a 1/4" steel non-corrosive stud.

5. Tenant and/or tenant's sign contractor shall not, in course of sign installation or removal, damage any of the buildings exterior or structure. Tenant will be held fully responsible for all costs incurred to repair any damage, at the sole discretion of the owner.

6. All penetrations of the exterior fascia are to be sealed watertight, then painted to match the existing fascia color and texture.

COLOR:

SHOP TENANTS

1. Shop tenants with established trademark logo graphics may utilize their custom colors upon approval by the Landlord and the City of Palm Desert.

2. Shop tenants without established graphics must select from the following colors:

- |        |             |       |                   |
|--------|-------------|-------|-------------------|
| (i.)   | Red         | #2793 | (Lucky red)       |
| (ii.)  | Teal        | #320C |                   |
| (iii.) | Molly Green |       | (Starbucks Green) |

3. Use of white letters shall be considered a non color.

4. Channel letter returns are to match the face color.

5. Additional colors for accent vinyl applications on tenant's signs will be acceptable provided the color represents less than 25% of the total size of the sign, subject to approval by the Landlord and the City of Palm Desert.

Section VI

Store Number, Window Vinyl

STORE NUMBER

1. Landlord shall install a store number over each store front door. The numbers must be vinyl machine-cut numbers, four inches (4") in height utilizing the project typestyle. The numbers are to be installed centered both vertically and horizontally within the glass panel area over the door.

WINDOW VINYL

1. Each Tenant is allowed one (1) information sign at the entry to their store. The copy for this sign is limited to pertinent business information such as store hours, telephone numbers, emergency information or other business information.

2. The sign is to be vinyl machine-cut copy in the project typestyle, applied to the store window adjacent to the storefront door.

3. The maximum area allowed for this sign is 144 square inches and maximum height must not exceed one inch (1").





TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

TOGO'S

Letter: white.

background pms 520c (teal)

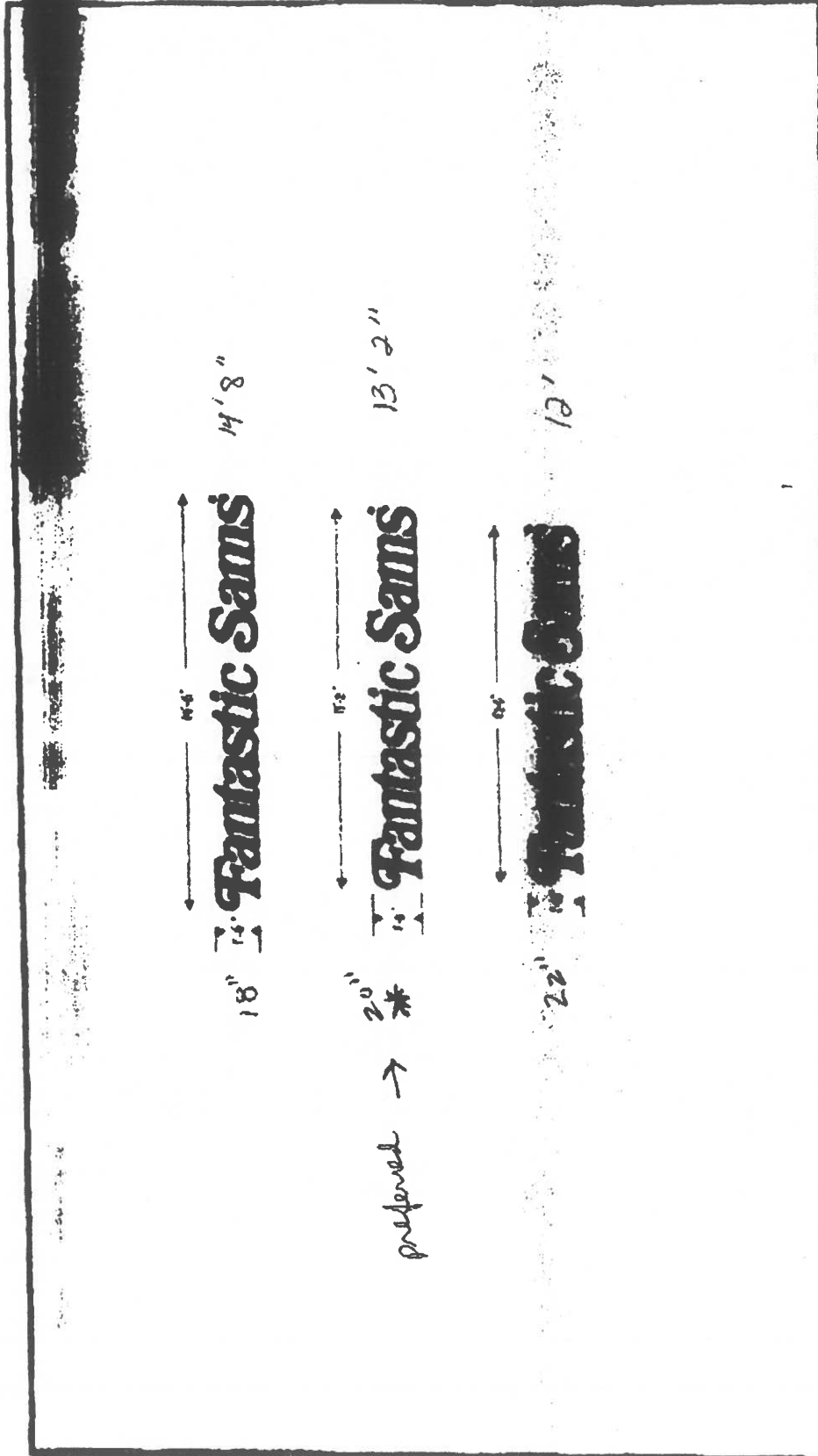
- individually illuminated channel letter returns painted white
- clear plex faces with 3/4" white trim cap
- illuminated by 6300 double tube imposed neon, 13 milliamps

19:07

109-1003441

END-AL

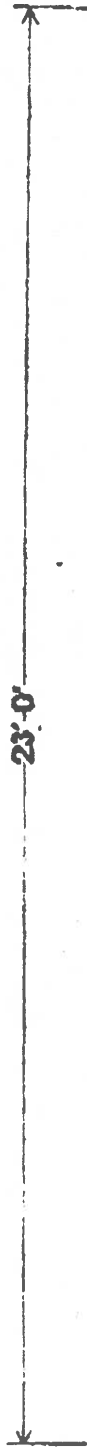
PAGE 02



SCALE:  
 8 DOWN: 1:1  
 DATE

CASTLE SPECIAL  
 1001 135-5117  
 10/10/96

ADDRESS:



# VIDEO DEPOT



RED PLASTIC FACE W/  
GOLD TRIM CAP  
BLACK RETURNS

*Lucien Red.*

CUSTOMER APPROVED

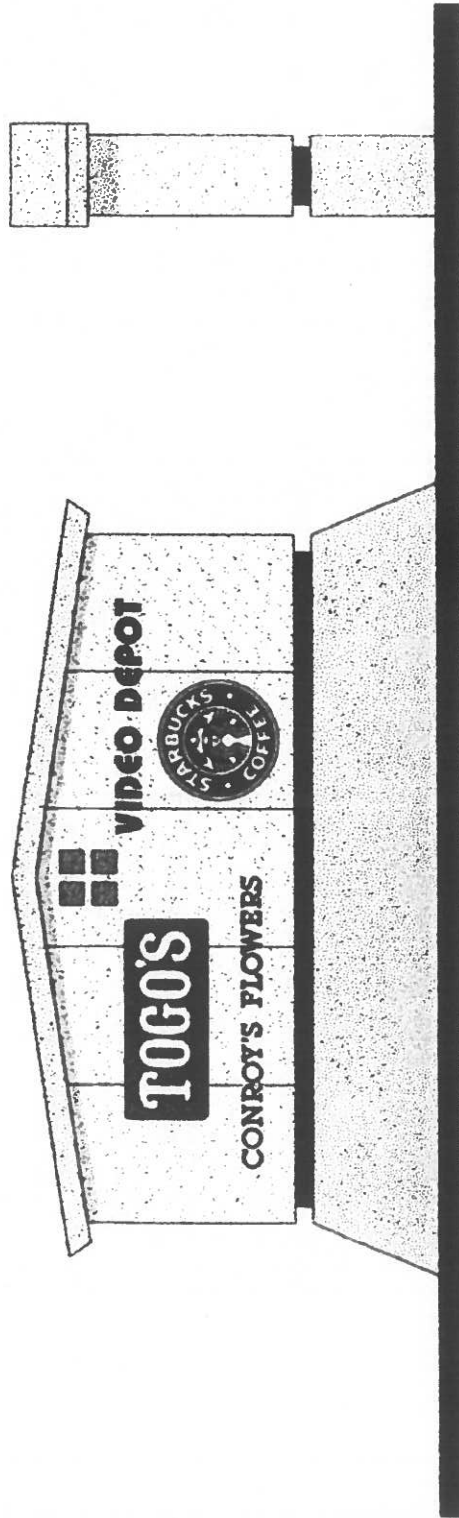
VIDEO DEPOT  
CITY OF INDIO, CA  
Tel : 619-346-3692  
Fax: 619-346-9223  
HIGHWAY 111  
TWO SETS OF CHANNEL LETTERS  
INTERNAL ILLUMINATED

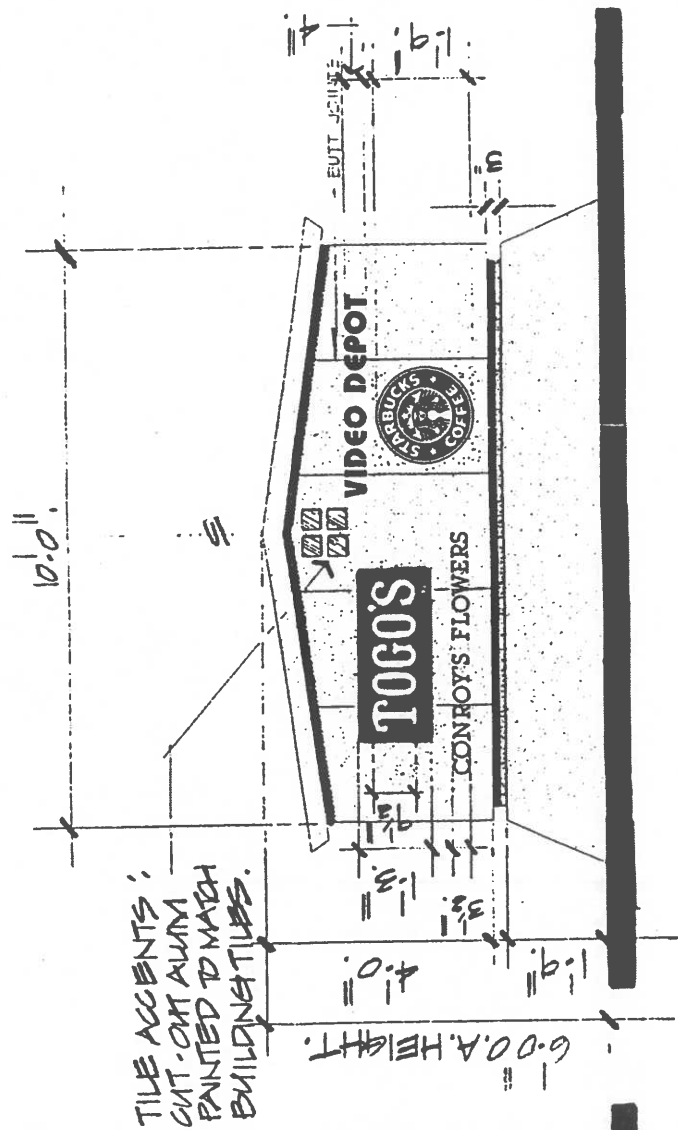
SCALE 3/8"=1'-0"

中外招牌  
FORTUNE SIGNS CORP.  
140 SUI YUEN ROAD, HONG KONG  
TEL: 2722 2222  
FAX: 2722 2222  
CONTACT PERSON: MICHELLE WU

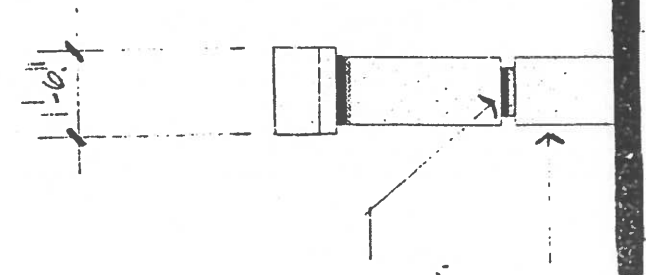
UNIT	
COLOR/COPY	
COLOR/BACKGROUND	
COLOR/CABINET	
COLOR, RETURN	
CAP/TRAFFIC CAP	
LETTER SIZE	
LETTER STYLE	
MATERIAL	
SCHEDULING	

NOTE:  
1. ALL LETTERS MUST BE PREPARED WITH PROPER SPACING AND FONT SIZE.  
2. ALL LETTERS MUST BE PREPARED WITH PROPER SPACING AND FONT SIZE.  
3. ALL LETTERS MUST BE PREPARED WITH PROPER SPACING AND FONT SIZE.  
4. ALL LETTERS MUST BE PREPARED WITH PROPER SPACING AND FONT SIZE.





TILE ACCENTS:  
CUT-OUT ALUM.  
PAINTED TO MATCH  
BUILDING TILES.



FABRICATED  
ALUM. REVEAL  
PAINTED TO  
MATCH "FRAZEE"  
#7050 THROUGH.

FABRICATED  
ALUM. BASE  
W/TEX-COTE  
FINISH.  
PAINT FRAZEE  
#102 ARIZONA  
WHITE.

DF MONUMENT SIGN.

SCALE 3 1/2" = 1'-0"

END VIEW.

SCALE 3 1/2" = 1'-0"

## SIGN DESCRIPTIONS:

FABRICATED DP ALUMINUM SIGN W/  
TEX. COATE FINISH, PAINTED "FRAZEE"  
#192 ARIZONA WHITE.

ROUT OUT ALUMINUM BKGD FOR SHOW-  
THRU GRAPHICS.

colors as follows:

● "CONROY'S FLOWERS" ;

#7329 WHITE FLEX W/ "SCOTCHCAL"

#237-126 VINYL GREEN OVER WHITE FLEX.

"TODAY'S" ;

#7329 WHITE FLEX W/ "SCOTCHCAL" #230-246  
TEAL OVER, CUT-OUT TEAL FOR SHOW-THRU COPY.

"VIDEO DEPOT" ;

#2743 RED FLEX

"STARBUCKS" ;

#7328 WHITE FLEX W/ "SCOTCHCAL" #230-120  
VINYL OVER (OUTTER CIRCLE), CUT-OUT GREEN  
FOR SHOW THRU "STARBUCKS COFFEE", "STAR",  
and "BORDER".

● "SCOTCHCAL" #230-22 BLACK VINYL OVER  
(INNER CIRCLE), CUT-OUT BLACK VINYL FOR  
SHOW-THRU GRAPHICS.

**ARCHITECTURAL REVIEW COMMISSION  
CITY OF PALM DESERT  
STAFF REPORT**

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MEETING DATE: February 11, 2025

PREPARED BY: Niko Romaidis, Planning Technician

SUBJECT: CONSIDERATION OF DESIGN REVIEW FOR A FAÇADE MODIFICATION TO EXISTING STOREFRONT FOR RESTORATION HARDWARE LOCATED AT 73100 EL PASEO, SUITES 3-10.

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**RECOMMENDATION:**

Staff recommends the Architectural Review Commission find that the project satisfies all findings for design review approval and approves the project with the following condition:

- 1) The awnings shall be a “Heather Beige” color as provided in the physical material sample.

**BACKGROUND/ANALYSIS:**

**Executive Summary:**

- **Case No.: MISC24-0023**

The proposal is a request by Foust Architecture (Applicant), on behalf of “Restoration Hardware”, to improve an existing occupied commercial building (Building) located at 73100 El Paseo. The Applicant is seeking approval for exterior architectural and landscaping modifications in conjunction with a tenant improvement application submitted for an interior remodel. The Architectural Review Commission (ARC) will review the modifications of the proposed project for final consideration. The signs shown in the plan packet are for reference only; the applicant will submit final signage plans for staff review at a later date.

**Project Summary:**

A. Property Description

The project site is an existing commercial suite which is part of a multitenant commercial building located at 73100 El Paseo. The Building is approximated to have been built in 1979 and was most recently occupied by a “Chico’s” clothing retail store, which will be relocating to another property located at 73199 El Paseo. The project has gone through multiple façade modifications since its original construction including:

- On August 22, 2000, the ARC approved Case No. C 00-7 for a remodel and expansion with a new storefront, awning, and signage for “Chico’s” clothing store.

- On October 12, 2004, ARC approved Case No. C 04-08 for a façade remodel, including 70 linear feet of storefront and a total of 27 square feet (sf) of signage, of Chico’s clothing store.
- On September 12, 2006, ARC approved Case No. MISC 06-32 for the preliminary approval of storefront enhancement for Chico’s and Soma at El Paseo Collection North.

B. Zoning, General Plan and Adjacent Uses

**Table 1 – Adjacent Land Use and Designations**

	Existing Uses	General Plan	Zoning
<b>Project Site</b>	Retail	Downtown	D – Downtown
<b>North</b>	Restaurant	Downtown	D – Downtown
<b>South</b>	Art Studio	Downtown	D – Downtown
<b>East</b>	Retail	Downtown	D – Downtown
<b>West</b>	Restaurant	Downtown	D – Downtown

C. Project Description

The proposal is a request to improve an existing suite within an occupied commercial building (Building) located at 73100 El Paseo including architecture, hardscape, landscape, and lighting. The project includes interior and exterior renovations to the project to revise multiple elevations to create a uniform architectural design, complete with pilasters, new awnings, and a revised window design. The Site Plan (Figures 1 and 2) below show the existing building and proposed floor plan. The proposed modifications will not change the building square footage of 10,543 square feet of tenant space.

Figure 1 - Existing Site Plan and Demolition

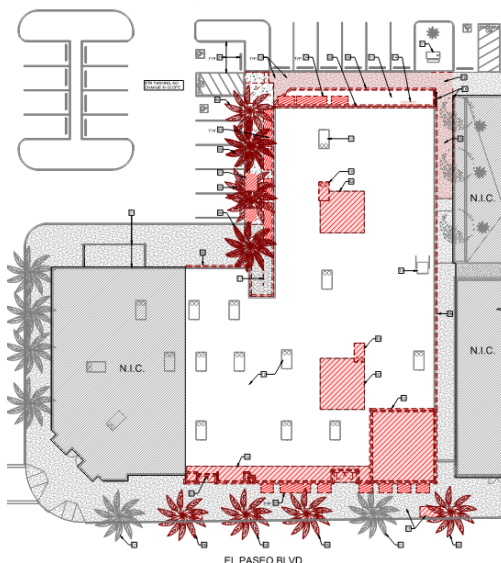
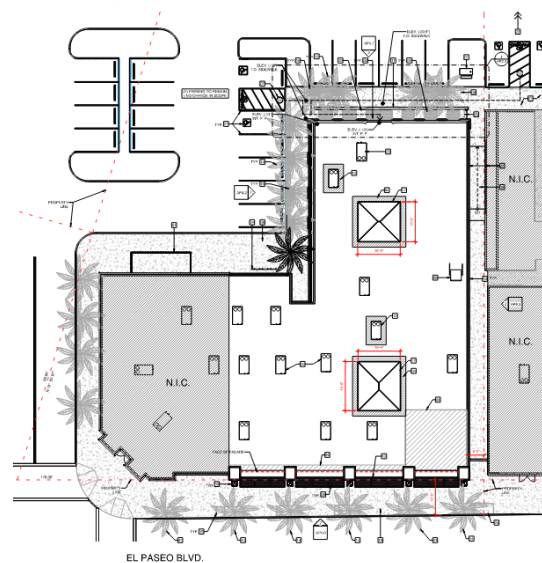


Figure 2 - Proposed Site Plan





Architecture

The Applicant is requesting approval of a design review for a façade modification to an existing occupied building to revise the façade meanwhile maintaining its contemporary architectural design.

The exterior of the building will include stucco plaster painted in “Maritime White” (OC-5), metal awnings covered with Heather Beige colored Sunbrella fabric, and bronze metal trimmed windows. The existing notches in the southern elevation façade will be demolished (see Attachment 1, page AP2.0) thereby creating a flush façade. This will not affect the overall 10,543 square footage and will be done solely on the exterior.

New pilasters are proposed to be installed along the south, north, and west elevations. The top of the pilasters on the north and west elevations will be flush with the parapet of the building (Attachment 1, pages AP4.1 and AP4.2). The pilasters on the south elevation will extend 2.5 feet above the primary parapet of the building (see Attachment 1, page AP4.0). The upper parapet will be removed and the proposed pilasters will provide architectural enhancements to the building. (see Attachment 1 pages AP1.0 and AP1.1). Table 2 below provides a breakdown of existing and proposed heights of parapets and pilasters.

Table 2 – Parapet and Pilaster Heights

	North Elevation (Height)	East Elevation (Height)	South Elevation (Height)	West Elevation (Height)
Existing Lower Parapet	21'-6 ½"	21'-6½"	21'-6½"	21'-6 ½"
Existing Upper Parapet	None	26'-3 ½"	26'-3 ½"	None
Proposed Lower Parapet	21'-6 ½"	21'-6 ½"	21'-6 ½"	21'-6 ½"
Proposed Upper Parapet	None	Removed	Removed	None
Proposed Pilaster	21'-6 ½"	24'-0" and 21'- 6 ½"	24'-0"	21'-6 ½"

Proposed revisions to the existing rooftop mechanical equipment includes one (1) new mechanical exhaust fan, demolition of two (2) HVAC rooftop units (RTUs), the relocation of three (3) RTUs, and the addition of one (1) RTU. The proposed changes also include two (2) new skylights (see pages AP3.0 and AP3.1 for all rooftop changes). All parapets will screen equipment from public view, as demonstrated on the roof plan and will be confirmed via inspection.

Windows and Awnings

The existing windows on the south elevation will be replaced with new bronze trimmed multiple panel windows and the existing fabric awnings will be replaced with bronze metal awnings with a Sunbrella (Heather Beige) fabric that will extend the full length of each window group. Each group will have a width of 17'-6" and height of 14'. The south elevation entry off El Paseo will be

revised to include three window panel groups placed between pilasters; and an additional panel group being an entry door system with a window panel on each side, creating a uniform window design that covers the entire facade in between every pilaster.

The north elevation has existing windows covering approximately half of the façade width. These windows will be replaced with single panel windows ranging from 5' to 5'-6 ½" in width and 14' in height and will run along the entire length of the façade with 3'-10" gaps in between windows. Each window will have a separate bronze metal awning. The north elevation will also include a new entrance with a 10' wide, 15'-1" high glass door entry, meant to emulate the surrounding window design.

The existing windows and awnings on the west elevation will be removed and replaced with a solid wall.

### Landscape and Hardscape

The project currently has five (5) palm trees lined in front of the building and four (4) palm trees lined along the west elevation. The project proposes that the nine (9) existing palm trees will be removed and a total of 14 Medjool Date Palm trees will be installed including five (5) along the south elevation, five (5) along the west elevation, and four (4) along the north elevation (Attachment 1, page L1.2). All the proposed palm trees will align with the proposed pilasters on the building. There is a proposed metal planter (1' 0" depth x 58' 0" length x 9" tall) along the northern elevation that will contain "Leading Lime Tight Mat Rush" shrubs. The western elevation will have Creeping Fig vines along the walls in between the pilasters. Additionally, there will be five (5) gallon sized "Leading Lime Tight Mat Rush" shrubs in a landscaped area where the north and west elevations meet.

The existing grey pavers along the sidewalk at the south entrance will be removed and replaced with Medium Broom Finish (Davis Colors – 5447 Palomino) pavers, and the walkway along the north elevation will be replaced with grey pedestrian concrete (Attachment 1, page L1.2).

### Lighting

All interior and exterior building lighting is controlled by preset scenes on a timed schedule. All exterior lighting will be dimmable, including architectural and merchandise lighting (see Attachment 1, page LT-1.0). The proposed lights include jamb mounted accent lights located at the rear façade door and the window jambs, surface mounted linear LED lights located on the awnings, wall mounted wall washer lights located on the rear facade pilasters, grade recessed accent lights located on the façade window jambs, grade recessed wall washer lights located on the façade pilasters, grade recessed landscape accent lights located at the base of the proposed palm trees, and curb recessed path lights located on the rear entrance curb.

**Zoning Ordinance Summary:**

The subject property is zoned Downtown (D) District which allows retail stores as a permitted use. Revisions to storefront facades are subject to review and approval of a design review by the Architectural Review Commission (ARC) pursuant to Palm Desert Municipal Code (PDMC) Section 25.68.020 (A)(1). Findings for ARC decisions of design review applications are listed under Palm Desert PDMC Section 25.68.040 as follows:

Findings

- A. That the proposed development conforms to any legally adopted development standards.

*The proposed project is in conformance with the legally adopted development standards set forth by the PDMC for the Downtown (D) zoning district. The proposed modification structure complies with all applicable development standards, including height, coverage, and parking. The proposed project will not create non-conforming conditions for this existing development. The Downtown (D) zoning district establishes design guidelines for buildings. The proposed building incorporates shopfronts with flat roof designs, varied wall planes, and façade modulations. Each of these elements satisfies the standards for the Downtown (D) zoning district.*

- B. That the design and location of the proposed development and its relationship to neighboring existing or proposed developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of neighboring existing or proposed developments and that it will not create traffic hazards or congestion.

*The proposed design is compatible with surrounding developments and will not create additional traffic which would impair investment in the neighborhood. The proposed use is a retail use that will replace a former retail use, therefore, a substantial increase in traffic generation is not anticipated. The existing building provides for future tenants to propose unique or branded storefronts which utilize a mix of exterior building materials with an existing neutral pier system.*

- C. That the design and location of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by this title and the General Plan of the City.

*The proposed façade is compatible with the development pattern along El Paseo as it provides a retail storefront within a walkable pedestrian-oriented district. The land use designation is Downtown in the General Plan which promotes high intensity mixed-use development anchored by civic, cultural, entertainment, and retail activity. The intended built form and character for this district*

- D. That the design and location of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

*The proposed project utilizes a good composition of new materials, textures, and colors for quality visual aesthetics, enhancing the front and rear entries with consideration of the compatibility to the existing building. Other storefronts within the existing building utilize unique storefronts featuring a mix of design elements and building materials, which are unified by a continuous building envelope which utilizes a continuous mass, form, and materiality.*

- E. That the proposed use conforms to all the requirements of the zone in which it is located and all other applicable requirements.

*The proposed project conforms with legally adopted development standards set forth by the Downtown (D) District. As proposed, no substantial changes would impact on the site or its surroundings, consistent with the Downtown (D) District, Title 25 Zoning Code, and General Plan regulations.*

- F. That the overall development of the land shall be designed to ensure the protection of public health, safety, and general welfare.

*The proposed project does not alter the site layout, and the public's access, however, the site plan has been reviewed to confirm the design provides protection for the public's health, safety, and general welfare.*

**ATTACHMENTS:**

1. MISC24-0023 Project Plans



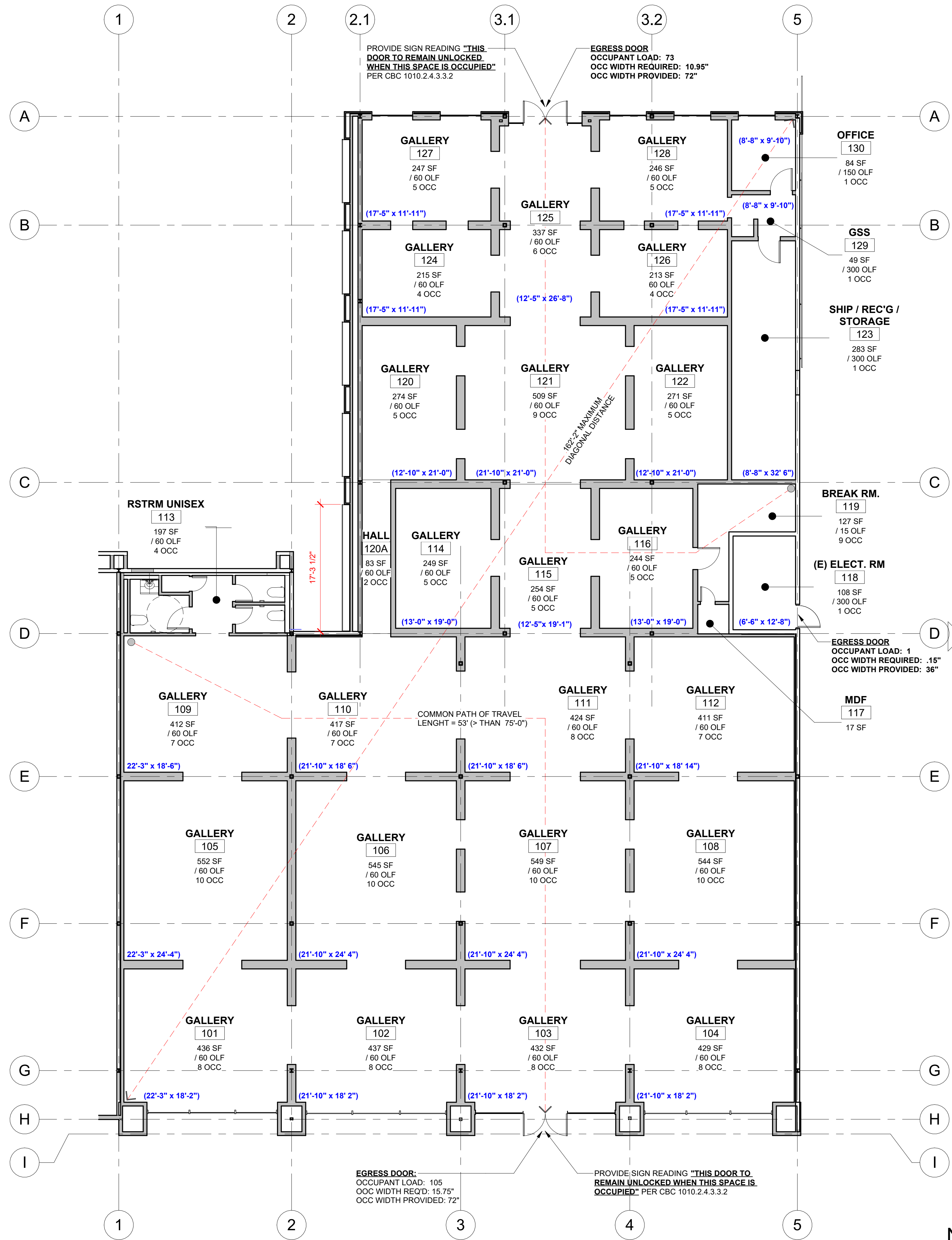








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**BUILDING CODE ANALYSIS:**

THIS ANALYSIS IS A SUMMARY BASED ON THE APPLICABLE FEATURES OF THE 2022 TITLE 24, CALIFORNIA CODE OF REGULATIONS, CALIFORNIA BUILDING CODE AND ANY LOCAL AMENDMENTS. THE FOLLOWING INFORMATION INCLUDES REFERENCES TO PORTIONS OF THE CODE WHICH AFFECT THE DESIGN OF THE PROJECT. THE ARTICLES, SECTIONS, PARAGRAPHS AND TABLES WHICH ARE QUOTED/PARAPHRASED ARE NOT NECESSARILY PRESENTED IN THEIR ENTIRETY. SEE THE CODE FOR FURTHER REQUIREMENTS AND ELABORATIONS. SEE COVER SHEET A0.0 FOR GENERAL BUILDING DESCRIPTION.

**CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION**

CONSTRUCTION TYPE	V	SECTION 602.5
PRIMARY USE GROUP	M	SECTION 309
GROSS SQ. FT.	10,543 SQ. FT.	
T.I. SCOPE SQ. FT.	10,543 SQ. FT.	
SPRINKLER SYSTEM	YES (NEW PROPOSED)	

**CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS**

ALLOWABLE BLDG. AREA	M	36,000 SQ. FT.	TABLE 506.2
ALLOWABLE BLDG. HEIGHT	M	60'-0"	TABLE 504.3
ALLOWABLE BLDG. STORES/AREA	M	1 STORY	TABLE 504.4
PROPOSED BLDG. AREA	M	10,543 SQ. FT.	
PROPOSED BLDG. HEIGHT	M	+23'-0" A.F.F. AT HIGHT POINT	
PROPOSED BLDG. STORIES	M	1 STORY	

**CHAPTER 6 - TYPES OF CONSTRUCTION**

BUILDING ELEMENT	REQ. FIRE RATING (HOURS)	SECTION 602
STRUCTURAL FRAME	0	TABLE 601
BEARING WALLS - EXT	0	TABLE 601
BEARING WALLS - INT	0	TABLE 601
NON BEARING WALLS	0	TABLE 601
FLOOR CONSTRUCTION	0	TABLE 601
ROOF CONSTRUCTION	0	TABLE 601
EXT. WALLS <5' SEPARATION	2	TABLE 602
EXT. WALLS <10' SEPARATION	1	TABLE 602
EXT. WALLS <30' SEPARATION	1	TABLE 602
EXT. WALLS >30' SEPARATION	0	TABLE 602

**CHAPTER 10 - MEANS OF EGRESS**

USES:	GROSS AREA / LOAD FACTOR / OCCUPANTS:	
BUSINESS (B):	86 / 150 = 1 OCCUPANTS	TABLE 1004.5
MERCANTILE (M):	8,910 / 60 = 149 OCCUPANTS	TABLE 1004.5
SHIPPING & REC. / EQUIP. RM:	408 / 300 = 2 OCCUPANTS	TABLE 1004.5
BREAK ROOM (ASSEMBLY):	127 / 15 = 9 OCCUPANTS	TABLE 1004.5
TOTAL OCCUPANT LOAD:	161 OCCUPANTS	
TOTAL # OF EXITS REQUIRED:	2	SECTION 1006.3.3
EGRESS WIDTH PER OCC.:	15 x 161 OCC = 24.15" WIDTH REQ'D. w/ SPRKLR.	SECTION 1005.3.2
MIN. DIST. BETWEEN EXITS:	1/3 DIAGO. DIST. OF BLDG. w/ SPRKLR.	SECTION 1007.1.1
MAX. DIAGONAL DISTANCE:	162'-2"	
MIN. DIST. BETWEEN EXITS:	162'-2" / 3 = 54'-1"	
ACTUAL DIST. BETWEEN EXITS:	135'-7"	
EXIT ACCESS TRAVEL DISTANCE:	250'-0" w/ SPRKLR.	SECTION 1017.2

**CHAPTER 11 - ACCESSIBILITY:**

BUILDING AND FACILITIES ARE DESIGNED AND CONSTRUCTED TO BE IN ACCORDANCE WITH CBC CHAPTER 11B. SEE ACCESSIBILITY SHEET FOR DETAIL REQUIREMENTS.

Client:



Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:



**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
	PLANNING SUBMITTAL	12/20/2024

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

Sheet Title:

CODE ANALYSIS

**AP0.0b**

**1** FLOOR PLAN - CODE ANALYSIS  
1/8" = 1'-0"



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**FRONT BUILDING - DAY**



**FRONT VIEW - NIGHT**

Client:

# RH

Project Title:

## RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:

# FA

**FOUST ARCHITECTURE**  
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brian@foustarchitecture.com  
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1	PLANNING RE-SUBMITTAL	01/31/2025

Author: \_\_\_\_\_ C.G.

Date: \_\_\_\_\_ 08/28/2024

Project No. \_\_\_\_\_ 2405

Scale: \_\_\_\_\_ As Indicated

Sheet Title: \_\_\_\_\_

RENDERINGS

# AP0.1



Client:

# RH

Project Title:

## RH PALM DESERT GALLERY

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APN 627-192-014

Architect:

# FA

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San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:



**REAR OF BUILDING - DAY**



**WEST SIDE OF BUILDING - DAY**



**REAR OF BUILDING - PERSPECTIVE VIEW**



**REAR ENTRY - SIDE VIEW**

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No	Issue Description	Date
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1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

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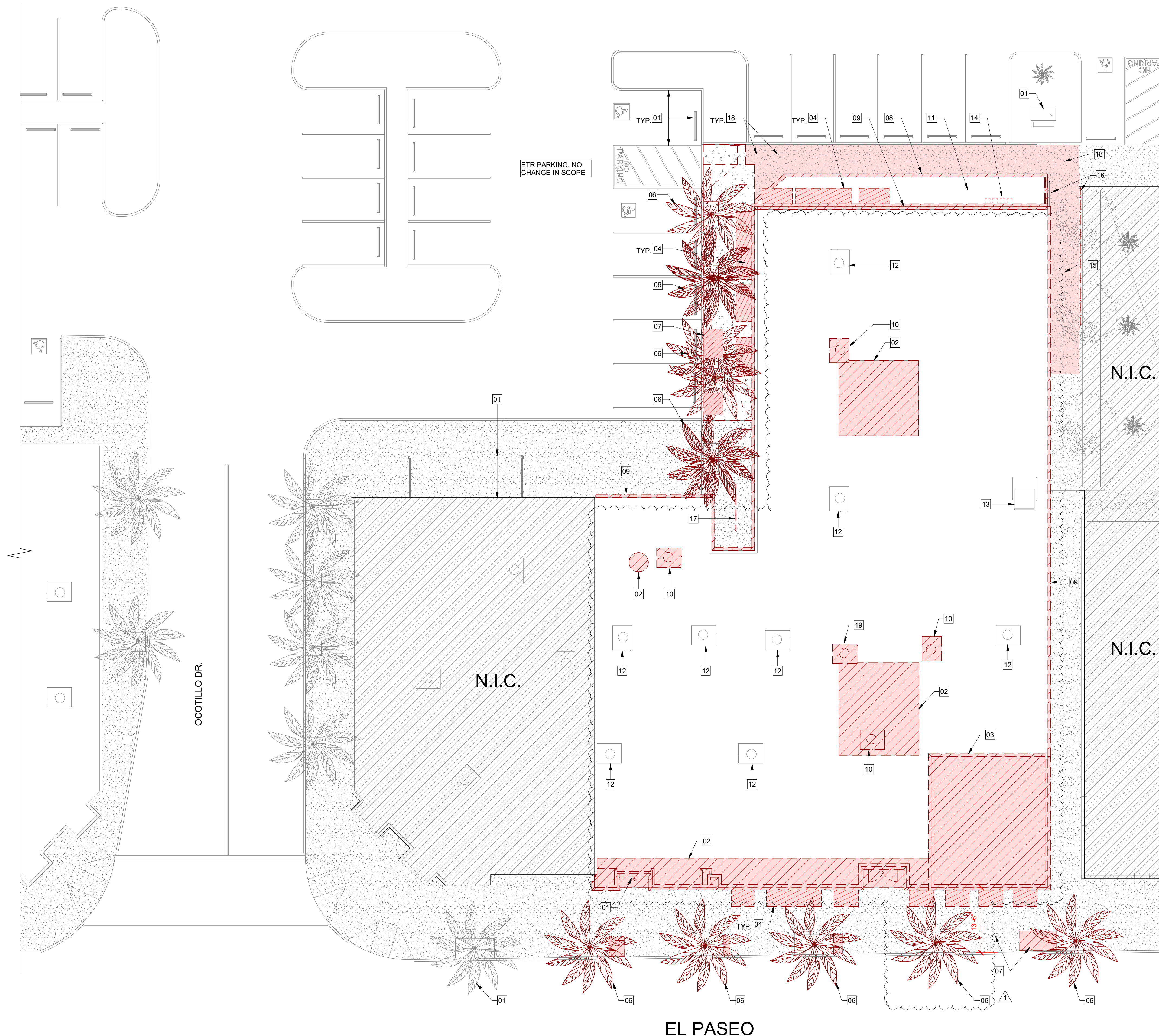
Sheet Title:

**RENDERINGS**

# AP0.2



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**LEGEND:**

- DEMOLITION / REMOVE
- DEMO / RELOCATE PALM TREE

**DEMOLITION KEYNOTES:**

01. EXISTING TO REMAIN.
02. (E) ROOF AND FRAMING TO BE DEMO (PARTIAL), PREPARE AREA TO RECEIVE (N) CONSTRUCTION.
03. (E) PARAPET TOWER WALL AND ROOF TO BE DEMO, PREPARE AREA TO RECEIVE (N) ROOF & FRAMING.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WALL, CORNICE AND STEPPED ROOF AREA TO BE DEMO, PREPARE AREA TO RECEIVE (N) WALL & ROOF, TYP.
06. (E) PALM TREE TO BE REMOVE, TYP. (SEE LANDSCAPE DWG).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC & PAVERS. PATCH TO MATCH (E) CONDITIONS (WHERE INDICATED). RELOCATE PALM TREES PER PLAN, TYP. (S.L.D.)
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) CORNICE AT PARAPET TO BE DEMO, (SEE ELEVATIONS)
10. (E) HVAC UNIT TO BE REMOVE, RETAIN TO RELOCATE (S.M.D.)
11. (E) LANDSCAPE TO BE DEMO, TYP
12. (E) ROOF AND MECHANICAL UNITS TO REMAIN.
13. (E) ROOF ACCESS HATCH TO REMAIN.
14. (E) IRRIGATION BOXES TO BE REMOVED, RETAIN TO RELOCATED.
15. (E) RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) RAMP (S.L.D.)
16. (E) HAND RAIL TO BE DEMO.
17. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE. (SEE PLAN)
18. (E) CONC SIDEWALK TO BE DEMO, PREPARE TO RECEIVE (N) CONC. (S.L.D.)
19. (E) HVAC UNIT TO BE DEMO, (S.M.D.)

**1** SITE PLAN - DEMO  
3/32" = 1'-0"

Client:



Project Title:

**RH PALM DESERT GALLERY**

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1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.  
 Date: 08/28/2024  
 Project No. 2405  
 Scale: As Indicated  
 Sheet Title:

SITE PLAN - DEMO

AP1.0





No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.  
Date: 08/28/2024  
Project No: 2405  
Scale: As Indicated  
Sheet Title:

SITE PLAN - PROPOSED

AP1.1

GENERAL NOTE:

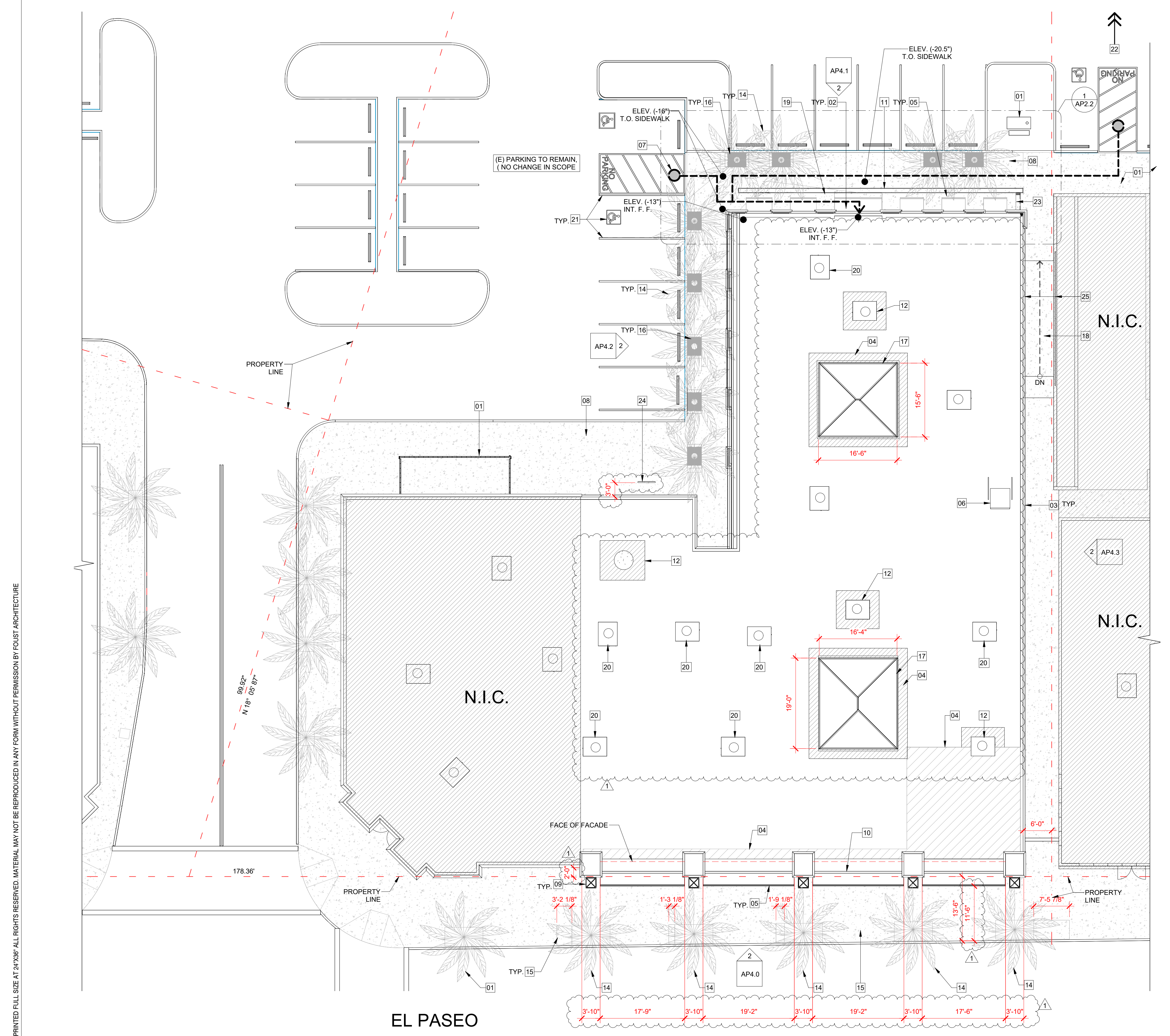
- ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.

PLAN KEYNOTES:

- EXISTING TO REMAIN.
- (N) WALL, (SEE ELEV).
- (N) CORNICE @ WALL PARAPET, TYP. (WHERE INDICATED, SEE ELEV).
- (N) ROOF & FRAME TO MATCH (E) CONDITION.
- (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV.)
- (E) ROOF ACCESS HATCH TO REMAIN.
- (E) ACCESSIBLE ROUTE FROM PARKING TO ENTRY.
- (N) SIDEWALK, (SEE LANDSCAPE DWGS.).
- (N) LIGHT FIXTURE WALL MOUNTED (S.L.D. & ELEV).
- (E) ROOF PARAPET TO BE MODIFIED TO ACCOMMODATE (N) PILASTERS AT FRONT & REAR OF BUILDING, (SEE ROOF PLAN, SHT. AP3.1).
- (N) METAL PLANTERS, (SEE LANDSCAPE DWGS.).
- (E) HVAC RTU RELOCATED.
- (N) EXTERIOR LIGHTING, (SEE ELEV. & LIGHTING DWGS.).
- (N) PALM TREES, (SEE LANDSCAPE DWGS.), TYP.
- (N) SIDEWALK & PAVERS (WHERE INDICATED), (WHERE INDICATED), RELOCATE PALM TREES PER PLAN, TYP. (S.L.D.)
- (N) METAL GRATE (3'-0" X 5'-0", TYP.) AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
- (N) SKYLIGHT, (SEE ROOF PLANS, SHT. AP3.0 & AP3.1).
- (N) CONC RAMP, (SEE LANDSCAPE DWGS.).
- (N) SLOPED WALKWAY MAX SLOPE OF 1:20, PER CBC 11B-403.3.
- (E) ROOF AND MECHANICAL UNITS TO REMAIN.
- (E) ACCESSIBLE STALL & ACCESS AISLE TO REMAIN.
- (LOCATION OF TRAH ENCLOSURE IN PARKING MEDIAN BEYOND. SEE VICINITY MAP, SHEET A0.0 FOR LOCATION.
- (N) STAIR, (SEE LANDSCAPE DWGS).
- (E) BIKE RACK RELOCATED.
- (N) RAMP HANDRAIL (SEE LANDSCAPE DWGS.)

BIKE PARKING CALCULATION:

REFERENCE PALM DESERT MUNICIPAL CODE SECTION 25.46.060:  
TOTAL EXISTING PARKING STALLS 37  
MIN BIKE PARKING SPACES REQ: 5% OF TTOTAL REQUIRED PARKING STALLS 37 STALLS X .05 = 1.85 OR MINIMUM OF 2 BIKE PARKING STALLED REQUIRED WITH 200 FEET OF BUILDING ENTRANCE



1 SITE PLAN - PROPOSED  
3/32" = 1'-0"

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**1** GROUND FLOOR PLAN - DEMO  
1/8" = 1'-0"

**LEGEND:**

- DEMOLITION / REMOVE
- EXISTING TO REMAIN
- UNDER SEPARATE PERMIT

**GENERAL PLAN NOTES:**

1. DEMOLITION DRAWINGS MAY NOT SHOW ENTIRE SCOPE. CONTRACTOR IS TO REMOVE ALL EXISTING CONSTRUCTION AND SYSTEMS TO FACILITATE CONSTRUCTION OF NEW SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
4. CONTRACTOR SHALL PHASE DEMOLITION IN ACCORDANCE WITH AN OWNER APPROVED CONSTRUCTION SCHEDULE.
5. CONTRACTOR SHALL REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING WORK TO REMAIN. DAMAGE TO EXISTING WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACINGS AND SHORING. BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
8. CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF THE SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. OPERATIONS SHALL NOT BE RESUMED UNTIL SAFETY IS RESTORED.
9. CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
10. CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS, GRADE BEAMS AND SUPPORTING STRUCTURAL MEMBERS TO REMAIN. COORDINATE WITH STRUCTURAL DWGS. WHEN APPLICABLE.
11. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTIES DURING DEMOLITION & CONSTRUCTION. IN THE EVENT OF DAMAGE TO NEIGHBORING PROPERTIES, CONTRACTOR SHALL IMMEDIATELY CEASE. ALL OPERATIONS AND NOTIFY THE ARCHITECT & OWNER. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
12. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK AND LEAVE THE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT AND OWNER.
13. ALL DEMOLITION DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL APPLICABLE CODES AND CITY REQUIREMENTS.
14. CAP OFF ANY EXISTING UTILITY NOT USED. DISCONNECT UTILITIES WITHIN DEMOLITION AREA IN COORDINATION WITH THE REQUIREMENTS OF THE NEW WORK. PROVIDE NOTIFICATION AND OBTAIN APPROVALS FROM UTILITY COMPANIES AS REQUIRED.
15. INSPECTION FOR DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS IS UNDER SEPARATE CONTRACT BY OTHERS.
16. ALL ELECTRICAL TO BE RELOCATED ABOVE NEW CEILING. RERIRE TO MINIMIZE J-BOXES WITHIN NEW UNITS WITHIN WORK AREA.

**DEMO KEYNOTES:**

01. (E) WALL TO REMAIN
02. (E) WALL, DOOR AND WINDOW TO BE DEMOLISHED
03. (E) ELECTRICAL ROOM TO REMAIN
04. (E) TOILET ROOMS TO BE DEMOLISHED
05. DEMOLISH ALL INTERIOR FINISHES (WALL, FLOORING AND CEILING), LIGHTING, PLUMBING, ELECTRICAL, AND MECHANICAL, PREP FOR NEW FINISHES.
06. (E) TENANT DEMISING WALL TO REMAIN
07. (E) RAMP HANDRAIL TO BE DEMO PREPARE AREA TO RECEIVE (NEW ) HANDRAIL.

**NOTE: FOR KEYNOTES AND ADD'L INFO. SEE AP1.0**

Client:



Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:



**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
	PLANNING SUBMITTAL	12/20/2024
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

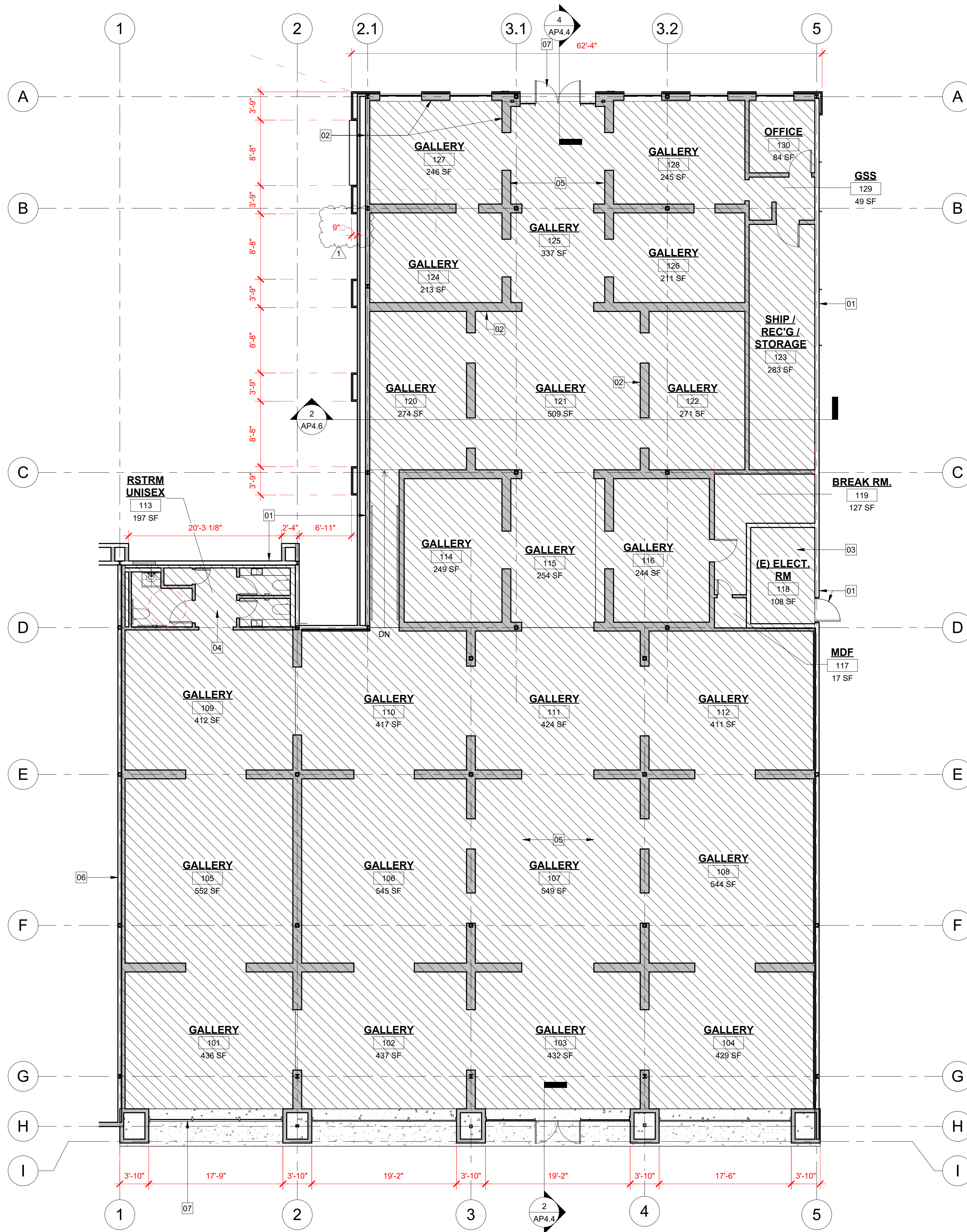
Sheet Title:

FLOOR PLAN - DEMO

AP2.0



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**LEGEND:**

- EXISTING TO REMAIN
- NEW WALL, DOOR OR WINDOW
- UNDER SEPARATE PERMIT

**GENERAL NOTE:**

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
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3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
5. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.

**FLOOR PLAN KEYNOTES:**

01. (E) WALL TO REMAIN.
02. (N) WALLS, DOOR OR WINDOW
03. (E) ELECTRICAL ROOM TO REMAIN
04. (N) TOILET ROOMS
05. PROVIDE ALL NEW INTERIOR FINISHES (WALL, FLOORING AND CEILING), LIGHTING, PLUMBING, ELECTRICAL, AND MECHANICAL.
06. (E) TENANT DEMISING WALL TO REMAIN
07. (N) EXTERIOR FACADE WALL
08. (N) AWINGS

**NOTE: FOR KEYNOTES AND ADD'L INFO. SEE AP2.2**

**1** FLOOR PLAN - PROPOSED  
1/8" = 1'-0"

Client:



Project Title:

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APN 627-192-014

Architect:



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Stamps:



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	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.  
 Date: 08/28/2024  
 Project No: 2405  
 Scale: As Indicated  
 Sheet Title:

FLOOR PLAN - PROPOSED

**AP2.1**



Client:

# RH

Project Title:

## RH PALM DESERT GALLERY

73100 El Paseo, Suites 3-10  
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APN 627-192-014

Architect:

# FA

**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

### LEGEND:

- EXISTING TO REMAIN
- NEW WALL, DOOR OR WINDOW

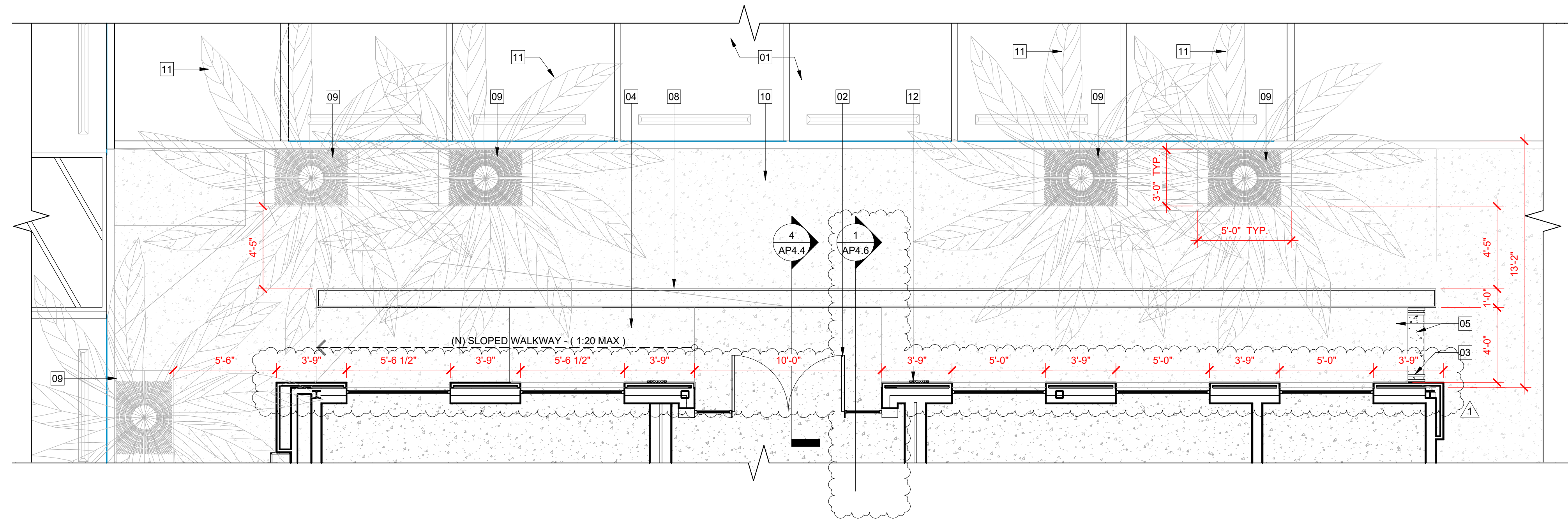
### GENERAL NOTE:

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- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
- SIGNAGE UNDER SEPARATE PERMIT.

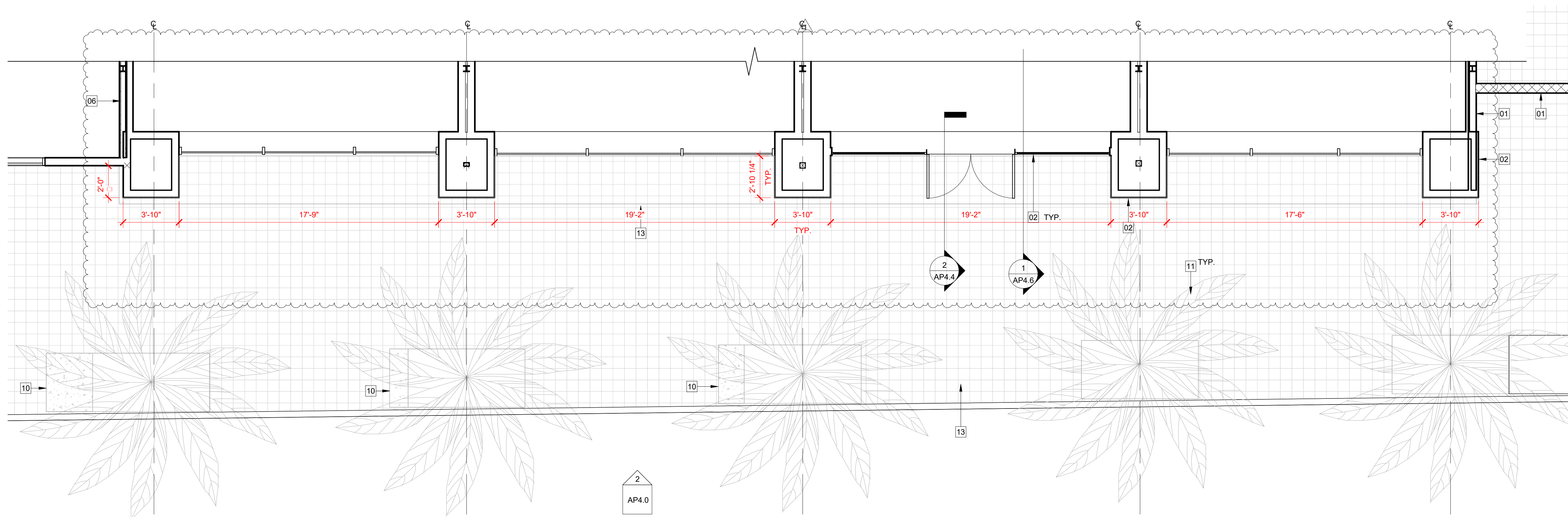
### FLOOR PLAN KEYNOTES:

- EXISTING TO REMAIN
- (N) WALLS, DOOR OR WINDOW
- (N) STAIR HANDRAIL
- (N) SLOPE WALKWAY (1:20 MAX). (SEE LANDSCAPE DWGS.)
- (N) WALKWAY & STAIR, (SEE LANDSCAPE DWGS.)
- (E) TENANT DEMISING WALL TO REMAIN
- (N) EXTERIOR FACADE WALL
- (N) PLANTER, SEE LANDSCAPE DRAWINGS
- (N) TREE METAL GRATE (3'-0" x 5'-0", TYP.) LEVEL WITH CONCRETE WALKWAY, SLIP RESISTANT, TYP. (SEE LANDSCAPE DWGS.)
- (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
- (N) PALM TREE, (SEE LANDSCAPE DWGS.)
- (N) SIGNAGE, (UNDER SEPARATE PERMIT)
- (N) SIDEWALK & PAVERS (WHERE INDICATED) (SEE LANDSCAPE DWGS.)

**NOTE: FOR ADDITIONAL INFO. SEE SHEET AP4.4**



**1** ENLARGED FLOOR PLAN - NORTH ENTRY - PROPOSED  
1/4" = 1'-0"



**2** ENLARGED FLOOR PLAN - SOUTH ENTRY - PROPOSED  
1/4" = 1'-0"

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# AP2.2



Client:

# RH

Project Title:

## RH PALM DESERT GALLERY

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Palm Desert CA, 92260  
APN 627-192-014

Architect:

# FA

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4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

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 Date: \_\_\_\_\_ 08/28/2024  
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ROOF PLAN - DEMO

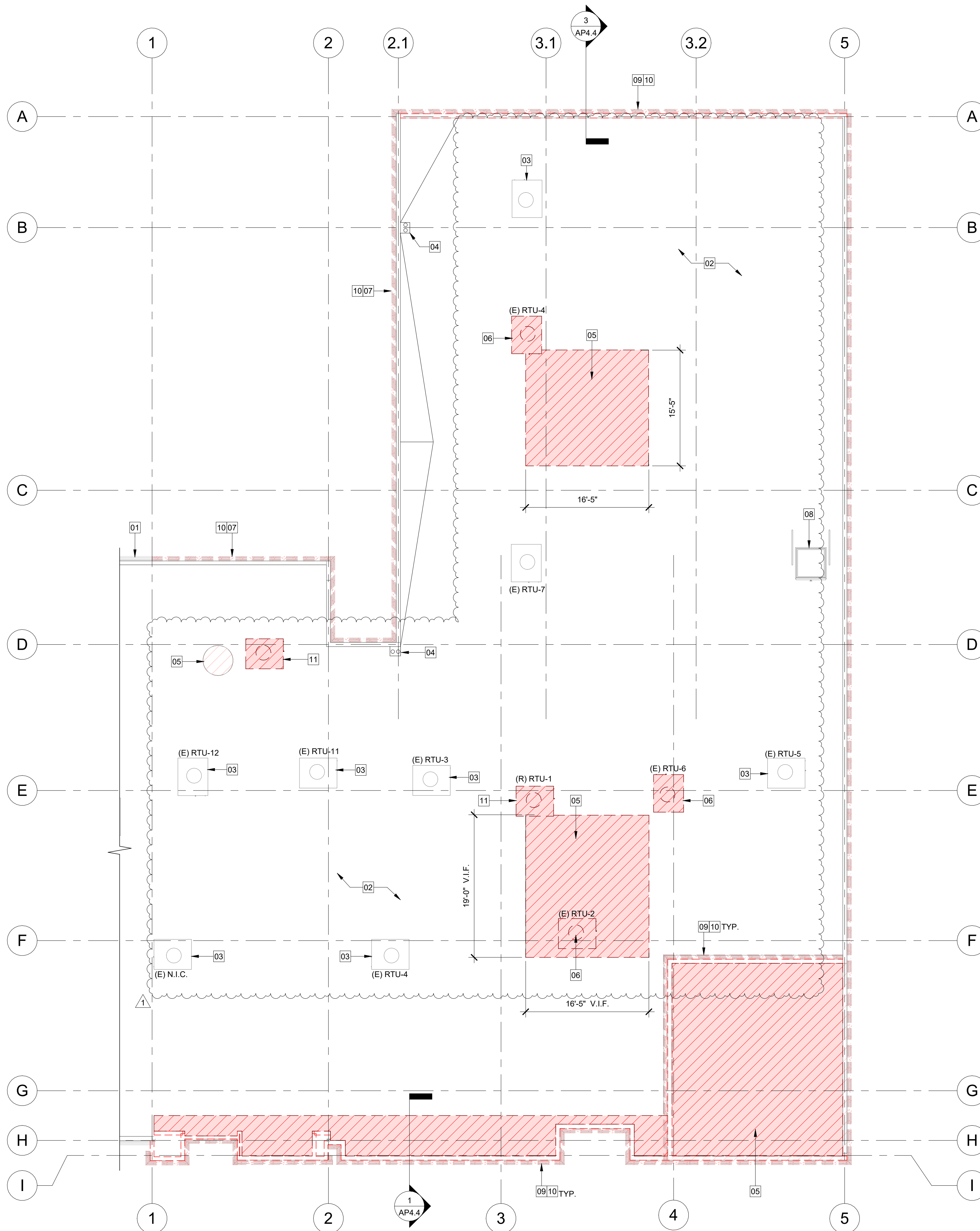
# AP3.0

### ROOF DEMO NOTES:

- DEMOLITION DRAWINGS MAY NOT SHOW ENTIRE SCOPE. CONTRACTOR IS TO REMOVE ALL EXISTING CONSTRUCTION AND SYSTEMS TO FACILITATE CONSTRUCTION OF NEW SCOPE OF WORK.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
- CONTRACTOR SHALL PHASE DEMOLITION IN ACCORDANCE WITH AN OWNER APPROVED CONSTRUCTION SCHEDULE.
- CONTRACTOR SHALL REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING WORK TO REMAIN. DAMAGE TO EXISTING WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE, PROVIDE AND PLACE BRACING AND SHORING, BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF THE SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
- CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS, GRADE BEAMS AND SUPPORTING STRUCTURAL MEMBERS TO REMAIN. COORDINATE WITH STRUCTURAL DWGS. WHEN APPLICABLE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT PROPERTIES DURING DEMOLITION & CONSTRUCTION. IN THE EVENT OF DAMAGE TO NEIGHBORING PROPERTIES, CONTRACTOR SHALL IMMEDIATELY CEASE ALL OPERATIONS AND NOTIFY THE ARCHITECT & OWNER. OPERATIONS SHALL NOT BE RESUMED UNTIL SAID DAMAGE IS RESOLVED AND A SOLUTION APPROVED BY ARCHITECT AND OWNER.
- CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK AND LEAVE THE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT AND OWNER.
- ALL DEMOLITION DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL APPLICABLE CODES AND CITY REQUIREMENTS.
- CAP OFF ANY EXISTING UTILITY NOT USED. DISCONNECT UTILITIES WITHIN DEMOLITION AREA IN COORDINATION WITH THE REQUIREMENTS OF THE NEW WORK. PROVIDE NOTIFICATION AND OBTAIN APPROVALS TO/FROM UTILITY COMPANIES AS REQUIRED.
- INSPECTION FOR DEMOLITION AND REMOVAL OF HAZARDOUS MATERIALS IS UNDER SEPARATE CONTRACT BY OTHERS.
- ALL ELECTRICAL TO BE RELOCATED ABOVE NEW CEILING. REWIRE TO MINIMIZE J-BOXES WITHIN NEW UNITS WITHIN WORK AREA.

### ROOF DEMO KEYNOTES:

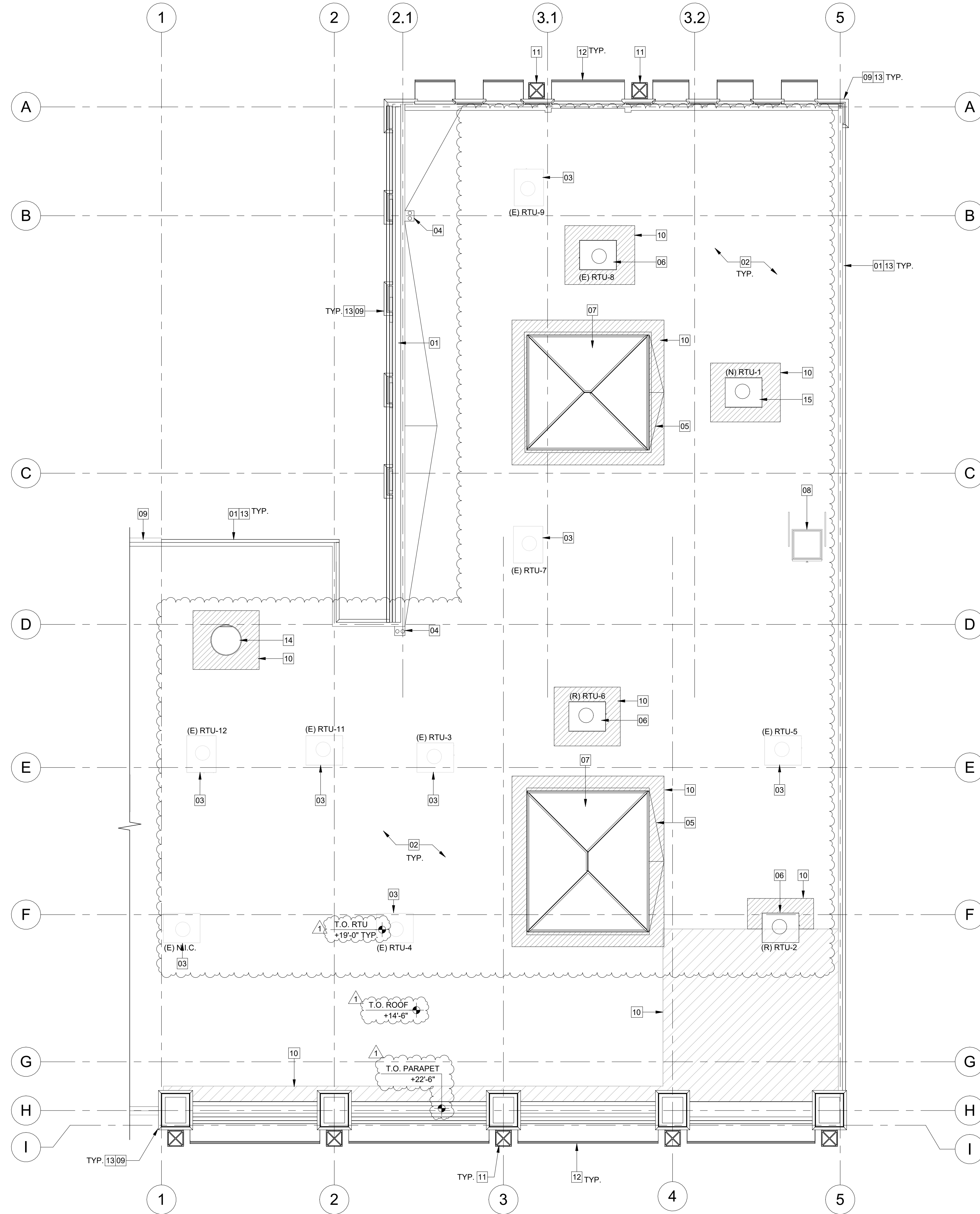
- EXISTING TO REMAIN.
- (E) ROOF MEMBRANE TO REMAIN.
- (E) RTU TO REMAIN.
- (E) ROOF DRAINS & SLOPED DRAINAGE TO REMAIN.
- (E) ROOF AREA TO BE DEMO.
- (E) RTU TO BE RELOCATED
- (E) WALL TO REMAIN PREPARE TO RECEIVE PAINT, WHERE INDICATED. (SEE ELEV. & SCHED. AP4.0.)
- EXISTING ROOF ACCESS HATCH TO REMAIN.
- (E) WALL TO BE DEMO (SEE ELEV), TYP.
- (E) CORNICE TO BE DEMO, WHERE INDICATED, TYP.
- (E) RTU TO BE DEMO, (S.M.D.)



**1** ROOF PLAN - EXISTING  
1/8" = 1'-0"

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**GENERAL ROOF NOTES:**

1. ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL INT. WALL AND CLG. FINISHES TO COMPLY WITH BLDG. CODE REGS. AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
5. INT PARTITION WALLS ARE NOT DESIGNED TO SUPPORT STRUCTURAL LOADS OF CASEWORK, EQUIPMENT OR ACCESSORIES. (U.O.N.)
6. ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED, TYPICAL. G.C. TO COORDINATE ALL WOOD BLOCKING AS REQUIRED FOR CASEWORK.
7. ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
8. ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
9. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
10. ALL ROOF PATCH AREAS TO MATCH (E) CONDITIONS, TYP.
11. ALL MECH. EQUIP. TYPE, LOCATIONS AND ADDITIONAL INFO., REFER TO MECH DWGS.

**ROOF PLAN KEYNOTES:**

01. (E) PARAPET WALLS TO REMAIN. REMOVE (E) CORNICE, PREPARE TO RECEIVE PAINT (WHERE INDICATED), SEE SCHEDULE AP4.0.
02. (E) ROOF MEMBRANE TO REMAIN.
03. (E) RTU TO REMAIN, (S.M.D.).
04. (E) ROOF DRAINS & SLOPED DRAINAGE TO REMAIN.
05. (N) ROOF CRICKET.
06. (E) RELOCATED RTU, (S.M.D.)
07. (N) SKYLIGHT.
08. (E) ROOF ACCESS HATCH TO REMAIN.
09. (N) WALL, (SEE ELEVATIONS)
10. (N) ROOF PATCH AREA TO MATCH (E) CONDITIONS, TYP.
11. (N) LIGHT FIXTURE, WALL MOUNTED (SEE LIGHTING DWGS)
12. (N) FABRIC AWNING
13. (N) CORNICE, (SEE ELEVATIONS)
14. (N) MECH. EXHAUST FAN, (S.M.D.)
15. (N) RTU, (S.M.D.)

**1** ROOF PLAN - PROPOSED  
1/8" = 1'-0"

Client:



Project Title:

**RH PALM DESERT GALLERY**

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Palm Desert CA, 92260  
APN 627-192-014

Architect:



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brian@foustarchitecture.com  
T: 857.574.0010

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Author: C.G.  
Date: 08/28/2024  
Project No. 2405  
Scale: As Indicated  
Sheet Title:

ROOF PLAN - PROPOSED

**AP3.1**





**RH PALM DESERT GALLERY**

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EXTERIOR ELEVATIONS

**AP4.0**

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6. CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
7. ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
8. FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

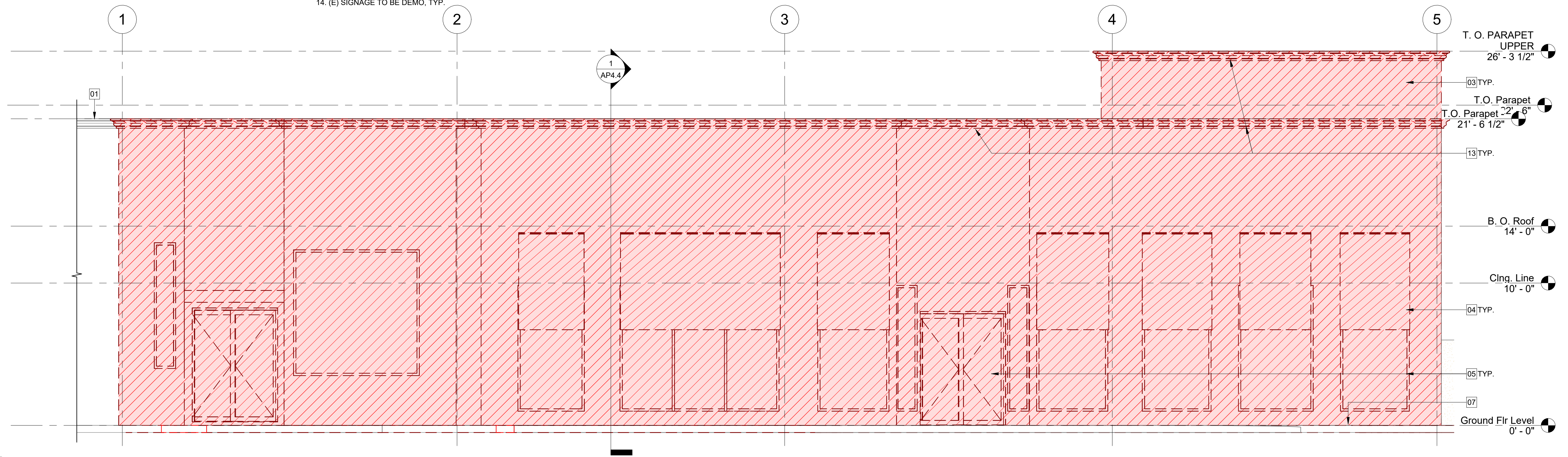
**ELEVATION KEYNOTES - DEMOLITION:**

01. EXISTING TO REMAIN.
02. (E) DOOR & FRAME TO BE DEMO, TYP.
03. (E) WALL TO BE DEMO, TYP.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WINDOW & FRAME TO BE DEMO, TYP.
06. (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS).
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS).
10. (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS).
11. (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
12. (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC. (SEE LANDSCAPE DWGS.)
13. (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
14. (E) SIGNAGE TO BE DEMO, TYP.

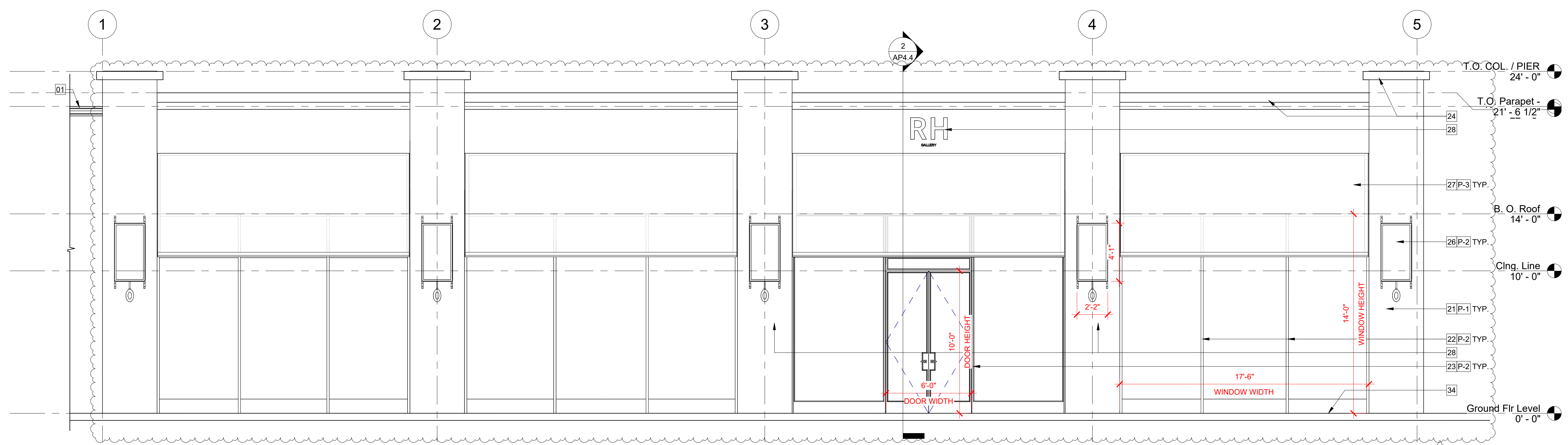
**ELEVATION KEYNOTES (NEW CONST.):**

21. (N) WALL (STUCCO PLASTER), TYP.
22. (N) WINDOW SYSTEM, (SEE PLAN).
23. (N) DOOR SYSTEM, (SEE PLAN).
24. (N) CORNICE (WHERE INDICATED), TYP.
25. (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
26. (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS).
27. (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS).
28. (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
29. (N) BIKE RACK, (SEE LANDSCAPE DWGS)
30. (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
31. (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
32. (N) STAIR (SEE LANDSCAPE DWGS.).

33. (N) MTL. PLANTER, (SEE LANDSCAPE DWGS.)
34. (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
35. (N) RAMP, (SEE LANDSCAPE DWGS.)
36. (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
37. (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



**1 SOUTH ELEVATION (FRONT) - DEMO**  
1/4" = 1'-0"



**2 SOUTH ELEVATION (FRONT) - PROPOSED**  
1/4" = 1'-0"

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7. ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
8. FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

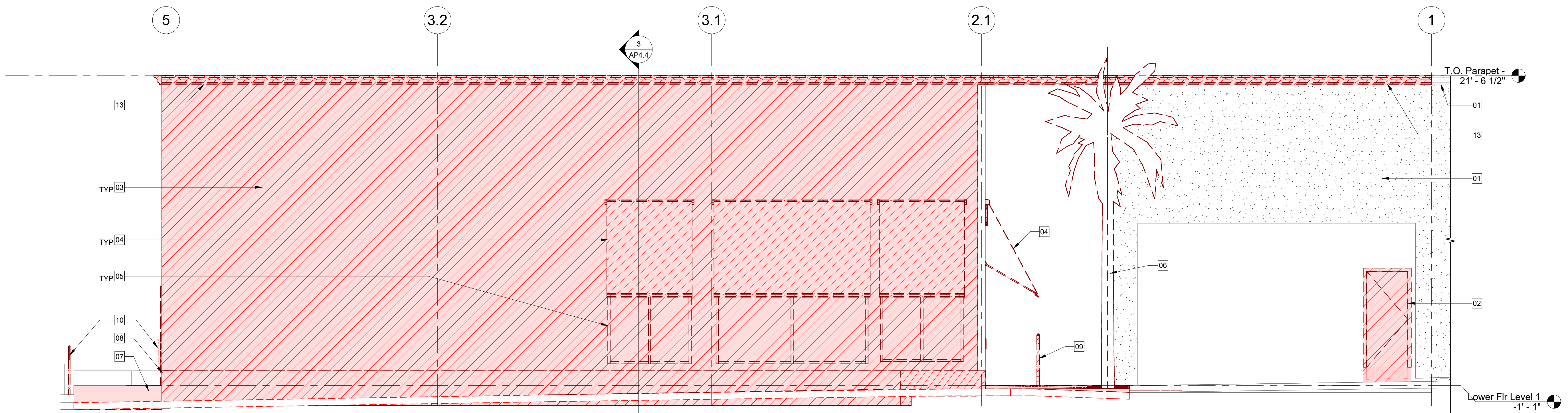
**ELEVATION KEYNOTES - DEMOLITION:**

01. EXISTING TO REMAIN.
02. (E) DOOR & FRAME TO BE DEMO, TYP.
03. (E) WALL TO BE DEMO, TYP.
04. (E) AWNING TO BE DEMO, TYP.
05. (E) WINDOW & FRAME TO BE DEMO, TYP.
06. (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
07. (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS.)
08. (E) CONC. CURB TO BE DEMO, (SEE PLAN)
09. (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS.)
10. (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.)
11. (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
12. (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC., (SEE LANDSCAPE DWGS.)
13. (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
14. (E) SIGNAGE TO BE DEMO, TYP.

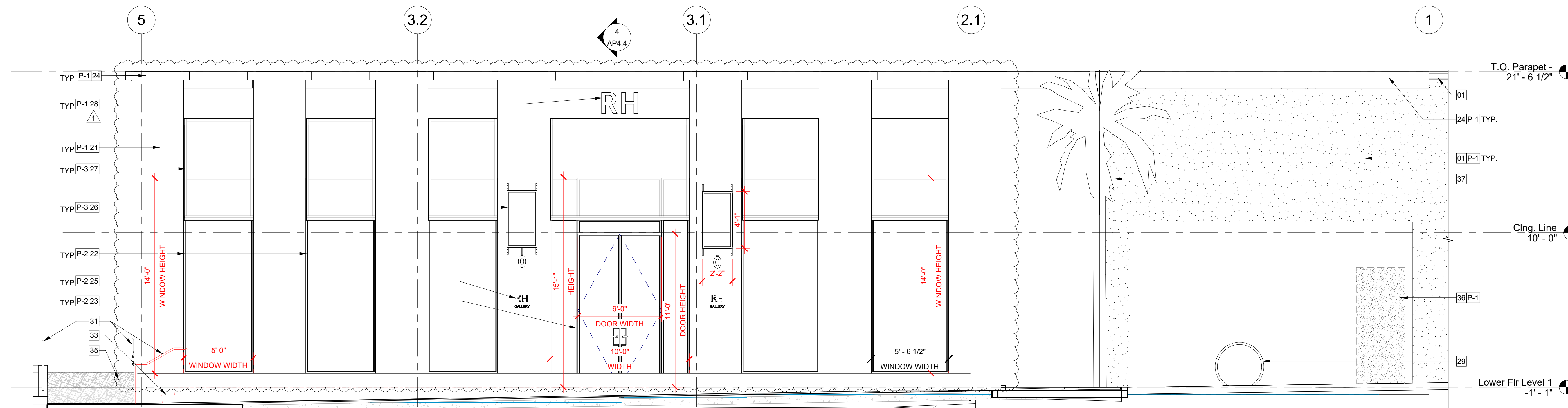
**ELEVATION KEYNOTES (NEW CONST.):**

21. (N) WALL (STUCCO PLASTER), TYP.
22. (N) WINDOW SYSTEM, (SEE PLAN).
23. (N) DOOR SYSTEM, (SEE PLAN).
24. (N) CORNICE (WHERE INDICATED), TYP.
25. (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
26. (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS.).
27. (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV. & LIGHTING DWGS.).
28. (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
29. (N) BIKE RACK, (SEE LANDSCAPE DWGS)
30. (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
31. (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
32. (N) STAIR (SEE LANDSCAPE DWGS.).

33. (N) MTL. PLANTER, (SEE LANDSCAPE DWGS.)
34. (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
35. (N) RAMP, (SEE LANDSCAPE DWGS.)
36. (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
37. (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



**1** EXTERIOR BLDG. ELEVATION NORTH - DEMO  
1/4" = 1'-0"



**2** EXTERIOR BLDG. ELEVATION NORTH - PROPOSED  
1/4" = 1'-0"

THIS DRAWING IS TO BE PRINTED FULL SIZE AT 24"X36" ALL RIGHTS RESERVED. MATERIAL MAY NOT BE REPRODUCED IN ANY FORM WITHOUT PERMISSION BY FOUST ARCHITECTURE

Client:



Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:



**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No: 2405

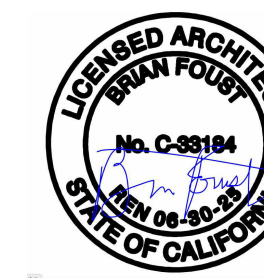
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Sheet Title:

EXTERIOR ELEVATIONS

**AP4.1**





No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.

Date: 08/28/2024

Project No. 2405

Scale: As Indicated

Sheet Title:

EXTERIOR ELEVATIONS

AP4.2

**GENERAL NOTE:**

- ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
- ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION, (SEE FINISH SCHED.) TYP.
- FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

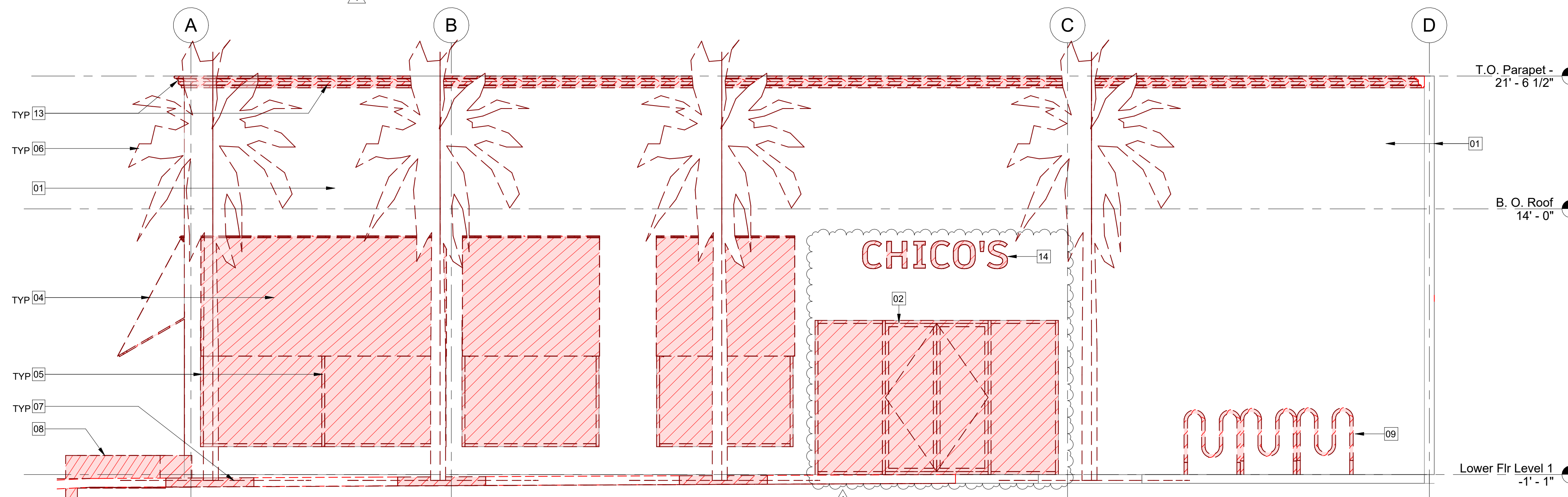
**ELEVATION KEYNOTES - DEMOLITION:**

- EXISTING TO REMAIN.
- (E) DOOR & FRAME TO BE DEMO, TYP.
- (E) WALL TO BE DEMO, TYP.
- (E) AWNING TO BE DEMO, TYP.
- (E) WINDOW & FRAME TO BE DEMO, TYP.
- (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS).
- (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED), PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED), (SEE LANDSCAPE DWGS.).
- (E) CONC. CURB TO BE DEMO, (SEE PLAN)
- (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE, (SEE LANDSCAPE DWGS.).
- (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.).
- (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
- (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC., (SEE LANDSCAPE DWGS.).
- (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
- (E) SIGNAGE TO BE DEMO, TYP.

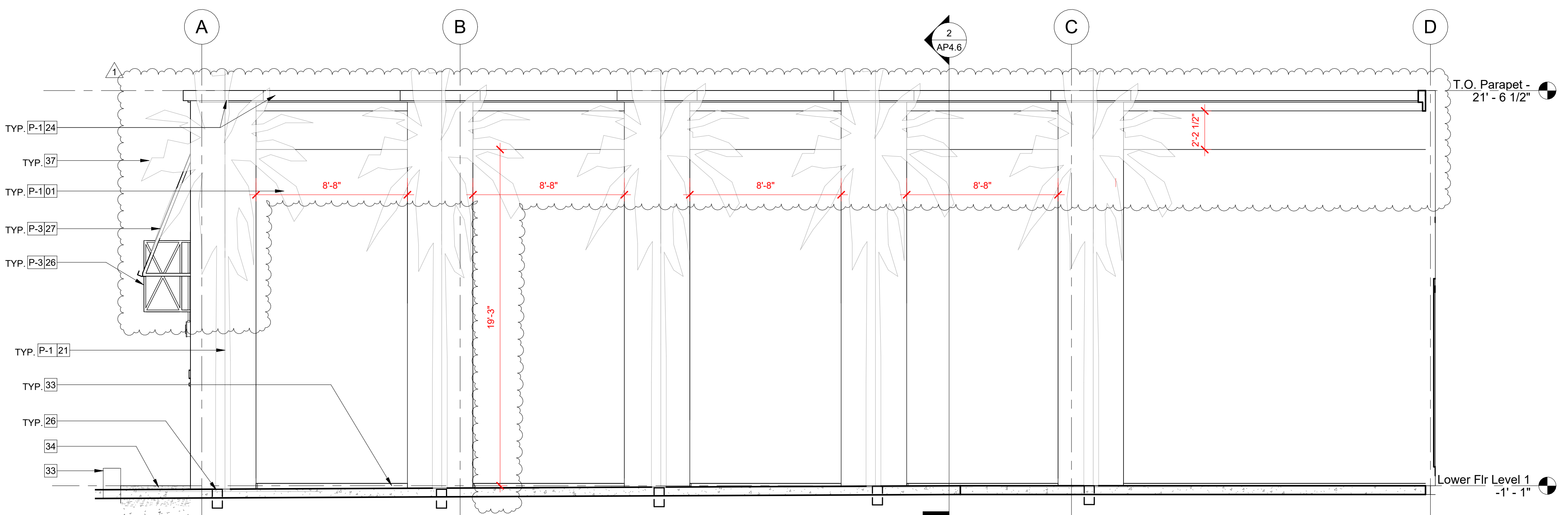
**ELEVATION KEYNOTES (NEW CONST.):**

- (N) WALL (STUCCO PLASTER), TYP.
- (N) WINDOW SYSTEM, (SEE PLAN).
- (N) DOOR SYSTEM, (SEE PLAN).
- (N) CORNICE (WHERE INDICATED), TYP.
- (N) PIN LETTERING, (SEE SIGNAGE "UNDER SEPARATE PERMIT").
- (N) EXTERIOR LIGHT FIXTURE, (SEE LIGHTING DWGS.).
- (N) FABRIC AWNING WITH LIGHT FIXTURE, (SEE ELEV & LIGHTING DWGS.).
- (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
- (N) BIKE RACK, (SEE LANDSCAPE DWGS)
- (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT, (SEE PLAN FOR LOCATIONS).
- (N) HANDRAIL, (SEE LANDSCAPE DWGS.).
- (N) STAIR (SEE LANDSCAPE DWGS.).

- (N) 9" DEEP PLANTER, (SEE LANDSCAPE DWGS.)
- (N) SIDEWALK, (SEE LANDSCAPE DWGS.)
- (N) RAMP, (SEE LANDSCAPE DWGS.)
- (N) WALL INFILL, (SEE NOTES & FINISH SCHED.)
- (N) PALM TREE, (SEE NOTES & LANDSCAPE DWGS)



1 EXTERIOR BLDG. ELEVATION WEST - DEMO  
1/4" = 1'-0"



2 EXTERIOR BLDG. ELEVATION WEST - PROPOSED  
1/4" = 1'-0"

THIS DRAWING IS TO BE PRINTED FULL SIZE AT 24\"/>



**GENERAL NOTE:**

- ALL DIMS ARE GIVEN TO FACE OF FINISH & VERTICAL DIMS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL PATHWAYS MUST BE 36" WIDE (MIN.) VERIFY.
- ALL CONCRETE FEATHER WORK DONE AT THRESHOLDS TO MEET CBC STANDARDS PRIOR TO START.
- CALCS AND DETAILS FOR MOUNTING HANDRAILS AND CONNECTION OF GUARDRAILS SHALL BE PROVIDED FOR REVIEW AND APPROVAL PRIOR TO INSTALL FOR COMPLIANCE WITH CBC 3103F.11.
- ALL WALL INFILL TO MATCH (E) ADJACENT CONDITION. (SEE FINISH SCHED.) TYP.
- FOR PALM TREES LOCATIONS & ADDITIONAL INFO. SEE LANDSCAPE DWGS.

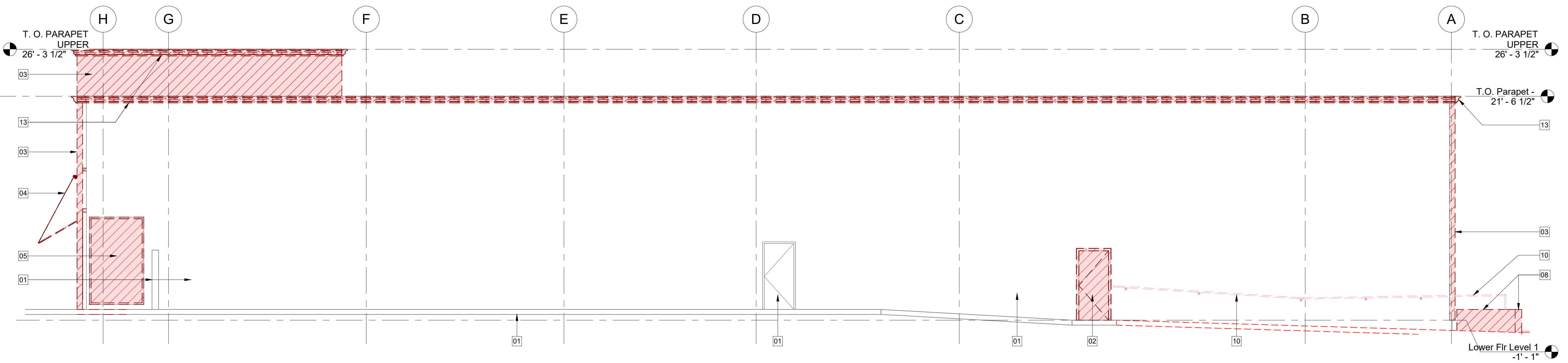
**ELEVATION KEYNOTES - DEMOLITION:**

- EXISTING TO REMAIN.
- (E) DOOR & FRAME TO BE DEMO, TYP.
- (E) WALL TO BE DEMO, TYP.
- (E) AWNING TO BE DEMO, TYP.
- (E) WINDOW & FRAME TO BE DEMO, TYP.
- (E) PALM TREE TO BE DEMO, TYP. (SEE LANDSCAPE DWGS.)
- (E) CONC. SIDEWALK & PAVERS TO BE DEMO (PARTIAL / WHERE INDICATED). PREPARE AREA TO RECEIVE (N) CONC. & PAVERS (WHERE INDICATED). (SEE LANDSCAPE DWGS.)
- (E) CONC. CURB TO BE DEMO. (SEE PLAN)
- (E) BIKE RACK TO BE REMOVED, RETAIN TO RELOCATE. (SEE LANDSCAPE DWGS.)
- (E) HANDRAIL TO BE DEMO (SEE PLAN & LANDSCAPE DWGS.)
- (E) DOOR AND FRAME TO REMAIN, PREPARE TO REPAINT, TYP.
- (E) CONC. RAMP TO BE DEMO PREPARE AREA TO RECEIVE (N) CONC. (SEE LANDSCAPE DWGS.)
- (E) CORNICE TO BE DEMO (WHERE INDICATED), TYP.
- (E) SIGNAGE TO BE DEMO, TYP.

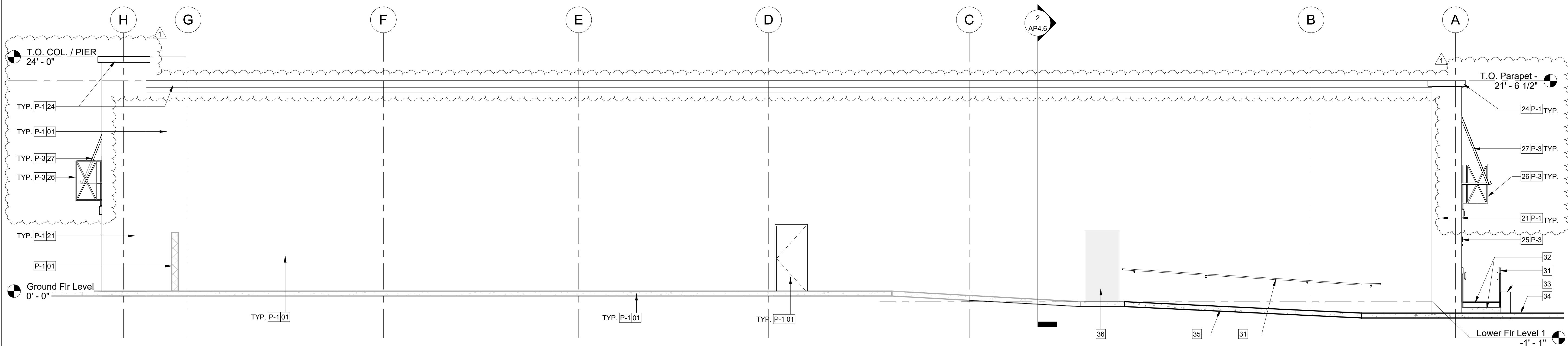
**ELEVATION KEYNOTES (NEW CONST.):**

- (N) WALL (STUCCO PLASTER), TYP.
- (N) WINDOW SYSTEM. (SEE PLAN).
- (N) DOOR SYSTEM. (SEE PLAN).
- (N) CORNICE (WHERE INDICATED), TYP.
- (N) PIN LETTERING. (SEE SIGNAGE "UNDER SEPARATE PERMIT").
- (N) EXTERIOR LIGHT FIXTURE. (SEE LIGHTING DWGS.)
- (N) FABRIC AWNING WITH LIGHT FIXTURE. (SEE ELEV & LIGHTING DWGS.)
- (N) METAL BACK-LITE SIGNAGE, WALL MOUNTED (SEE ELEV. & SIGNAGE "UNDER SEPARATE PERMIT").
- (N) BIKE RACK. (SEE LANDSCAPE DWGS)
- (N) METAL GRATE AT PALM TREES SIDEWALK, FLUSH WITH ADJACENT CONC. SIDEWALK, SLIP RESISTANT. (SEE PLAN FOR LOCATIONS).
- (N) HANDRAIL. (SEE LANDSCAPE DWGS.)
- (N) STAIR (SEE LANDSCAPE DWGS.)

- (N) MTL. PLANTER. (SEE LANDSCAPE DWGS.)
- (N) SIDEWALK. (SEE LANDSCAPE DWGS.)
- (N) RAMP. (SEE LANDSCAPE DWGS.)
- (N) WALL INFILL. (SEE NOTES & FINISH SCHED.)
- (N) PALM TREE. (SEE NOTES & LANDSCAPE DWGS)



**1** EXTERIOR BLDG. ELEVATION EAST - DEMO  
3/16" = 1'-0"



**2** EXTERIOR BLDG. ELEVATION EAST - PROPOSED  
3/16" = 1'-0"

Client:



Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:



**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.  
Date: 08/28/2024  
Project No. 2405  
Scale: As Indicated  
Sheet Title:

EXTERIOR ELEVATIONS

**AP4.3**

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**DEMOLITION KEYNOTES:**

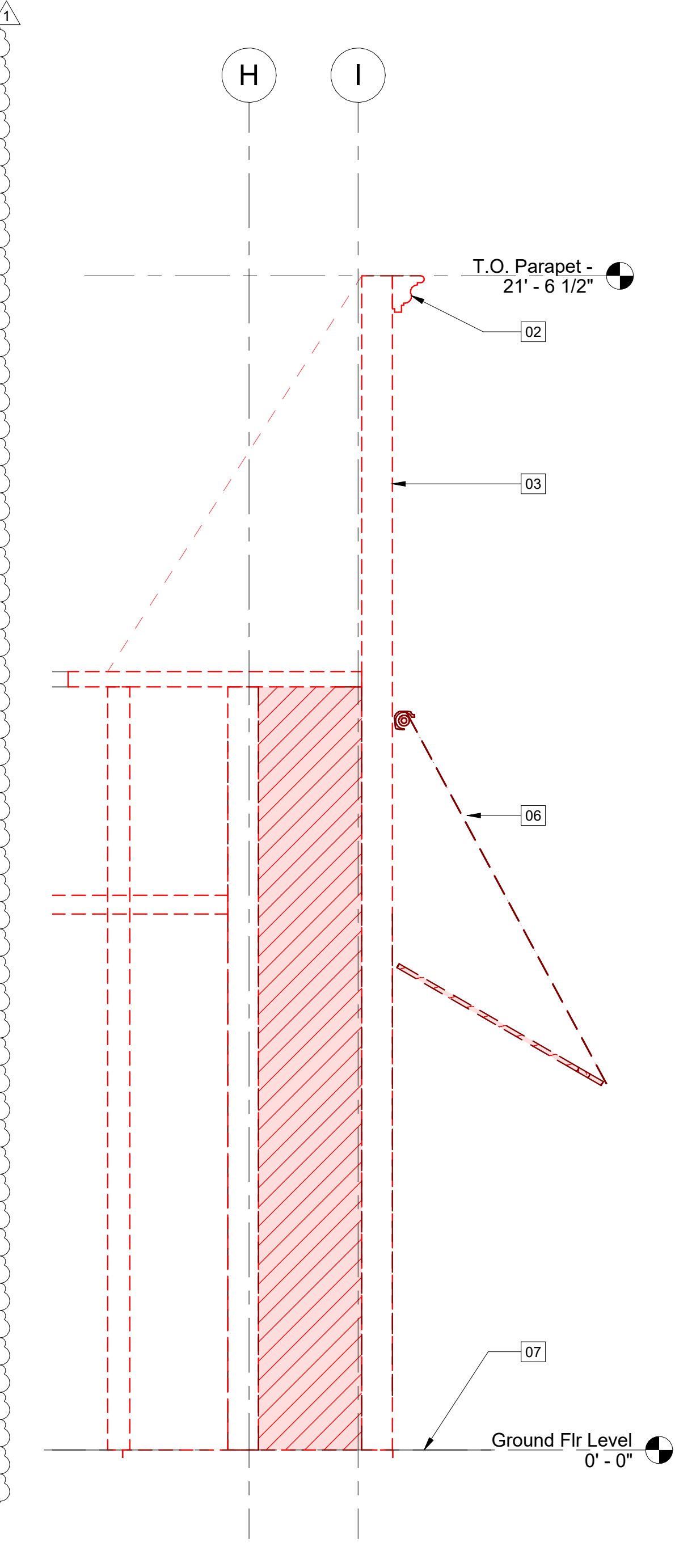
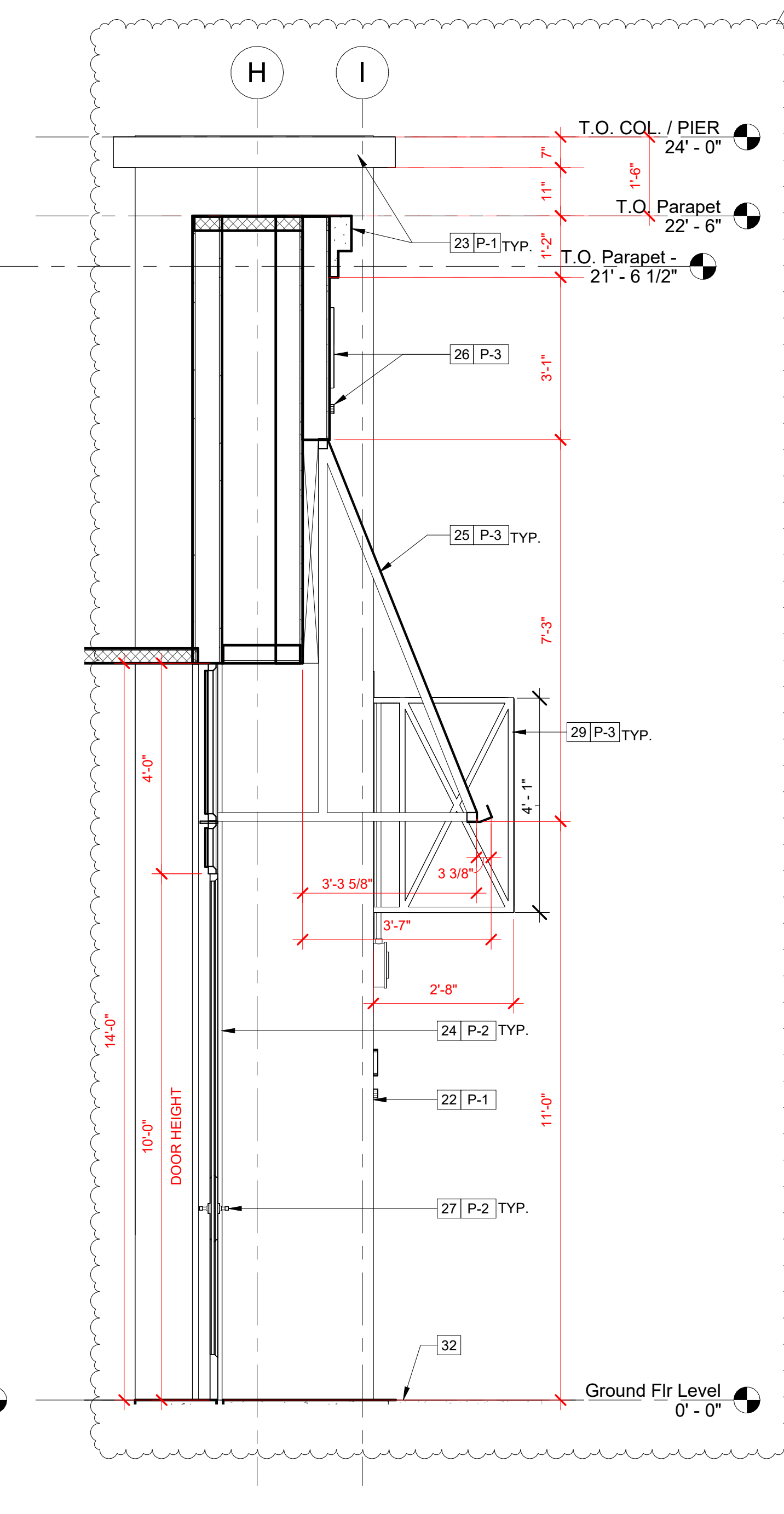
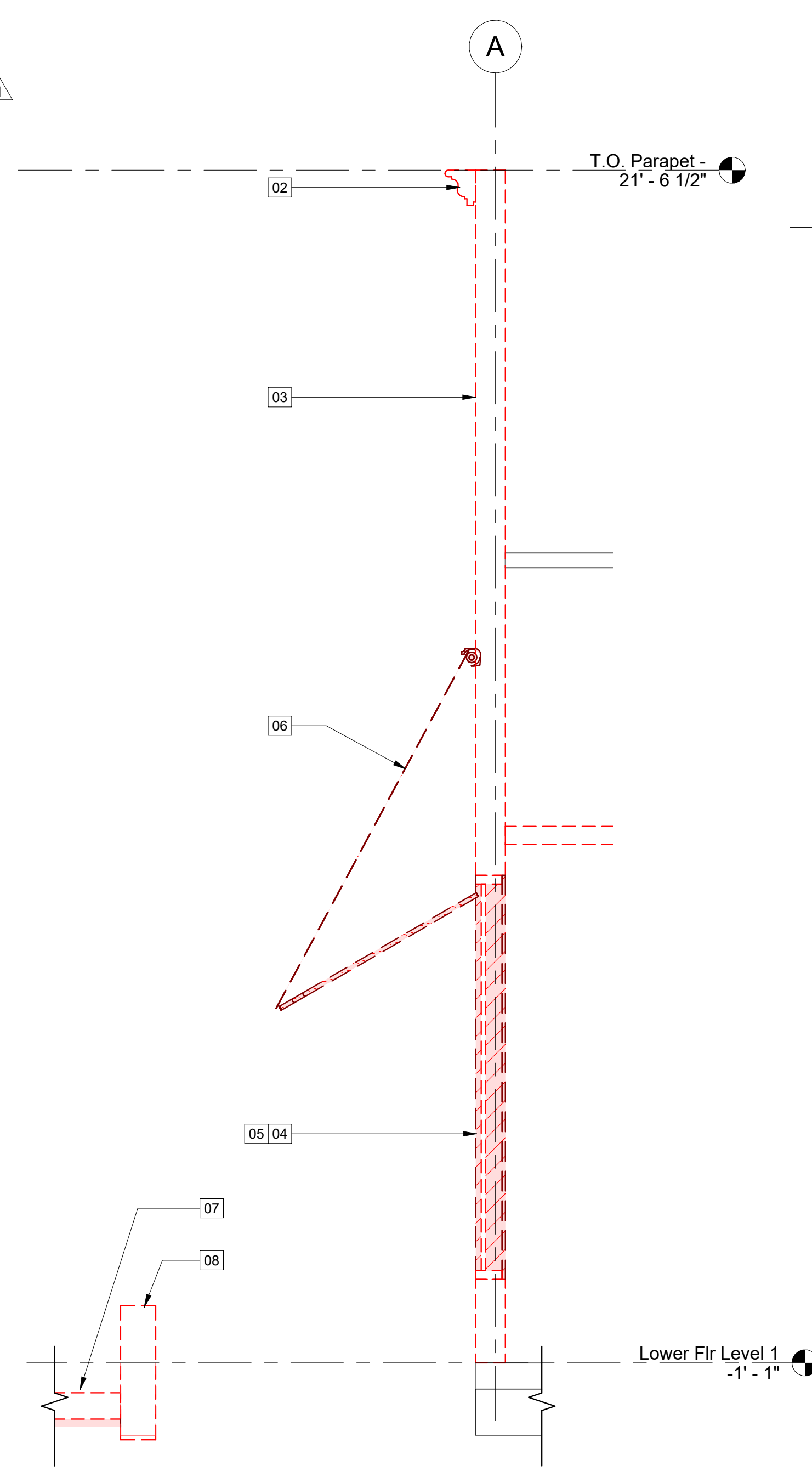
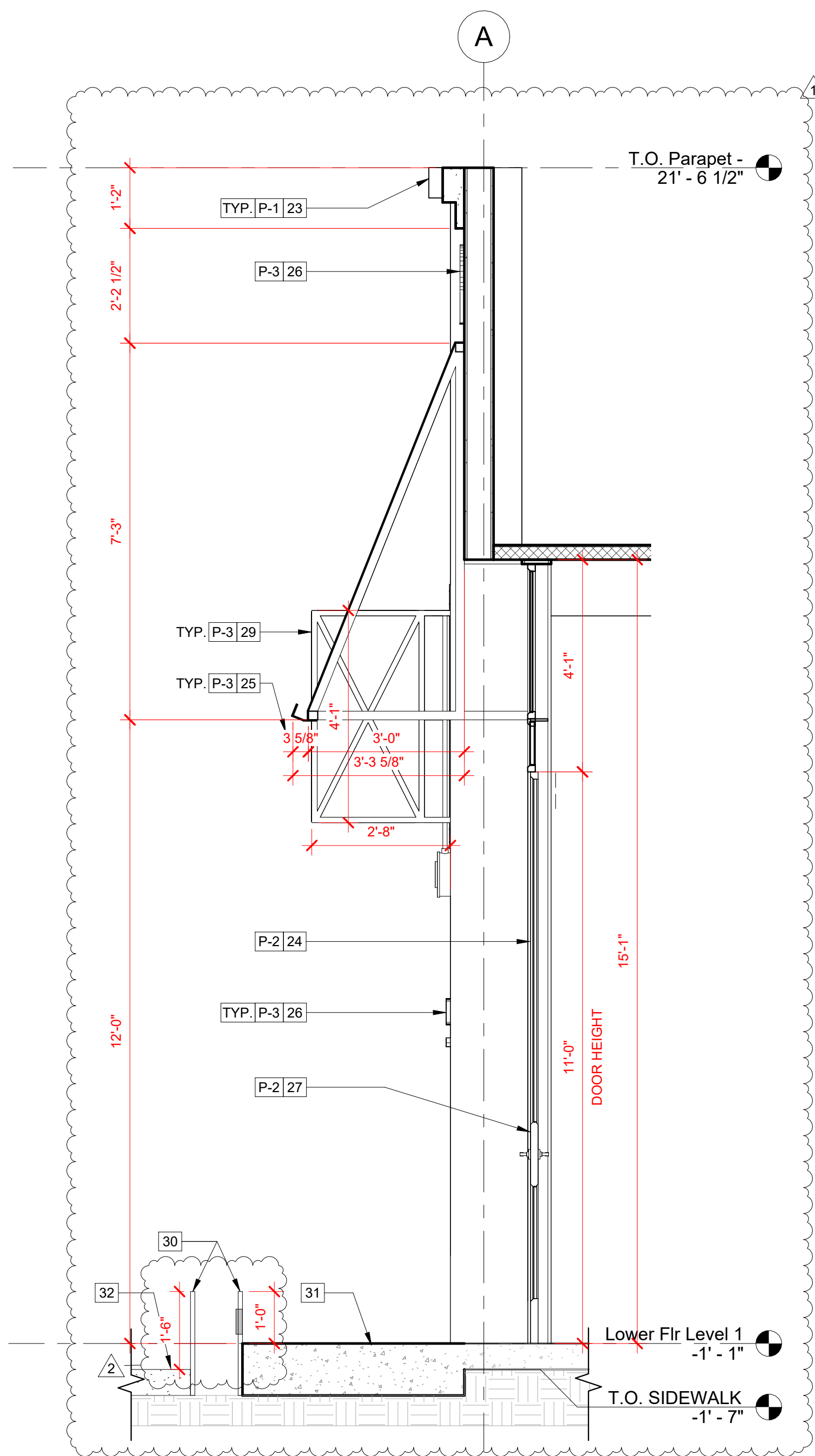
01. EXISTING TO REMAIN.
02. (E) CORNICE TO BE DEMO. (SEE ELEVATIONS).
03. (E) WALL TO BE DEMO. (SEE ELEV.).
04. (E) DOOR TO BE DEMO. (SEE ELEV.).
05. (E) WINDOW TO BE DEMO. (SEE ELEV.).
06. (E) AWNING TO BE REMOVE AND RETURN TO OWNER, TYP.
07. (E) CONC. SIDEWALK TO BE DEMO (PARTIAL), PREPARE AREA TO RECEIVE (N) CONC. (& PAVERS WHERE INDICATED), PATCH TO MATCH (E) CONDITIONS. (SEE PLANS & LANDSCAPE DWGS).
08. (E) CONC. CURB TO BE DEMO. (SEE ELEV.).

**PLAN KEYNOTES:**

21. EXISTING TO REMAIN
22. (N) WALL FACADE. (SEE ELEV.)
23. (N) WALL CORNICE, TYP.
24. (N) (N) WINDOW SYSTEM. (SEE ELEV.)
25. (N) METAL AWNING WITH LIGHT FIXTURE. (SEE ELEV. & LIGHTING DWGS)
26. (N) METAL BACK-LITE SIGNAGE. (SEE ELEV., LIGHTING & SIGNAGE DWGS)
27. (N) DOOR SYSTEM. (SEE ELEV.).
28. (N) HANDRAIL. (SEE LANDSCAPE DWGS).
29. (N) LIGHT FIXTURE (SEE LIGHTING DWGS.)
30. (N) METAL PLANTERS. (SEE LANDSCAPE DWGS).
31. (N) CONC. SLOPED WALKWAY. (SEE LANDSCAPE DWGS.)
32. (N) SIDEWALK & PAVERS (WHERE INDICATED, SEE PLAN & LANDSCAPE DWGS.)

FINISH SCHEDULE - EXTERIOR				
MARK	MANUF.	COLOR	COLOR #	REMARKS
P-1	PAINT	MARITIME WHITE	OC-5	50% FORMULA - EXTERIOR BUILDING
P-2	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	STORE FRONT & WINDOW FRAMES
P-3	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	METAL AWNINGS & METAL SIGNAGE
FB-1		HEATHER BEIGE...	CUSTOM	CUSTOM FABRIC ON EXTERIOR AWNING...

NOTE: FOR EXTERIOR LIGHTING ADDL. INFO. SEE LIGHTING DWGS.  
FOR LANDSCAPE ADDL. INFO. SEE LANDSCAPE DWGS.  
FOR SIGNAGE, SEE SIGNAGE DWGS. (UNDER SEPARATE PERMIT).



**4** STOREFRONT NORTH - SECTION / ELEVATION - PROPOSED  
1/2" = 1'-0"

**3** STOREFRONT NORTH - SECTION / ELEVATION - DEMO  
1/2" = 1'-0"

**2** STOREFRONT SOUTH - SECTION / ELEVATION - PROPOSED  
1/2" = 1'-0"

**1** STOREFRONT SOUTH - SECTION / ELEVATION - DEMO  
1/2" = 1'-0"

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Client:

**RH**

Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:

**FA**

**FOUST ARCHITECTURE**  
4804 Mission St.  
San Francisco, CA 94114  
brian@foustarchitecture.com  
T: 857.574.0010

Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
2	PLANNING RE-SUBMITTAL	01/31/2025
	PLANNING RE-SUBMITTAL 2	02/05/2025

Author: C.G.  
Date: 08/28/2024  
Project No: 2405  
Scale: As Indicated  
Sheet Title:

STOREFRONT SECTION / ELEVATION

**AP4.4**



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**FRONT ELEVATIONS - EXISTING**



**FRONT ELEVATIONS - PROPOSED**



**WEST SIDE ELEVATION - EXISTING**



**WEST SIDE ELEVATION - PROPOSED**



**REAR ELEVATION - EXISTING**



**REAR ELEVATION - PROPOSED**

FINISH SCHEDULE - EXTERIOR				
MARK	MANUF.	COLOR	COLOR #	REMARKS
P-1	PAINT	MARITIME WHITE	OC-5	50% FORMULA - EXTERIOR BUILDING
P-2	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	STORE FRONT & WINDOW FRAMES
P-3	JON NORRIED	RH BRONZE	MODERN MASTER METALLIC SATIN	METAL AWNINGS & METAL SIGNAGE
FB-1		HEATHER BEIGE...	CUSTOM	CUSTOM FABRIC ON EXTERIOR AWNING...

**NOTE:** FOR EXTERIOR LIGHTING ADD'L. INFO. SEE LIGHTING DWGS.  
FOR LANDSCAPE ADD'L. INFO. SEE LANDSCAPE DWGS.

Client:

# RH

Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:

## FA

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San Francisco, CA 94114  
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Stamps:



Agency Approvals:

No	Issue Description	Date
1	PLANNING SUBMITTAL	12/20/2024
2	PLANNING RE-SUBMITTAL	01/31/2025

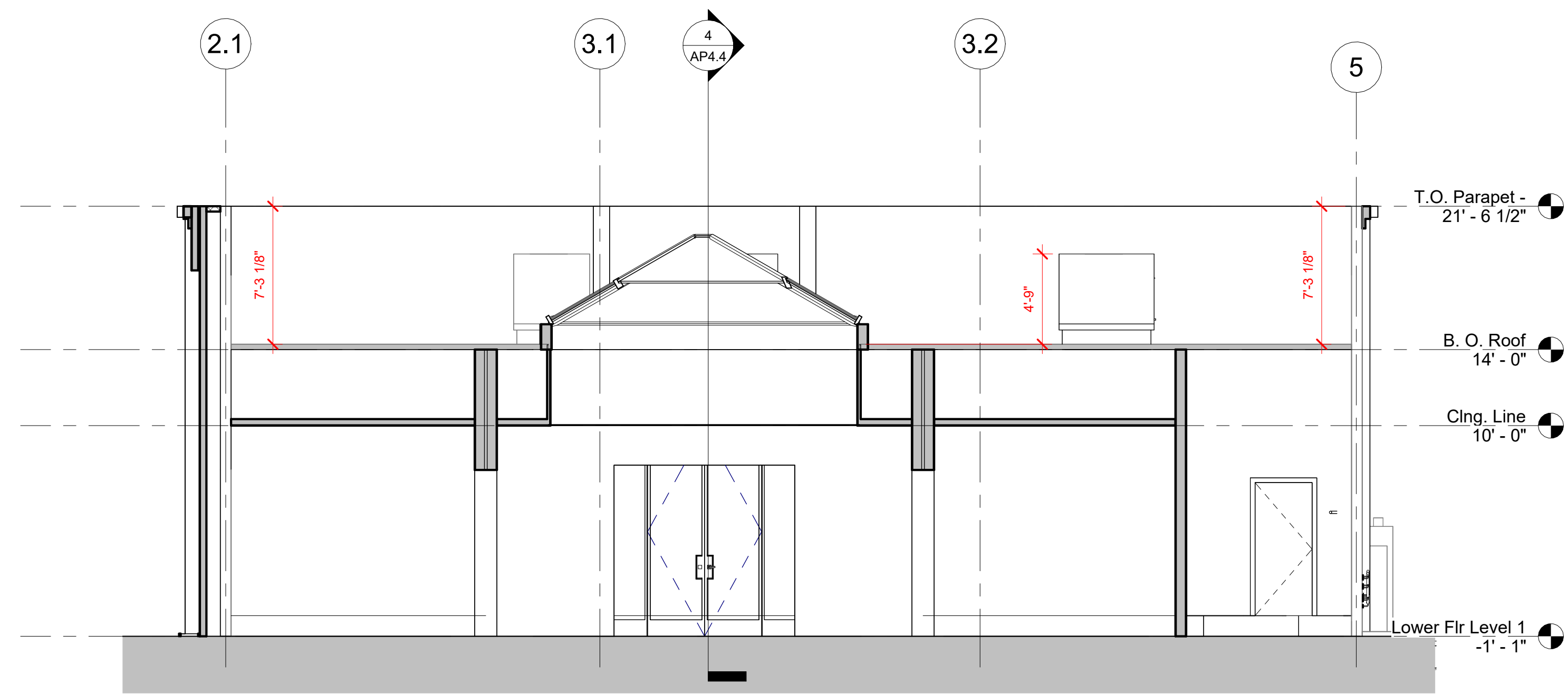
Author: \_\_\_\_\_ C.G.  
Date: \_\_\_\_\_ 08/28/2024  
Project No. \_\_\_\_\_ 2405  
Scale: \_\_\_\_\_ As Indicated  
Sheet Title:

EXTERIOR BLDG. SITE  
PHOTOS & RENDERINGS -  
EXISTING & PROPOSED

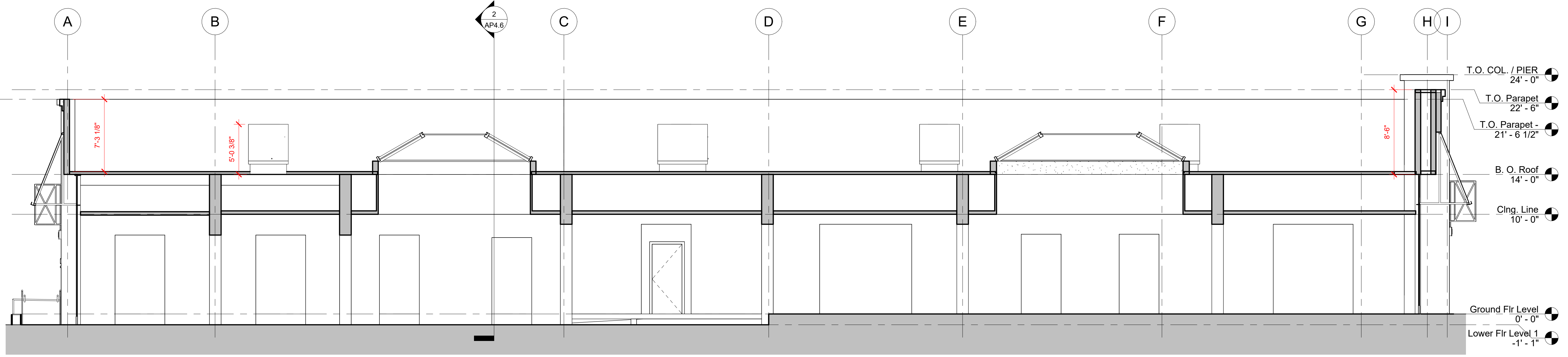
# AP4.5



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**2** BUILDING SECTION  
3/16" = 1'-0"



**1** BUILDING SECTION  
3/16" = 1'-0"

Client:

**RH**

Project Title:

**RH PALM DESERT GALLERY**

73100 El Paseo, Suites 3-10  
Palm Desert CA, 92260  
APN 627-192-014

Architect:

**FA**

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Stamps:



Agency Approvals:

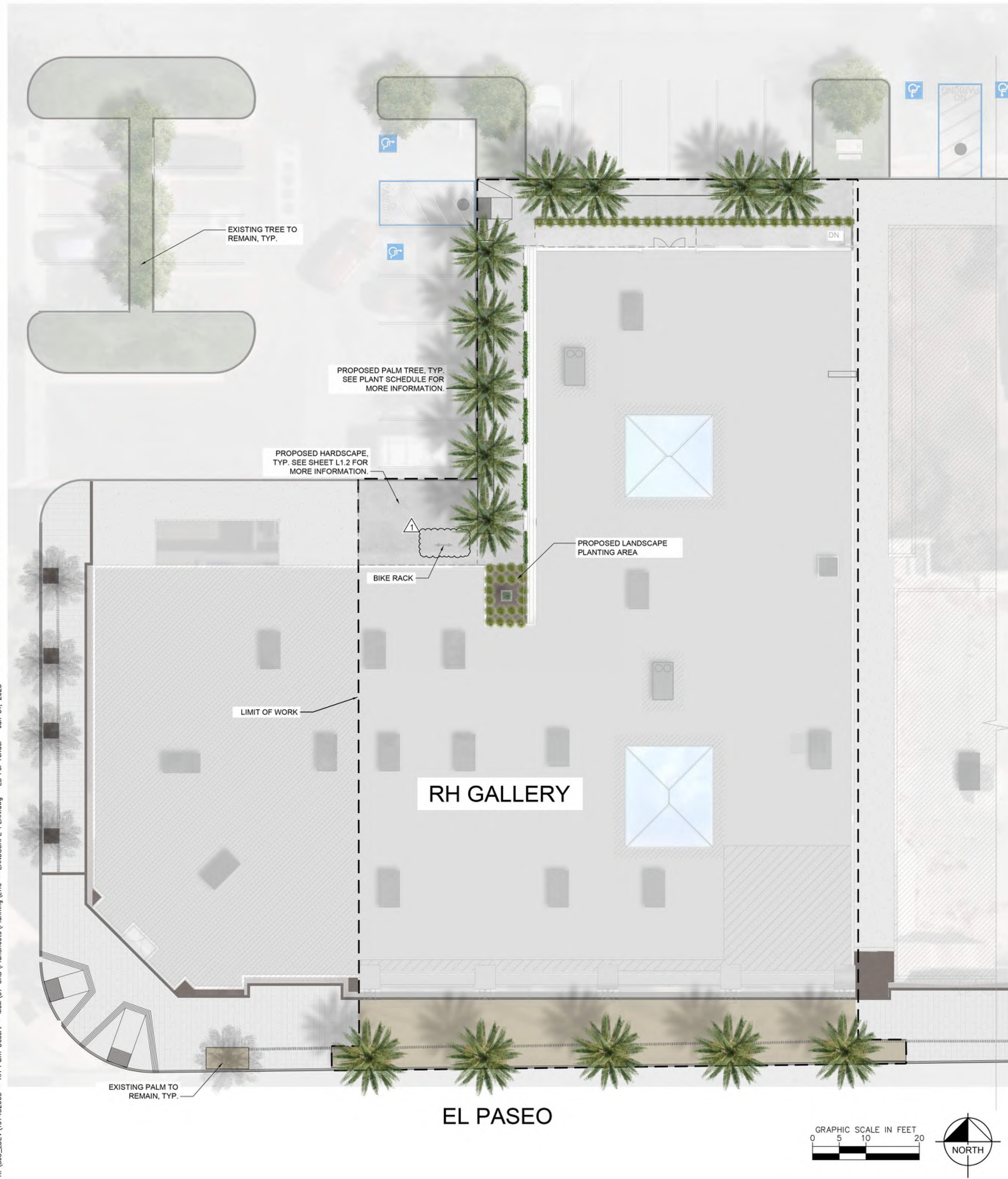
No	Issue Description	Date
1	PLANNING RE-SUBMITTAL	01/31/2025

Author: C.G.  
Date: 08/28/2024  
Project No. 2405  
Scale: As Indicated  
Sheet Title: BUILDING SECTION

**AP4.6**



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K:\SIC\_LOEVA\197432005 - RH Palm Desert - RH Palm Desert - M:\A\07 CAD\PlanSheets\Planning\L1.0 - LANDSCAPE PLAN.dwg LS For render Jan 31, 2025



**PRELIMINARY LANDSCAPE LEGEND**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS	SIZE AT MATURITY
<b>TREES</b>					
	5	EXISTING TO REMAIN / PROTECT IN PLACE	N/A	N/A	N/A
	6	EXISTING TO REMAIN / PROTECT IN PLACE	N/A	N/A	N/A
	14	PHOENIX DACTYLIFERA 'MEDJOO' / MEDJOO DATE PALM	20' B.T.H. MIN.	MODERATE	20' HT. X 15-25' SPR.
<b>SHRUBS</b>					
	1	AGAVE AMERICANA / CENTURY PLANT	5 GAL.	LOW	3-4' HT. X 3-4' SPR.
	49	LOMANDRA CONFERTIFOLIA 'LIMTIGRA' / LEADING® LIME TIGHT™ MAT RUSH	5 GAL.	LOW	1-2' HT. X 1-2' SPR.
<b>VINES</b>					
	9	FICUS PUMILA / CREEPING FIG	5 GAL.	MODERATE	8-15' HT. X 3-6' SPR.
<b>GROUND COVERS</b>					
	1,571 SF	EXISTING LANDSCAPE TO REMAIN / PROTECT IN PLACE			

**METHODS OF IRRIGATION**

ALL SHRUBS WILL BE IRRIGATED BY LOW FLOW SUBSURFACE DRIP IRRIGATION. ALL PALMS WILL BE IRRIGATED BY DRIP RINGS.

**PLANT IMAGERY**



LOMANDRA CONFERTIFOLIA 'LIMTIGRA'



AGAVE AMERICANA



PHOENIX DACTYLIFERA 'MEDJOO'



FICUS PUMILA

**RH**

73100 EL PASEO STE 4,  
PALM DESERT CA, 92260

**RH PALM DESERT**

**Kimley»Horn™**

KIMLEY-HORN & ASSOCIATES  
10 S. Almaden Blvd, Suite 1250  
San Jose, CA 95113  
T: 669.800.4130

PRELIMINARY SET NOT FOR CONSTRUCTION  
2025

No.	Issue	Date
△	PLANNING REVISION	1/31/2025

Date 1/31/2025  
Issue Date 1/31/2025  
Project No. 197432005

Scale As Indicated

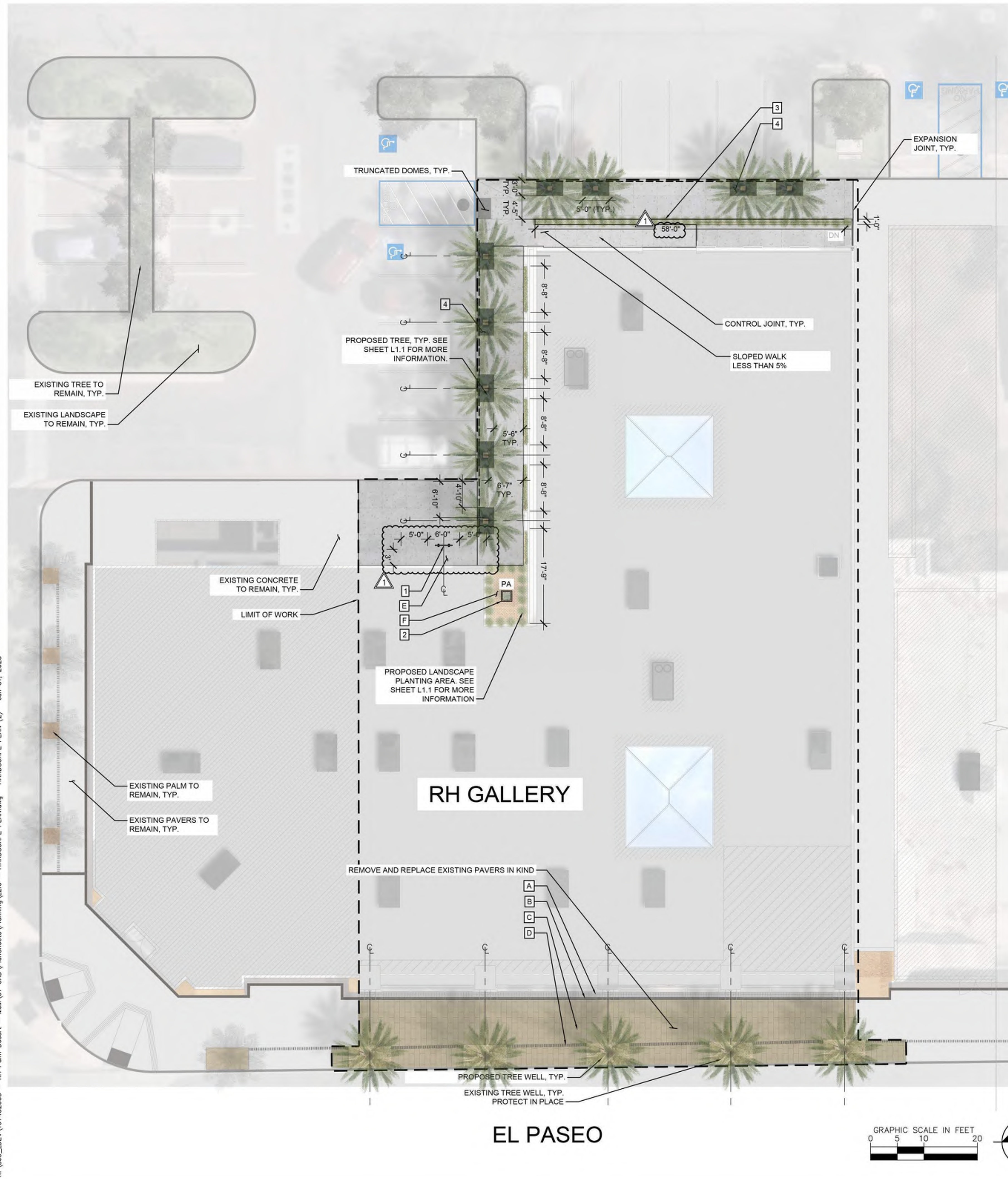
Sheet Title

PRELIMINARY LANDSCAPE PLAN

**L1.1**



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K:\SJC\_LOEVA\197432005 - RH Palm Desert - RH Palm Desert - MUM\07 CAD\PlanSheets\Planning\L2.0 - HARDSCAPE PLAN (2) Jan 31, 2025



### HARDSCAPE LEGEND

REF. #	DESCRIPTION
A	ENHANCED PAVEMENT PAVER A
B	ENHANCED PAVEMENT PAVER B
C	ENHANCED PAVEMENT PAVER C
D	ENHANCED PAVEMENT PAVER D
E	PEDESTRIAN CONCRETE
F	DECOMPOSED GRANITE

### SITE FURNISHINGS LEGEND

REF. #	DESCRIPTION
1	BIKE RACK
2	DECORATIVE PLANTER (CLIENT FURNISHED)
3	METAL EDGE PLANTER
4	TREE GRATE

### HARDSCAPE IMAGERY



### HARDSCAPE NOTES

- SEE LIGHTING PLANS FOR EXTERIOR LIGHT FIXTURE LOCATIONS.
- APPLICANT PROPOSES TO RELOCATE FOUR OF THE FIVE EXISTING STREET TREE WELLS ALONG EL PASEO BLVD FRONTAGE TO ALIGN WITH ARCHITECTURAL IMPROVEMENTS. SEE PLAN FOR EXISTING AND PROPOSED TREE WELL LOCATIONS.
- PER SECTION 25.46.060 OF THE MUNICIPAL CODE:** EACH REQUIRED BICYCLE PARKING SPACE MUST BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE. THERE MUST BE AN AISLE AT LEAST 5 FEET WIDE ADJACENT TO ALL REQUIRED BICYCLE PARKING TO ALLOW ROOM FOR BICYCLE MANEUVERING. WHERE THE BICYCLE PARKING IS ADJACENT TO A SIDEWALK, THE MANEUVERING AREA MAY EXTEND INTO THE RIGHT-OF-WAY. THE AREA DEVOTED TO BICYCLE PARKING MUST BE HARD SURFACED. A BICYCLE OF 6 FEET IN LENGTH CAN BE SECURELY HELD WITH ITS FRAME SUPPORTED SO THAT THE BICYCLE CANNOT BE PUSHED OR FALL IN A MANNER THAT WILL DAMAGE THE WHEELS OR COMPONENTS.

# RH

73100 EL PASEO STE 4,  
PALM DESERT CA, 92260

## RH PALM DESERT

**Kimley»Horn**

KIMLEY-HORN & ASSOCIATES  
10 S. Almaden Blvd, Suite 1250  
San Jose, CA 95113  
T: 669.800.4130

**PRELIMINARY SET NOT FOR CONSTRUCTION**  
2025

No.	Issue	Date
▲	PLANNING REVISION	1/31/2025

Date 1/31/2025  
Issue Date 1/31/2025  
Project No. 197432005

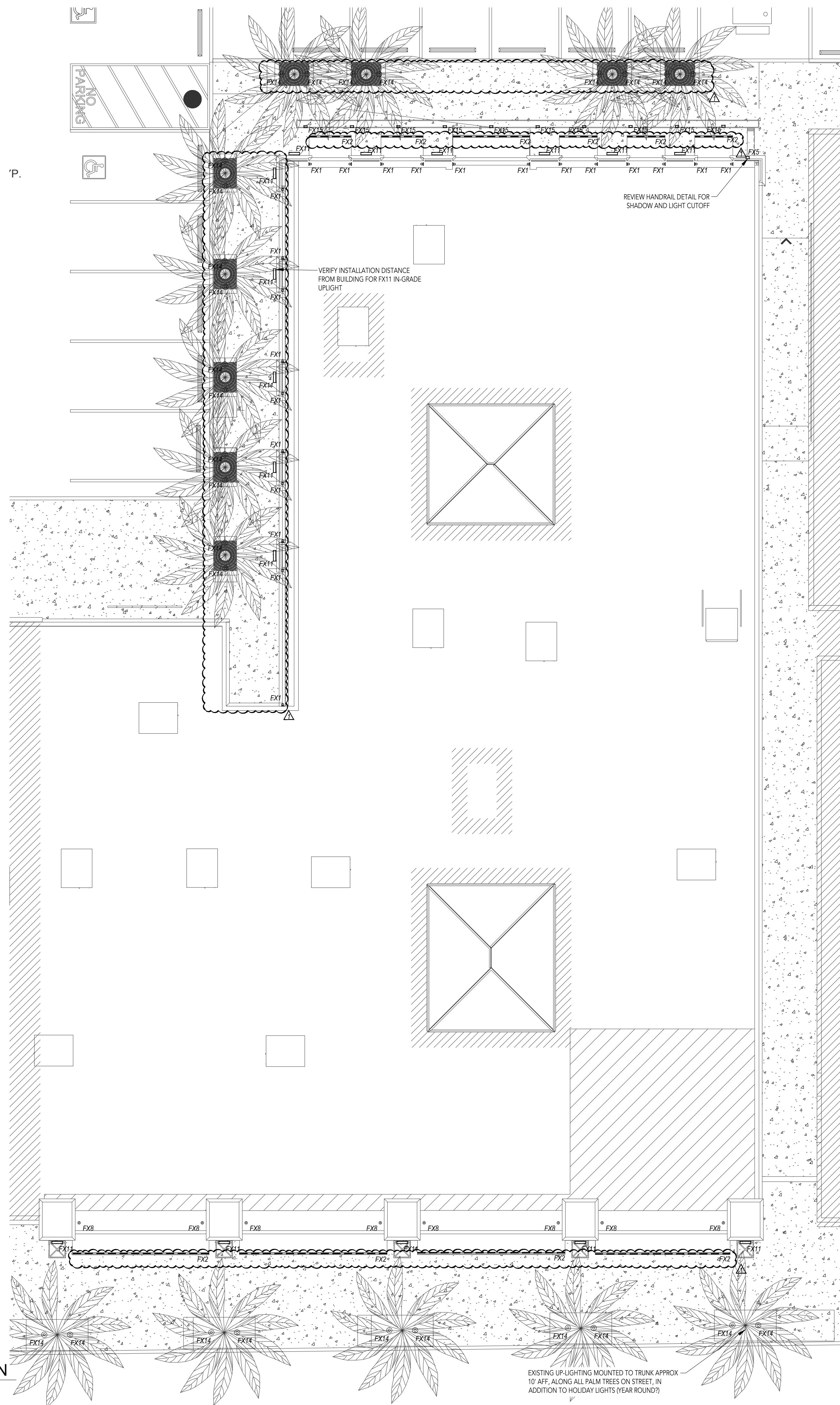
Scale As Indicated

Sheet Title

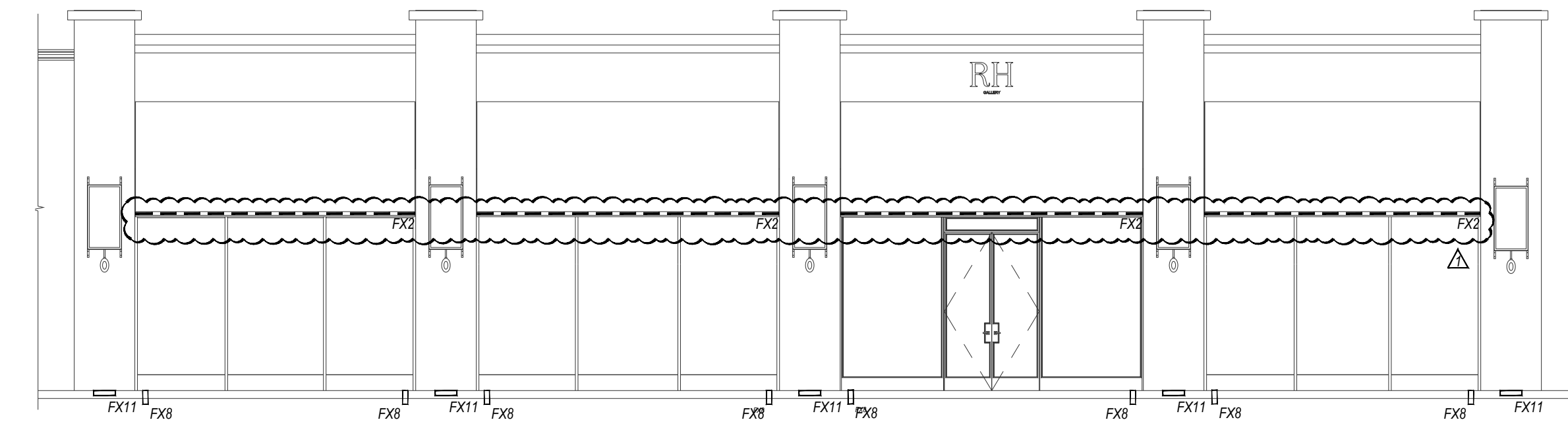
PRELIMINARY HARDSCAPE PLAN

# L1.2

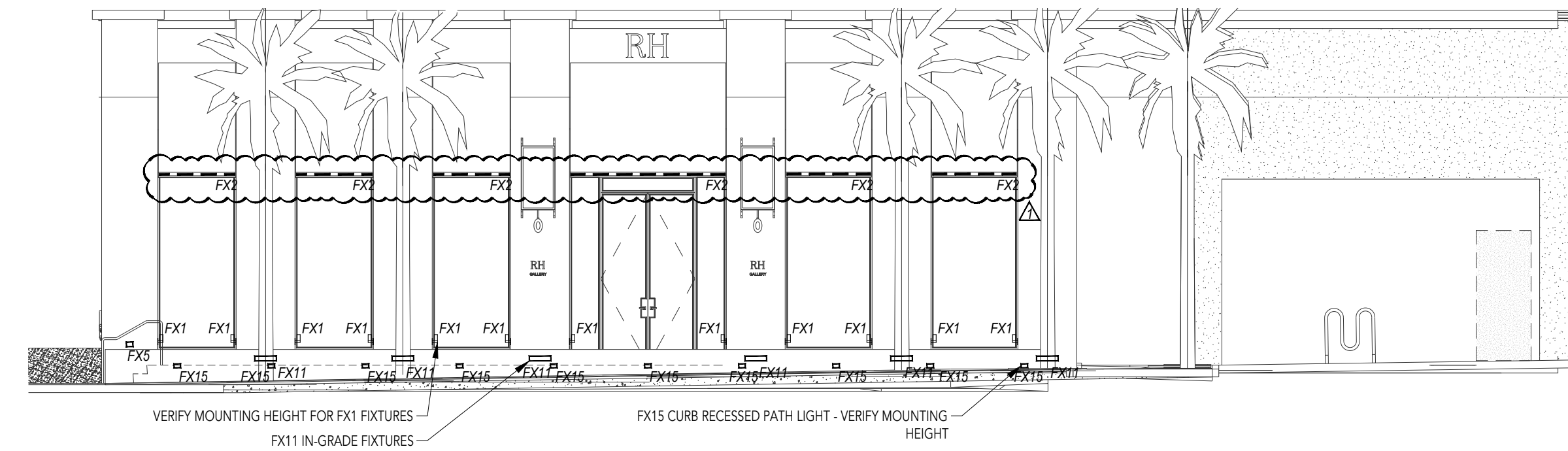




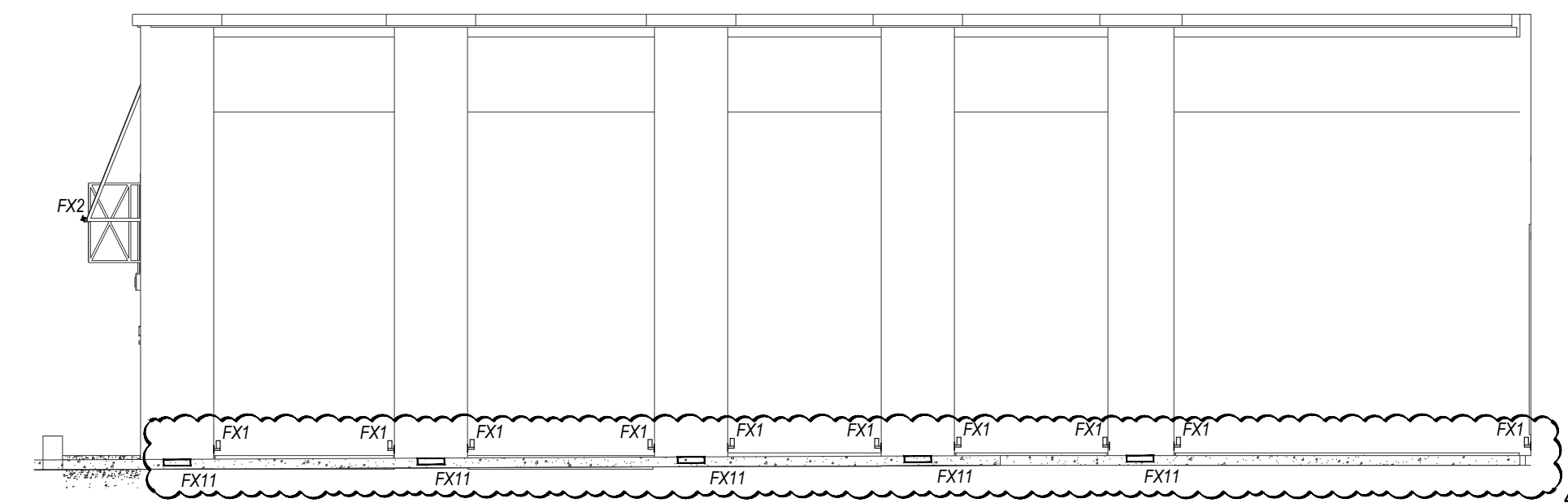
1 EXTERIOR LIGHTING PLAN  
1/8" = 1'-0"



2 SOUTH ELEVATION: EL PASEO  
1/8" = 1'-0"



3 NORTH ELEVATION: REAR ENTRANCE  
1/8" = 1'-0"



4 WEST ELEVATION: EL PASEO DR.  
1/8" = 1'-0"

**LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:**

ALL INTERIOR AND EXTERIOR BUILDING LIGHTING AT RH PALM DESERT GALLERY IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

**BUILDING WIDE SCENE DESCRIPTIONS**

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS OFF

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

**NOTES FOR ZONING AND LIGHTING CONTROLS:**

- ALL EXTERIOR LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
- ONE ZONE PER "P" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

**GENERAL NOTE:**

- ARCHITECT TO REVIEW DRAWINGS AND ADVISE OF CONFLICTS BETWEEN LIGHTING AND ACCESS PANELS, SPEAKER AND SPRINKLERS ETC. LIGHTING LOCATION SHOULD TAKE PRIORITY.

LIGHTING LEGEND			
TYPE	SYMBOL	DESCRIPTION	LOCATION
FX1	■	JAMB MOUNTED ACCENT LIGHT	REAR FACADE DOOR AND WINDOW JAMBS
FX2	—	SURFACE MOUNTED LINEAR LED LIGHT	FACADE AWNINGS
FX5	■	WALL MOUNTED WALL WASHER	REAR FACADE PILASTER
FX8	●	GRADE RECESSED ACCENT LIGHT	FACADE WINDOW JAMBS
FX11	■	GRADE RECESSED WALL WASHER	FACADE PILASTERS
FX14	⊙	GRADE RECESSED LANDSCAPE ACCENT LIGHT	PALM TREES
FX15	■	CURB RECESSED PATH LIGHT	REAR ENTRANCE - CURB

**NOTES FOR GENERAL CONTRACTOR:**

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
- GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
- GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
- Do not scale drawings.

**GENERAL NOTES:**

- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
- Fixture types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

REV.	DATE	DESCRIPTION
	11.04.2024	FOR REVIEW
	11.20.2024	CHECK SET
	12.04.2024	PLANNING SUBMITTAL
	12.20.2024	REVISION
△	01.31.2025	PLANNING RESUBMITTAL

**PROJECT:**

RH  
PALM DESERT GALLERY

73100 EL PASEO DRIVE,  
PALM DESERT, CA 92260

**DRAWING TITLE:**

EXTERIOR  
LIGHTING PLAN

**SHEET:**

LT-1.0

**ARCHITECTURAL REVIEW COMMISSION  
CITY OF PALM DESERT  
STAFF REPORT**

---

MEETING DATE: February 11, 2025

PREPARED BY: Carlos Flores, AICP, Principal Planner

SUBJECT: CONSIDERATION TO APPROVE A DESIGN REVIEW FOR A FAÇADE MODIFICATION TO AN EXISTING COMMERCIAL STOREFRONT FOR LOVESAC RETAIL BUSINESS AT 73-199 EL PASEO, SUITES C-D

---

**RECOMMENDATION:**

Staff recommends the Architectural Review Commission find that the project satisfies all findings for design review approval and approves the project with the following condition:

- 1) The Dark Tile Plank shall remain with a “Walnut” brown finish.

**BACKGROUND/ANALYSIS:**

**Executive Summary:**

- **Case No.: MISC25-0002**

**Project Summary:**

Lovesac (Applicant) is requesting design review approval for a façade modification to a storefront located at 73-199 El Paseo, Suites C-D (Assessor’s Parcel Number: 627232004). The request is to modify an existing storefront to establish a new, retail tenant space for a “Lovesac” business.

**A. Property Description**

On April 19, 1988, the City of Palm Desert Planning Commission approved PP 88-3, for the construction of a new 15,450 square foot multitenant commercial building at the southwest corner of El Paseo and Sage. The building was subsequently constructed and operational with multiple retail and commercial tenants. The building was split up into five (5) different suites of varying sizes, including a 5,193 square foot (sf) suite (Suites A-D) on the corner of El Paseo and Segó Lane that was recently operated by “Soft Surroundings” retail business. Since its original construction, the building has gone through minor façade revisions approved at a staff level, including color changes of the awnings, revising the stone veneer at the corner, and revising the corner entry doors.

In 2024, Suites A-D were split into two suites: Suites A-B (3,000 sf) and Suites C-D (2,193 sf), to accommodate a new “Shake Shack” restaurant in Suites A-B and for a future tenant in Suites C-D to have its own storefront. This was approved at a staff level via MISC24-0006 since no significant façade modifications were occurring as part of the work.

B. Zoning, General Plan and Adjacent Uses

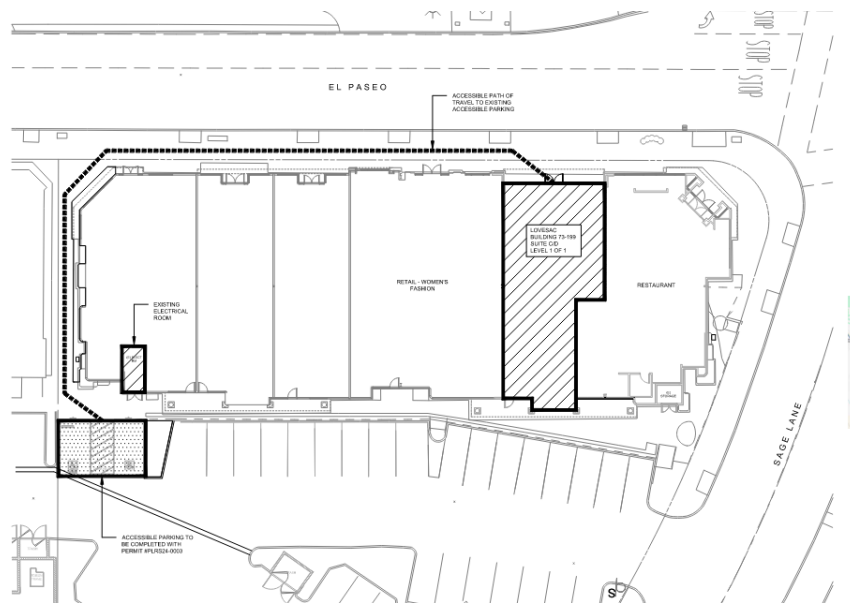
**Table 1 – Adjacent Land Use and Designations**

	<b>Existing Uses</b>	<b>General Plan</b>	<b>Zoning</b>
<b>Project Site</b>	Existing Commercial	Downtown	Downtown (D)
<b>North</b>	Existing Commercial	Downtown	Downtown (D)
<b>South</b>	Existing Multifamily residential	Downtown	Downtown Edge Transition Overlay (D.E.-O)
<b>East</b>	Existing Commercial	Downtown	Downtown (D)
<b>West</b>	Existing Commercial	Downtown	Downtown (D)

C. Project Description

The Applicant is proposing design review approval to revise the façade for a 2,193 sf storefront located at 73-199, Suites C-D (Suite), to accommodate for the Applicant’s retail business to operate in a newly constructed suite within an existing multitenant commercial building, as shown in Figure 1 below. The proposed design review is in conjunction with a tenant improvement application submitted for the interior of the building. The scope does not propose changes to building square footage, nor additional square footage or increase in height.

**Figure 1 - Site Plan**



Architecture

The proposed project includes installation of a Dark Tile plank onto the storefront façade. The tile is a 6” x 36” by ½” dark “Walnut” color wood grain plank porcelain tile installed on the entirety of the façade, from the edges of the windows to the top of the roof line, right under the existing canopy. The façade will also be revised to include glazing around the storefront entry door and windows with a powder coated metal painted “SW Splashy 6942”, as shown in Figure 2 below.

The project plans in Attachment 1 provide installation details, including flashing details and edge conditions for the tile.

Figure 2 – Façade Modification Renderings



No other revisions to the exterior of the project are proposed. The project will include a main identification sign and blade sign, which will be submitted for City staff review.

**Zoning Ordinance Summary:**

The subject property is zoned Downtown (D) which allows retail stores as a permitted use. The project meets all the development standards within the D District.

Findings

Revisions to storefront facades are subject to review and approval of a design review by the Architectural Review Commission (ARC) pursuant to Palm Desert Municipal Code (PDMC) Section 25.68.020 (A)(1). Findings for ARC decisions of design review applications are listed under Palm Desert PDMC Section 25.68.040 as follows:

- A. That the proposed development conforms to any legally adopted development standards.

*The proposed project is in conformance with the legally adopted development standards set forth by the PDMC for the Downtown (D) zoning district. The proposed modifications comply with all applicable development standards. The proposed project will not create non-conforming conditions for this existing development. The proposed building installs new material onto the storefront and satisfies the standards for the Downtown (D) zoning district.*

- B. That the design and location of the proposed development and its relationship to neighboring existing or proposed developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of neighboring existing or proposed developments and that it will not create traffic hazards or congestion.

*The proposed design is compatible with surrounding developments and will not create additional traffic which would impair investment in the neighborhood. The proposed use is an existing retail use therefore, a substantial increase in traffic generation is not anticipated.*

- C. That the design and location of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by this title and the General Plan of the City.

*The proposed façade is compatible with the development pattern along El Paseo as it provides a retail storefront within a walkable pedestrian-oriented district. The land use designation is Downtown in the General Plan which promotes high intensity mixed-use development anchored by civic, cultural, entertainment, and retail activity. The intended built form and character for this district consists of buildings at or near the sidewalk to support easy view of storefronts.*

- D. That the design and location of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

*The proposed project utilizes a good composition of new materials, textures, and colors for quality visual aesthetics, enhancing the front entries with consideration of the compatibility to the existing building. Other storefronts within the existing building utilize unique storefronts featuring a mix of design elements and building materials, which are unified by a continuous building envelope which utilizes a continuous mass, form, and materiality.*

- E. That the proposed use conforms to all the requirements of the zone in which it is located and all other applicable requirements.

*The proposed project conforms with legally adopted development standards set forth by the Downtown (D) District. As proposed, no substantial changes would impact the site or its surroundings, consistent with the Downtown (D) District, Title 25 Zoning Code, and General Plan regulations.*

- F. That the overall development of the land shall be designed to ensure the protection of public health, safety, and general welfare.

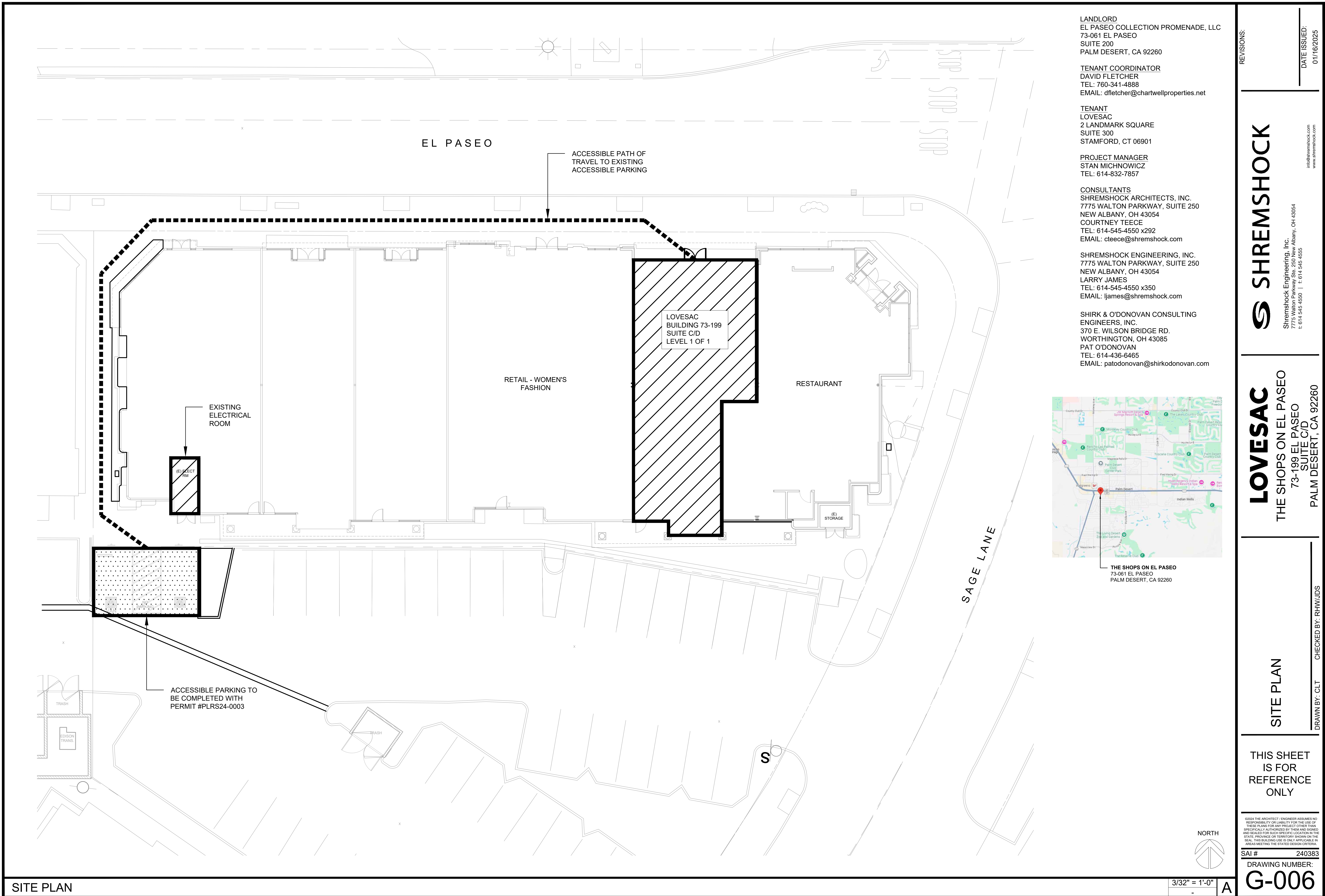
*The proposed project did not alter existing parking areas, site access, nor the original site layout. The site plan has been reviewed to confirm the design provides protection for the public's health, safety, and general welfare.*

**ATTACHMENTS:**

1. Project Plans
2. Renderings







LANDLORD  
 EL PASEO COLLECTION PROMENADE, LLC  
 73-061 EL PASEO  
 SUITE 200  
 PALM DESERT, CA 92260

TENANT COORDINATOR  
 DAVID FLETCHER  
 TEL: 760-341-4888  
 EMAIL: dfletcher@chartwellproperties.net

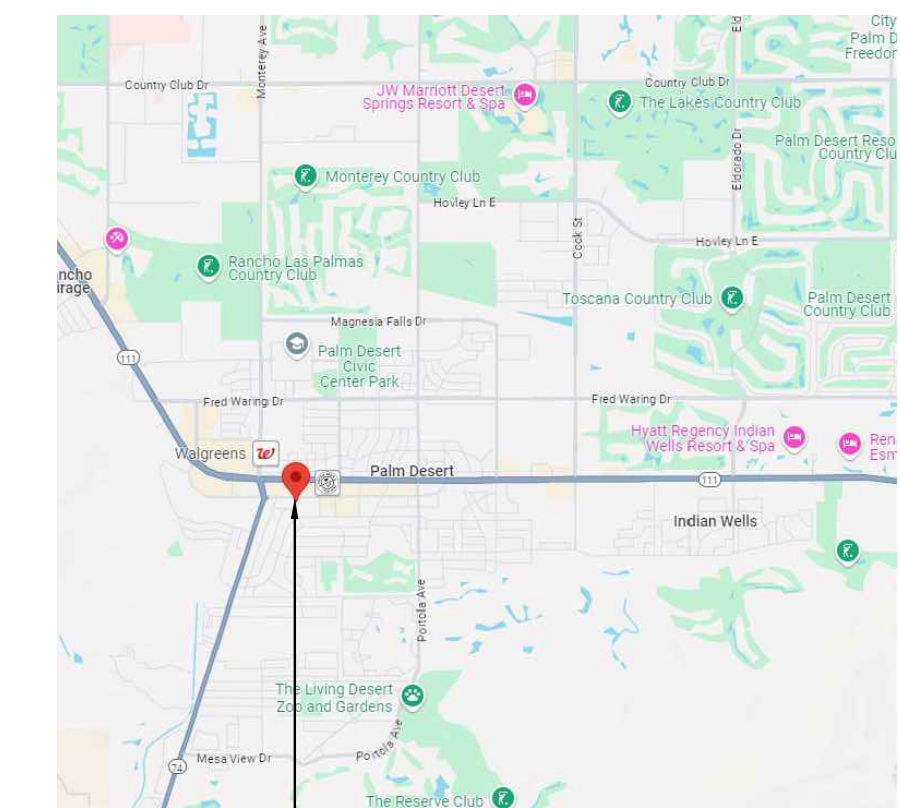
TENANT  
 LOVESAC  
 2 LANDMARK SQUARE  
 SUITE 300  
 STAMFORD, CT 06901

PROJECT MANAGER  
 STAN MICHNOWICZ  
 TEL: 614-832-7857

CONSULTANTS  
 SHREMSHOCK ARCHITECTS, INC.  
 7775 WALTON PARKWAY, SUITE 250  
 NEW ALBANY, OH 43054  
 COURTNEY TEECE  
 TEL: 614-545-4550 x292  
 EMAIL: cteece@shremshock.com

SHREMSHOCK ENGINEERING, INC.  
 7775 WALTON PARKWAY, SUITE 250  
 NEW ALBANY, OH 43054  
 LARRY JAMES  
 TEL: 614-545-4550 x350  
 EMAIL: ljames@shremshock.com

SHIRK & O'DONOVAN CONSULTING  
 ENGINEERS, INC.  
 370 E. WILSON BRIDGE RD.  
 WORTHINGTON, OH 43085  
 PAT O'DONOVAN  
 TEL: 614-436-6465  
 EMAIL: patodonovan@shirkodonovan.com



THE SHOPS ON EL PASEO  
 73-061 EL PASEO  
 PALM DESERT, CA 92260

REVISIONS:

**SHREMSHOCK**

Shremshock Engineering, Inc.  
 7775 Walton Parkway Ste. 250 New Albany, OH 43054  
 t: 614 545 4550 | f: 614 545 4555  
 info@shremshock.com  
 www.shremshock.com

**LOVESAC**  
 THE SHOPS ON EL PASEO  
 73-199 EL PASEO  
 SUITE C/D  
 PALM DESERT, CA 92260

**SITE PLAN**

THIS SHEET  
 IS FOR  
 REFERENCE  
 ONLY

©2024 THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

SAI # 240383

DRAWING NUMBER:

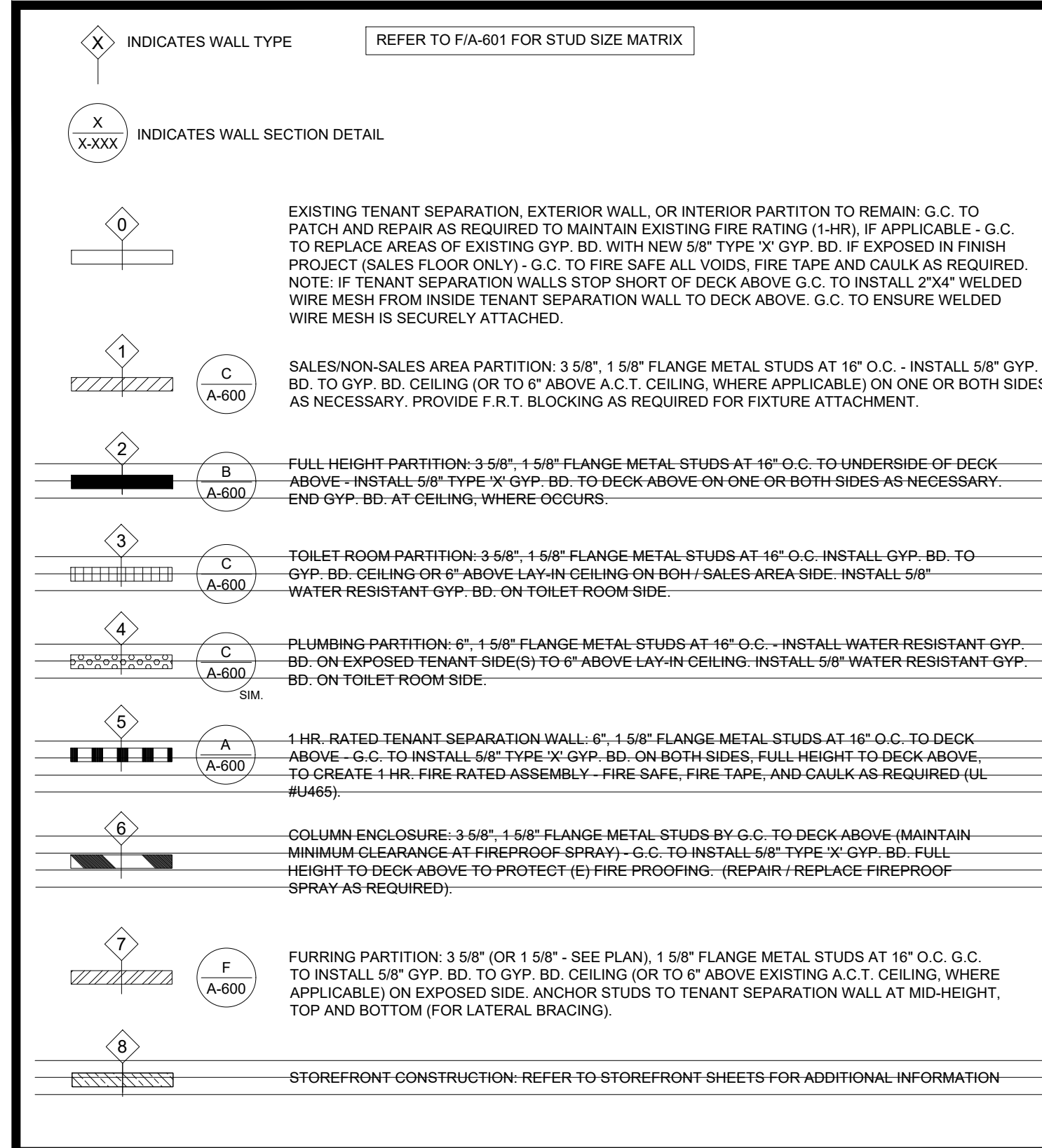
**G-006**

DRAWN BY: CLT CHECKED BY: RHW/JDS

DATE ISSUED: 01/16/2025

SITE PLAN

3/32" = 1'-0" A



**SCOPE OF CONSTRUCTION WORK TO INCLUDE:**

- STOREFRONT: REFER TO A-300 FOR SCOPE OF WORK AT STOREFRONT.
- FLOOR: INSTALLATION OF NEW FLOORING AS NOTED ON FINISH PLAN (SEE A-101).
- WALLS: CONSTRUCTION OF NEW INTERIOR DISPLAY/ENTRY WALLS (SEE A-300). CONSTRUCTION AND FURRING OF NEW INTERIOR WALLS AS SHOWN ON CONSTRUCTION PLAN. INSTALLATION OF WALL FINISHES AS NOTED ON FINISH PLAN (SEE A-101) AND INTERIOR ELEVATIONS.  
\*GC RESPONSIBLE FOR ENSURING SUFFICIENT FIRE-RATED BLOCKING IS INCLUDED AT ALL SHELVING AND WALL FIXTURE LOCATIONS AS SHOWN ON FIXTURE PLAN (SEE A-102)\*
- MILLWORK: INSTALLATION OF NEW WOOD DOOR(S) AS PER DOOR SCHEDULE AND AS SHOWN ON CONSTRUCTION PLAN. CONSTRUCTION OF FREESTANDING STAGE (FF/1) AT STOREFRONT DISPLAY. PROVIDE/INSTALL INTERIOR DOOR AND BASE TRIM AS SHOWN AT INTERIOR ELEVATIONS.
- CEILING: REFER TO RCP (SEE A-200) FOR SCOPE OF WORK AT CEILING.
- FLOOR SET: INSTALLATION/PLACEMENT OF INTERIOR FIXTURES AND FURNITURE AS SHOWN ON FIXTURE PLAN (SEE A-102).
- PROVIDE/INSTALL SERVICES AS FOLLOWS:
  - ELECTRICAL: REFER TO POWER PLANS (SEE A-103 AND A-201) AND ELECTRICAL SHEETS FOR ELECTRICAL SCOPE OF WORK.
  - HVAC: REFER TO RCP (SEE A-200) AND MECHANICAL SHEETS FOR HVAC SCOPE OF WORK.
  - SPRINKLERS/FIRE ALARM: REFER TO RCP (SEE A-200) FOR SPRINKLERS/FIRE ALARM SCOPE OF WORK.
- THE OWNER'S REPRESENTATIVE IS AUTHORIZED TO INSPECT THE QUALITY AND ACCEPTABILITY OF INSTALLATION, WORKMANSHIP, AND FINISHES.

**PARTITION TYPES**

**R CONSTRUCTION SCOPE OF WORK L**

**DOOR SCHEDULE**

KEY	LOCATION	SIZE	TYPE	FRAME	DOOR	HDWR	REMARKS
1	ENTRANCE (N.I.C.)	PR. 3'-0" x 8'-0"	A	ALUM.	ALUM. / GLASS	1	DOOR AND HARDWARE BY LANDLORD. G.C. TO CONFIRM REQUIREMENTS WITH LOVESAC'S P.M.
2	STORAGE	3'-0" x 7'-0"	B	HM	FLUSH SOLID CORE WOOD DOOR	2	PAINT DOOR P/2
3	TOILET ROOM	3'-0" x 7'-0"	B	HM	FLUSH SOLID CORE WOOD DOOR	3	PAINT DOOR P/3. DOOR AND HARDWARE BY LANDLORD. G.C. TO CONFIRM REQUIREMENTS WITH LOVESAC'S P.M.
4	DISPLAY ACCESS	2'-6" x 2'-6"	C	NONE	3/4" TEMPERED GLASS	4	VERIFY WIDTH IN FIELD PRIOR TO FABRICATION
5	REAR EXIT	3'-0" x 7'-0"	D	E.T.R.	E.T.R.	5	EXISTING TO REMAIN

**HARDWARE SETS**

HARDWARE SET #1 - EXISTING HARDWARE TO REMAIN; REPLACE IN KIND IF NECESSARY. LOCK TO BE COORDINATED WITH DOOR MFR AND MUST ACCEPT BEST INTERCHANGEABLE CORE (SEE NOTE 4).

HARDWARE SET #2  
 HINGES - STANLEY SELF-CLOSING SPRING SATIN CHROME HINGES (OR EQUAL); 3 PER DOOR  
 LOCKSET - SCHLAGE J-SERIES 'DOVER' J10-D0V-630 SATIN CHROME NON-LOCKING LEVER (OR EQUAL)  
 KICK PLATE - ROCKWOOD K4125 8" HIGH X 3/4" THICK X DOOR WIDTH LESS 2" CLEAR PLEXI KICK PLATE (OR EQUAL); INSTALL AT PUSH SIDE  
 SILENCERS - IVES SR84 DOOR SILENCER (OR EQUAL); 3 PER DOOR  
 CLOSER - SEE 'HINGES' - DOOR TO HAVE SELF-CLOSING SPRING HINGES

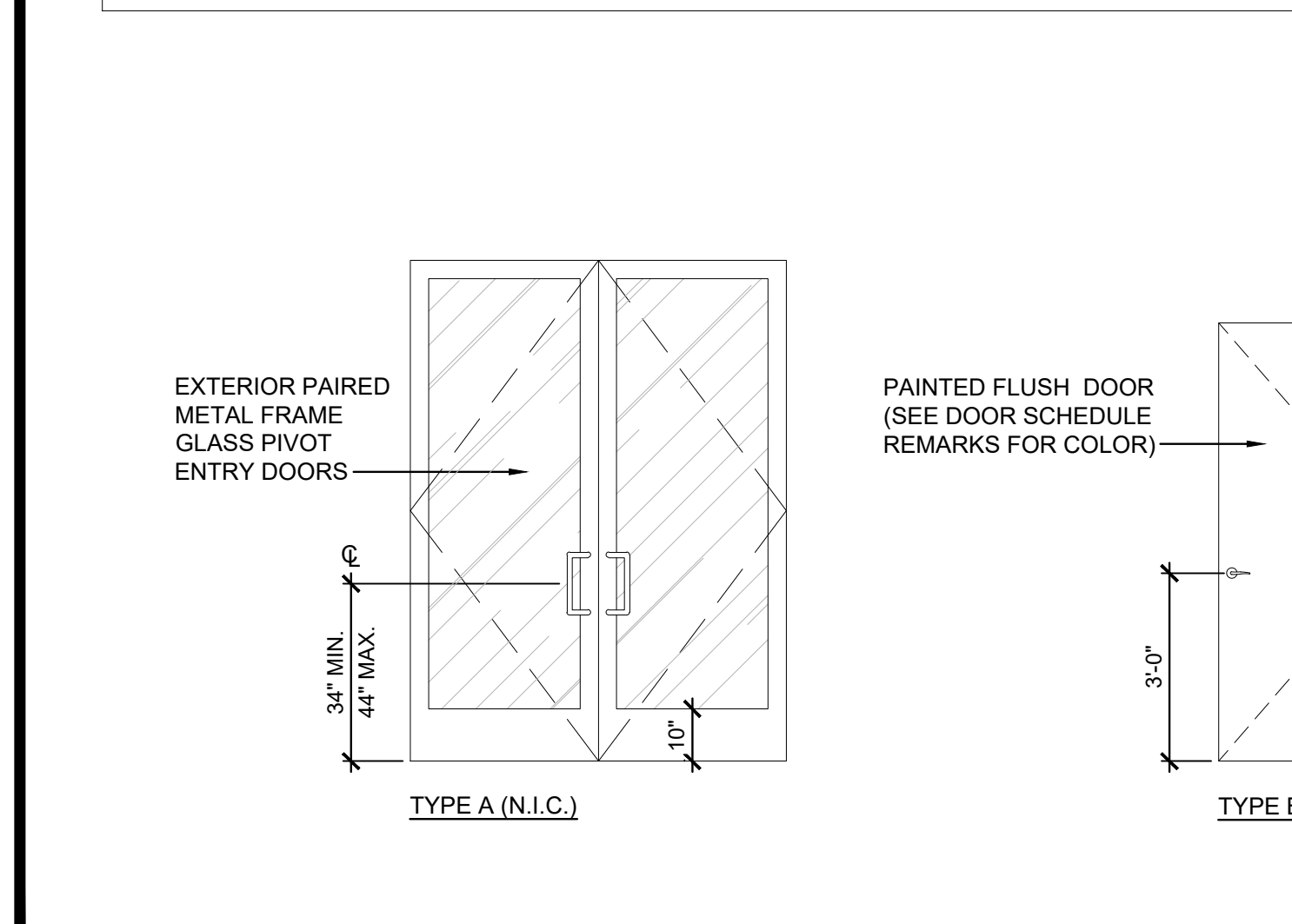
HARDWARE SET #3  
 HINGES - STANLEY 179 SATIN CHROME HINGES (OR EQUAL); 3 PER DOOR  
 LOCKSET - SCHLAGE J-SERIES 'DOVER' J40D0V630 SATIN STAINLESS STEEL PRIVACY LEVER (OR EQUAL)  
 WALL STOP - IVES WS404CVX SATIN CHROME WALL STOP (OR EQUAL)  
 SILENCERS - IVES SR84 DOOR SILENCER (OR EQUAL); 3 PER DOOR

HARDWARE SET #4 - CR LAWRENCE #SWM18N STAINLESS STEEL WALL-MOUNT FULL BACK PLATE SQUARE CORNER HINGE (OR EQUAL); 2 MIN. OR PER MANUFACTURER'S RECOMMENDATIONS. BOTTOM RAIL TO MATCH ADJACENT KNEE WALL GLAZING SHOE, WITH THUMB TURN LOCK AT SALES FLOOR SIDE AT FLOOR

HARDWARE SET #5 - EXISTING HARDWARE TO REMAIN; REPLACE IN KIND IF NECESSARY

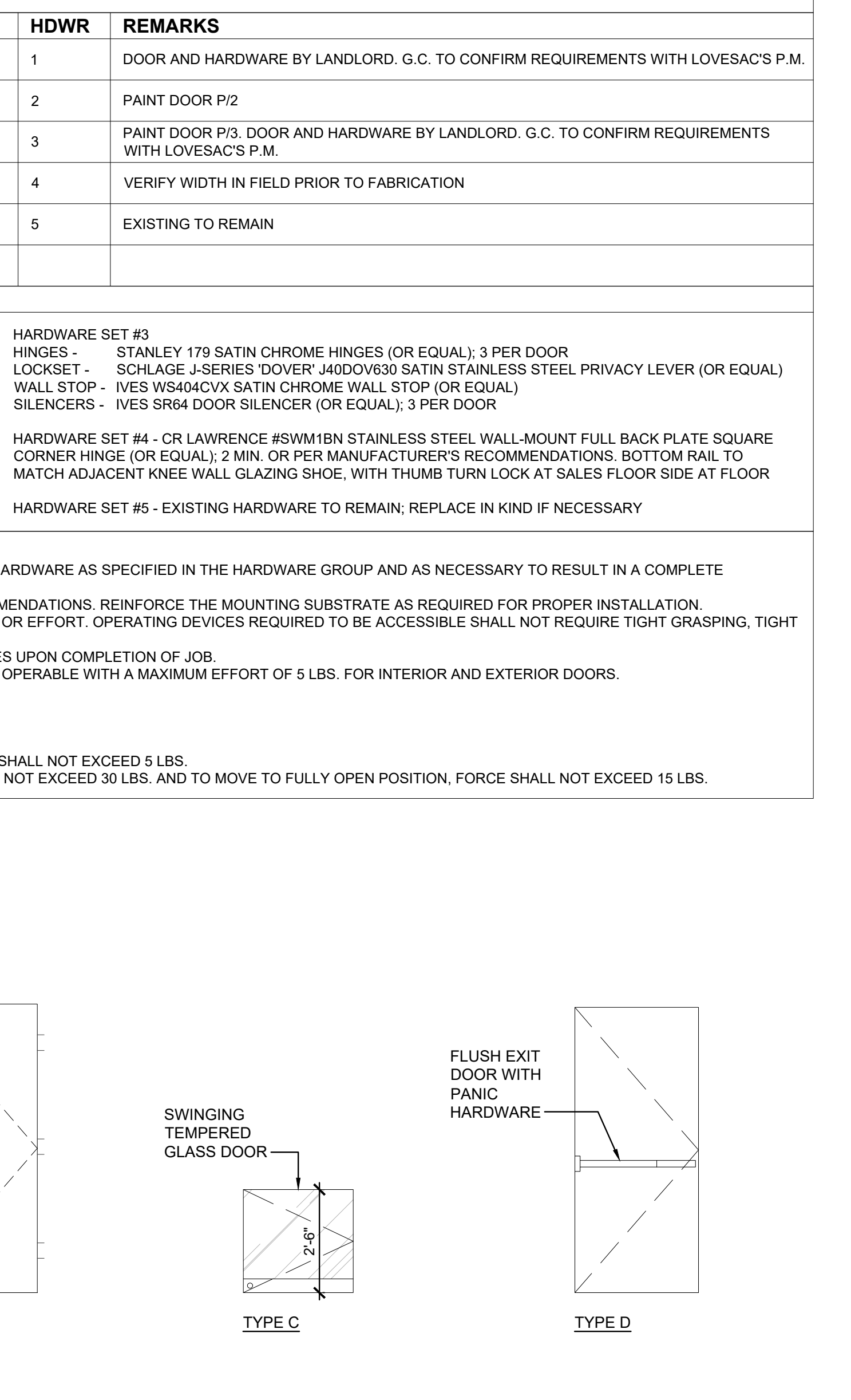
**DOOR SCHEDULE NOTES**

- ALL HARDWARE SHALL BE FURNISHED AND INSTALLED BY G.C. UNLESS OTHERWISE NOTED. FURNISH ALL HARDWARE AS SPECIFIED IN THE HARDWARE GROUP AND AS NECESSARY TO RESULT IN A COMPLETE INSTALLATION.
- G.C. RESPONSIBLE TO SIZE AND MOUNT HARDWARE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. REINFORCE THE MOUNTING SUBSTRATE AS REQUIRED FOR PROPER INSTALLATION.
- ALL NEW EGRESS HARDWARE SHALL BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT. OPERATING DEVICES REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST.
- G.C. TO COORDINATE RE-KEYING OF CYLINDER LOCKS AT PERIMETER DOOR(S) WITH NEW BEST 7-PIN CORES UPON COMPLETION OF JOB.
- DOOR HARDWARE TO BE MOUNTED 43" TO 48" (34" TO 44" IN CALIFORNIA) ABOVE THE FLOOR AND SHALL BE OPERABLE WITH A MAXIMUM EFFORT OF 5 LBS. FOR INTERIOR AND EXTERIOR DOORS.
- FORCE REQUIRED TO UNLATCH DOORS:
  - PUSH/PULL HARDWARE - OPERATIONAL FORCE SHALL NOT EXCEED 15 LBS.
  - DOOR OPERATES BY ROTATION - OPERATIONAL FORCE SHALL NOT EXCEED 28 IN-LBS.
- FORCE REQUIRED TO OPEN DOORS:
  - INTERIOR SWINGING DOORS, OTHER THAN FIRE-RATED DOORS - FOR PULLING/PUSHING OPEN, FORCE SHALL NOT EXCEED 5 LBS.
  - OTHER SWINGING/SLIDING/FOLDING AND FIRE-RATED DOORS - TO SET DOOR IN MOTION, FORCE SHALL NOT EXCEED 30 LBS. AND TO MOVE TO FULLY OPEN POSITION, FORCE SHALL NOT EXCEED 15 LBS.

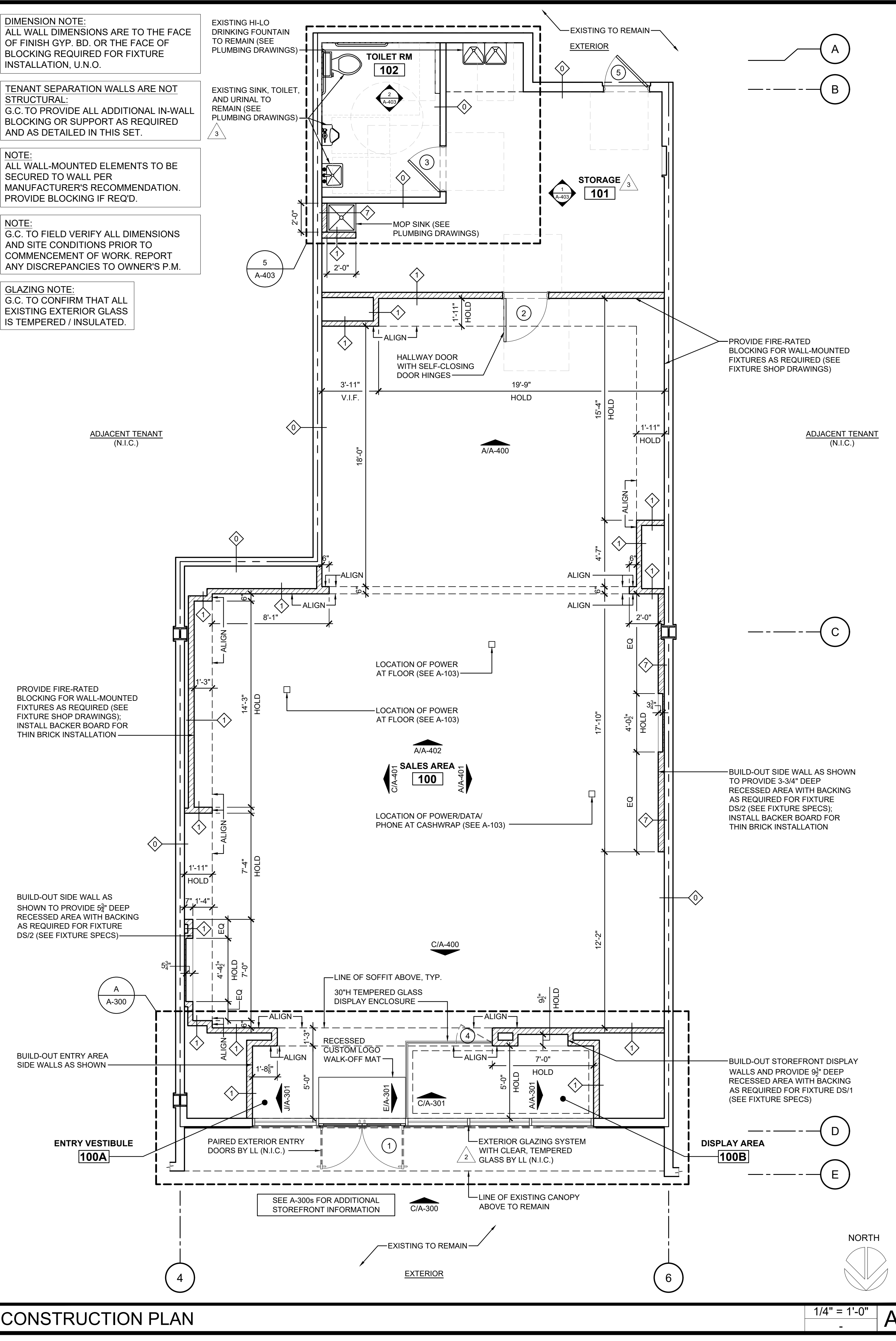


**DOOR SCHEDULE & TYPES**

**CONSTRUCTION PLAN**



**CONSTRUCTION PLAN**



**CONSTRUCTION PLAN**

**SHREMSHOCK**  
 Shremshock Architects, Inc.  
 7775 Walton Parkway Ste. 250 New Albany, OH 43054  
 t: 614 545-4550 | f: 614 545-4555  
 info@shremshock.com www.shremshock.com

**LOVESAC**  
 THE SHOPS ON EL PASEO  
 73-199 EL PASEO SUITE C/D  
 PALM DESERT, CA 92260

REVISIONS:  
 1. 11/19/2024 ALL COMMENTS  
 2. 12/19/2024 ALL COMMENTS  
 3. 01/09/2025 ALL COMMENTS

DATE ISSUED: 09/25/2024

CONSTRUCTION PLAN & DOOR SCHEDULE

NOT FOR CONSTRUCTION

SAI # 240383  
 DRAWING NUMBER: A-100

CHECKED BY: RHW/JDS  
 DRAWN BY: CLT

1/4" = 1'-0"



**NOTES**

SCOPE OF WORK TO INCLUDE:

- CONSTRUCTION: INSTALLATION OF NEW INTERIOR DISPLAY/ENTRY WALLS FRAMING AS SHOWN.
- FINISHES: INSTALLATION OF STOREFRONT FINISHES AS NOTED. INSTALLATION OF INTERIOR DISPLAY/ENTRY FINISHES AS NOTED (SEE A600 FOR FINISH SCHEDULE). NO TENANT FINISHES TO PROJECT BEYOND LEASE LINE. ANY FINISHES TO REMAIN TO BE RESTORED TO 'LIKE NEW' CONDITION.
- SIGNAGE: INSTALLATION OF HALO LIT CHANNEL LETTER SIGNAGE. INSTALLATION OF BLADE SIGN AT STOREFRONT. INSTALLATION OF WALL-MOUNTED ACRYLIC LOGO LETTERS AT ENTRY VESTIBULE.
- STOREFRONT FIXTURES:
  - CONSTRUCTION/INSTALLATION OF FREESTANDING DISPLAY STAGE (FF/1).
  - INSTALLATION OF DISPLAY AREA VIDEO SCREEN(S) (DS/1).
  - INSTALLATION OF DISPLAY AREA GRAPHIC FRAME (GF/1).

**STRUCTURAL NOTES**

FOR FRAMING SIZE, GAUGE, AND CONFIGURATION, REFER TO STRUCTURAL DRAWINGS.

**IMPORTANT NOTE REGARDING TILE INSTALLATION:**

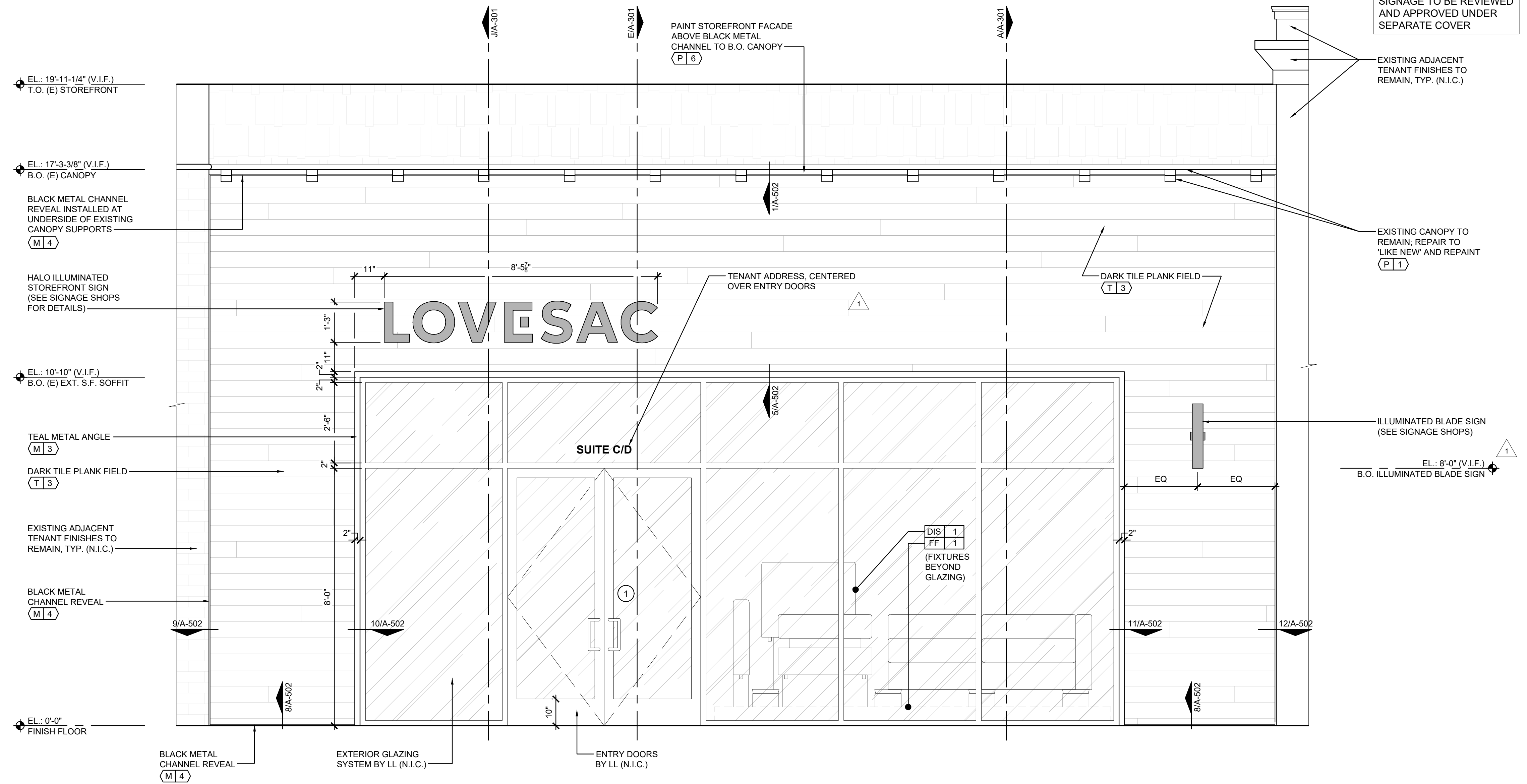
PER CBC 2022 SECTION 1404.10.2, PORCELAIN TILE WEIGHING MORE THAN 3.5 POUNDS PER SQUARE FOOT SHALL NOT EXCEED 48 INCHES IN ANY FACE DIMENSION NOR MORE THAN 9 SQUARE FEET IN TOTAL FACE AREA AND SHALL NOT WEIGH MORE THAN 6 POUNDS PER SQUARE FOOT. ADHERED UNITS WEIGHING LESS THAN OR EQUAL TO 3.5 POUNDS PER SQUARE FOOT SHALL NOT EXCEED 72 INCHES IN ANY FACE DIMENSION NOR MORE THAN 17.5 SQUARE FEET IN TOTAL FACE AREA. PORCELAIN TILE SHALL BE ADHERED TO AN APPROVED BACKING SYSTEM AND INSTALLED PER TILE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.

**GLAZING NOTES:**  
 1. ALL EXISTING EXTERIOR GLASS TO BE INSULATED, TEMPERED, G.C. TO CONFIRM.  
 2. U.V. FILM AT INTERIOR SIDE OF GLAZING.

**NOTE:**  
 VERIFY THAT EXISTING SIDEWALK SLOPES AWAY FROM STOREFRONT (1/8" MIN. / 1/4" MAX.) AT ENTRY. IF EXISTING CONDITION DOES NOT CONFORM WITH THIS REQUIREMENT, NOTIFY THE ARCHITECT IMMEDIATELY.

**NOTES**

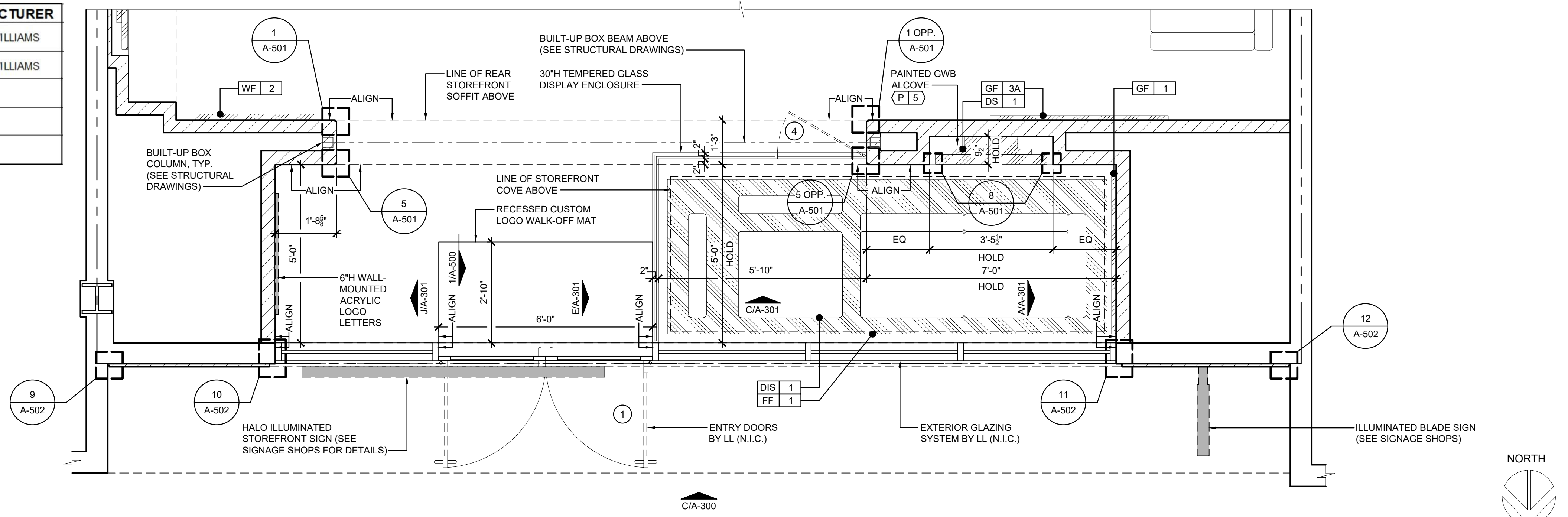
- SEE SHEET A-600 FOR DIAGONAL BRACING DETAILS.
- SEE SHEET A-601 FOR FRAMING DETAILS.



**STOREFRONT ELEVATION**

1/2" = 1'-0" C

KEY	FINISH / MATERIAL	COLOR / STYLE	FINISH	MANUFACTURER
P 1	2 COATS PAINT - OVER 1 COAT SW ALL PURPOSE LATEX PRIMER	SW SNOWBOUND 7004	WALL/TRIM - EGG SHELL CEILING - FLAT	SHERWIN WILLIAMS
P 6	2 COATS PAINT - OVER 1 COAT SW ALL PURPOSE LATEX PRIMER	SW STURDY BROWN 6097	WALL/TRIM - EGG SHELL CEILING - FLAT	SHERWIN WILLIAMS
M 3	POWDERCOATED METAL	SW SPLASHY 6942	POWDERCOATED	---
M 4	POWDERCOATED METAL	BLACK	POWDERCOATED	---
T 3	6" X 36" X 3/4" DARK COLOR WOOD GRAIN PLANK PORCELAIN TILE	CREEKWOOD LOVT3 WALNUT 0700	LATICRETE #80 (DUSTY GREY)	PATCRAFT



**STOREFRONT PLAN**

1/2" = 1'-0" A

REVISIONS:  
 1. 11/19/2024  
 2. 12/19/2024  
 DATE ISSUED: 09/26/2024

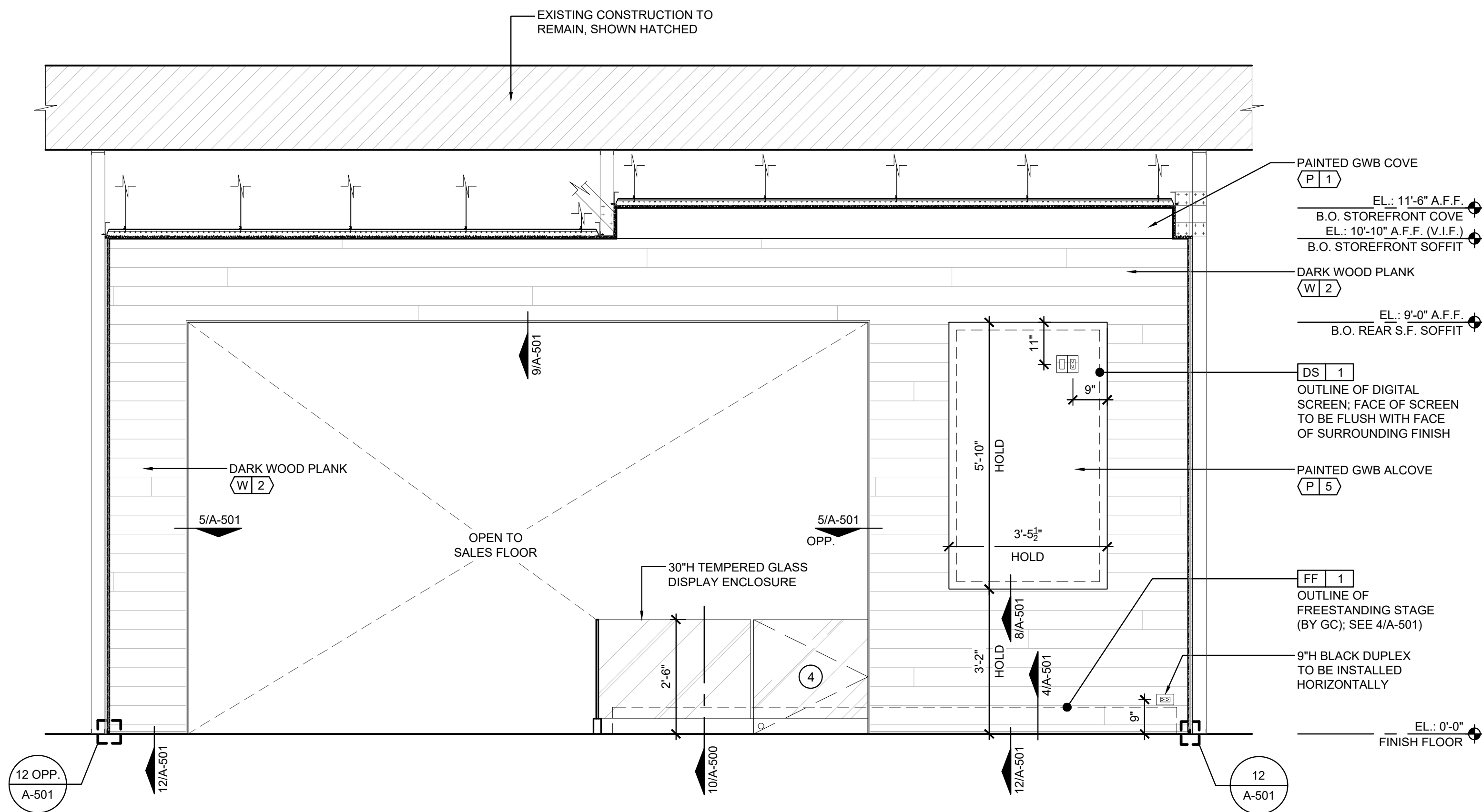
**SHREMSHOCK**  
 Shremshock Architects, Inc.  
 7775 Walton Parkway Ste. 250 New Albany, OH 43054  
 t: 614.545.4550 | f: 614.545.4555  
 info@shremshock.com  
 www.shremshock.com

**LOVESAC**  
 THE SHOPS ON EL PASEO  
 73-199 EL PASEO  
 SUITE C/D  
 PALM DESERT, CA 92260

**STOREFRONT PLAN & ELEVATION**  
 DRAWN BY: CLT  
 CHECKED BY: RHW/JDS

**NOT FOR CONSTRUCTION**  
 2024 THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.  
 SAI # 240383  
 DRAWING NUMBER: **A-300**

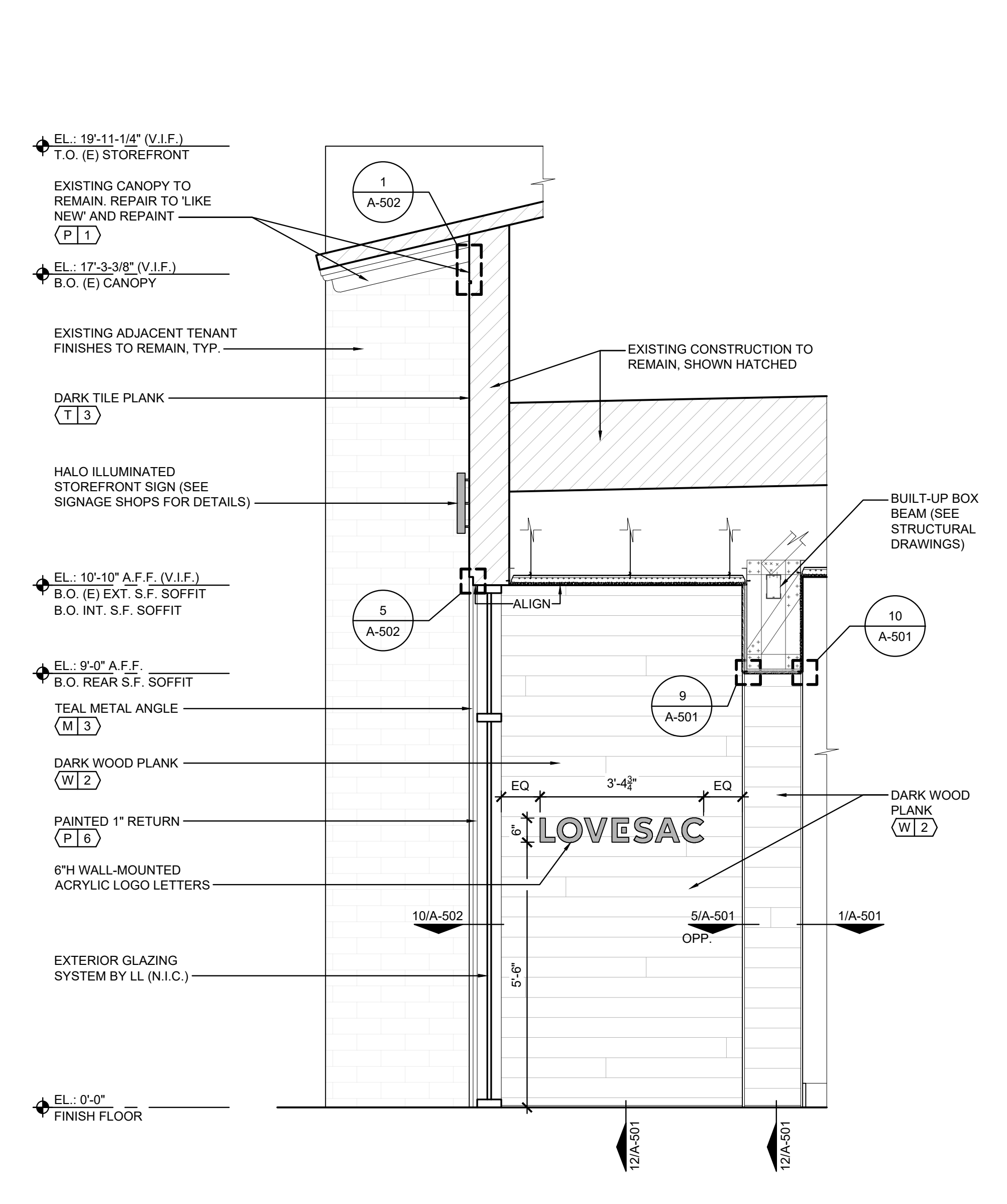




- NOTES**
- SEE SHEET A-600 FOR DIAGONAL BRACING DETAILS.
  - SEE SHEET A-601 FOR FRAMING DETAILS.
- GLAZING NOTES:**
- ALL EXISTING EXTERIOR GLASS TO BE INSULATED, TEMPERED, G.C. TO CONFIRM.
  - UV FILM AT INTERIOR SIDE OF GLAZING.
- NOTE:**
- VERIFY THAT EXISTING SIDEWALK SLOPES AWAY FROM STOREFRONT (1/8" MIN. / 1/4" MAX.) AT ENTRY. IF EXISTING CONDITION DOES NOT CONFORM WITH THIS REQUIREMENT, NOTIFY THE ARCHITECT IMMEDIATELY.
- SIGNAGE TO BE REVIEWED AND APPROVED UNDER SEPARATE COVER

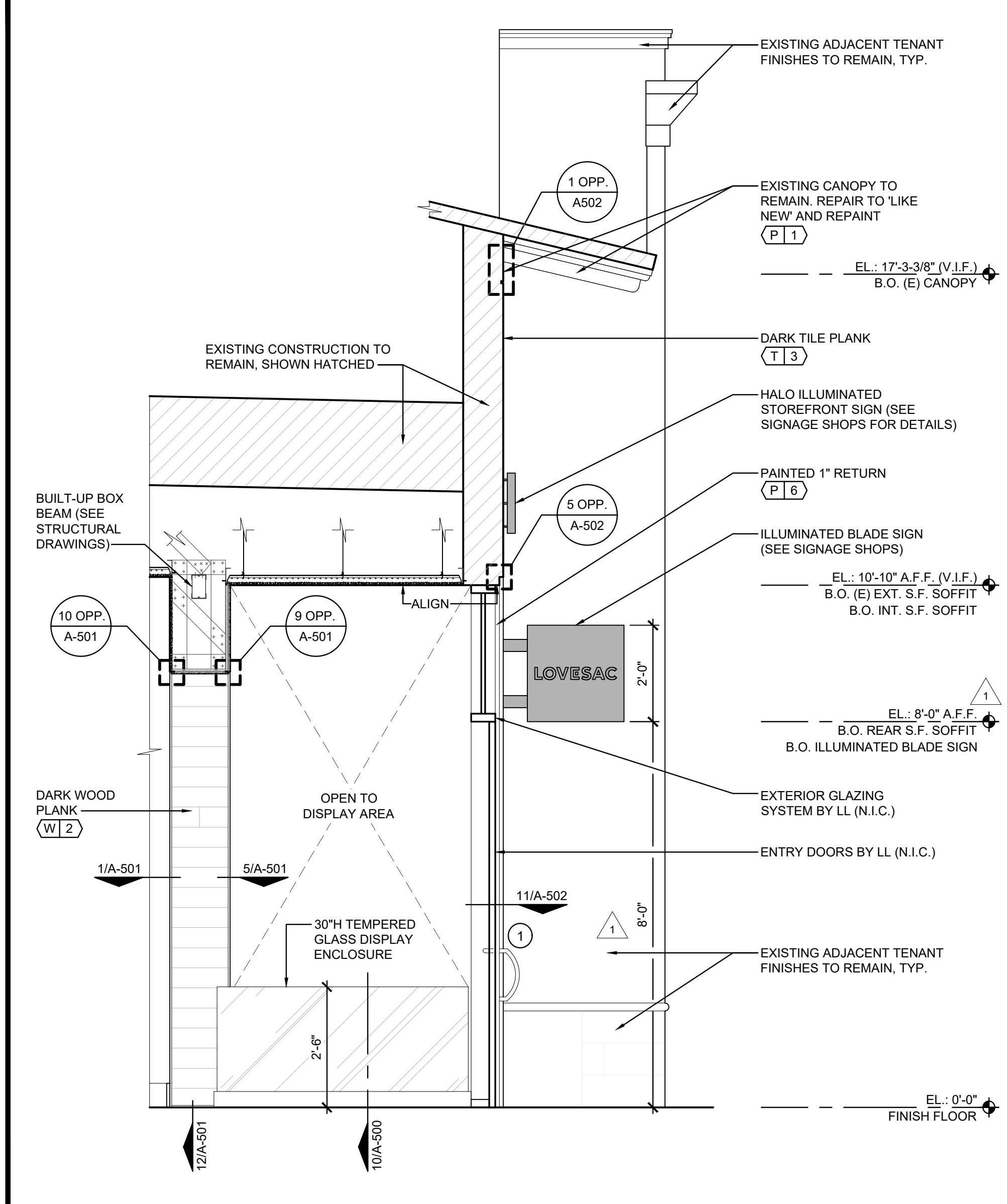
STOREFRONT SECTION - DISPLAY AREA REAR WALL

1/2" = 1'-0" C



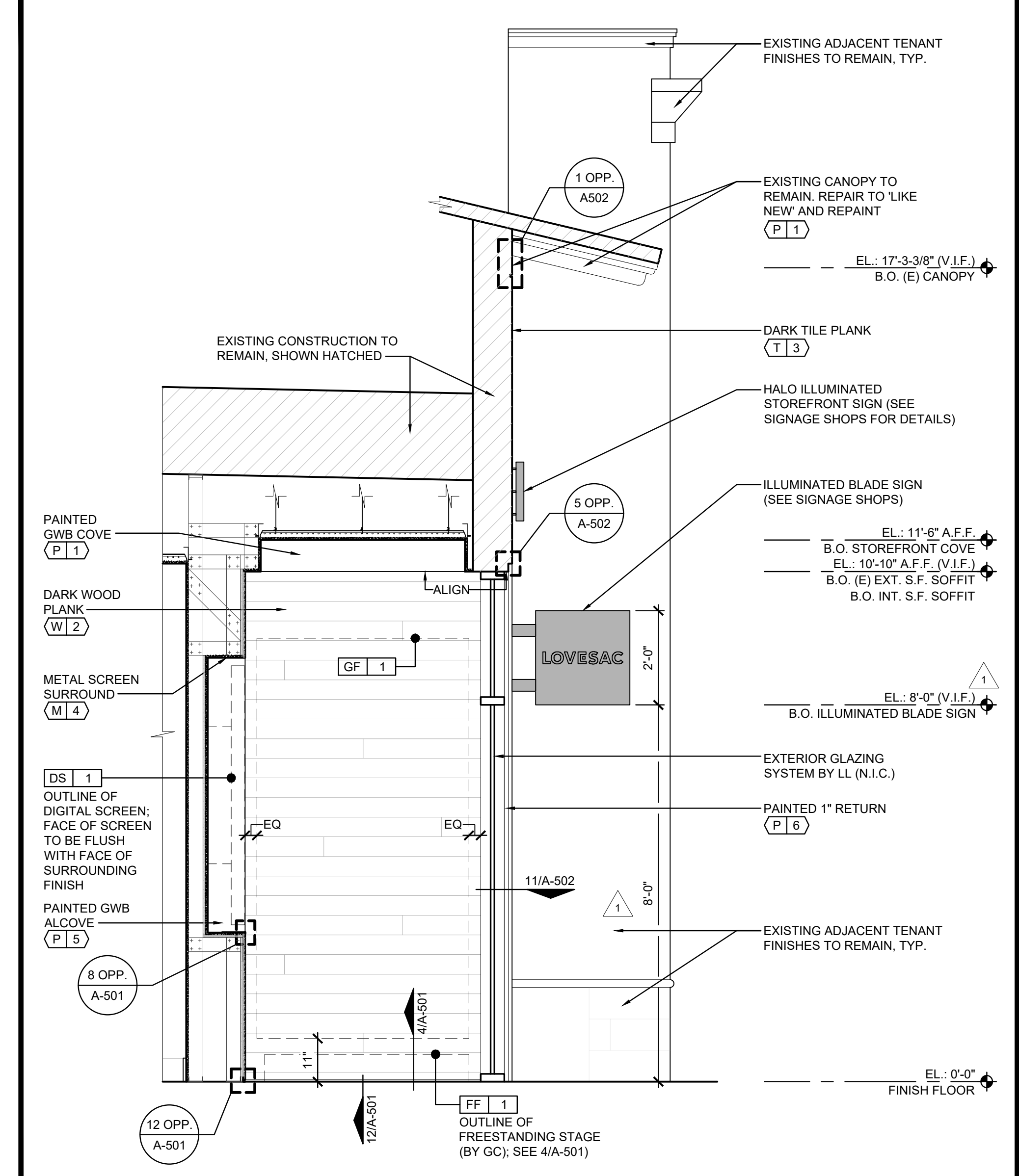
STOREFRONT SECTION - SIDE WALL AT ENTRY

1/2" = 1'-0" J



STOREFRONT SECTION - SIDE OF DISPLAY ENCLOSURE

1/2" = 1'-0" E



STOREFRONT SECTION - SIDE WALL AT DISPLAY AREA

1/2" = 1'-0" A

**REVISIONS:**

1	BD ALL COMMENTS	11/19/2024
2	LL COMMENTS	12/19/2024

**DATE ISSUED:** 09/26/2024

**SHREMSHOCK**

Shremshock Architects, Inc.  
7775 Walton Parkway Ste. 250 New Albany, OH 43054  
t: 614 545 4550 | f: 614 545 4555  
info@shremshock.com  
www.shremshock.com

Gerald S. Shremshock, Architect  
Joel D. Sigler, Architect

**LOVESAC**

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STOREFRONT SECTIONS

CHECKED BY: RHW/JDS

DRAWN BY: CLT

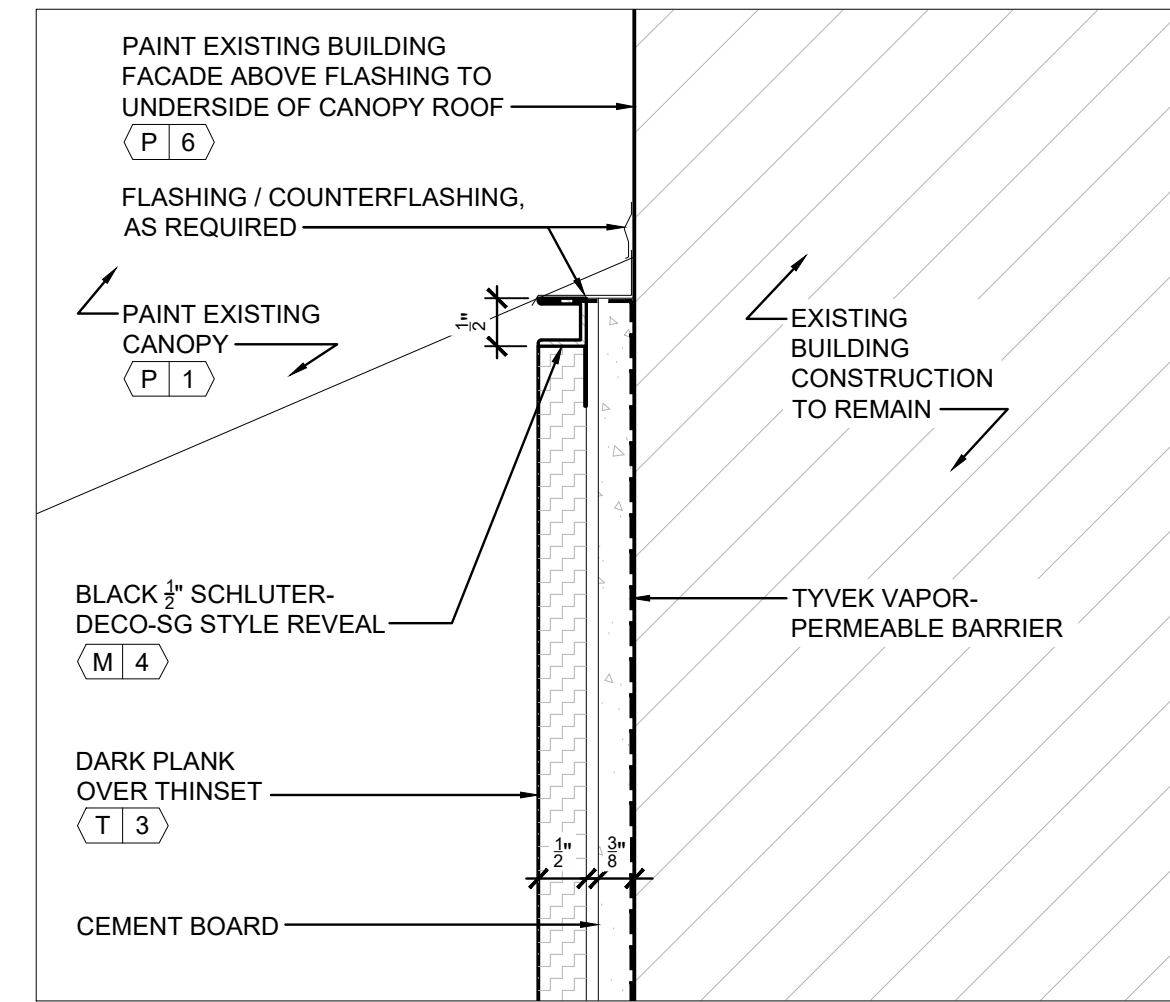
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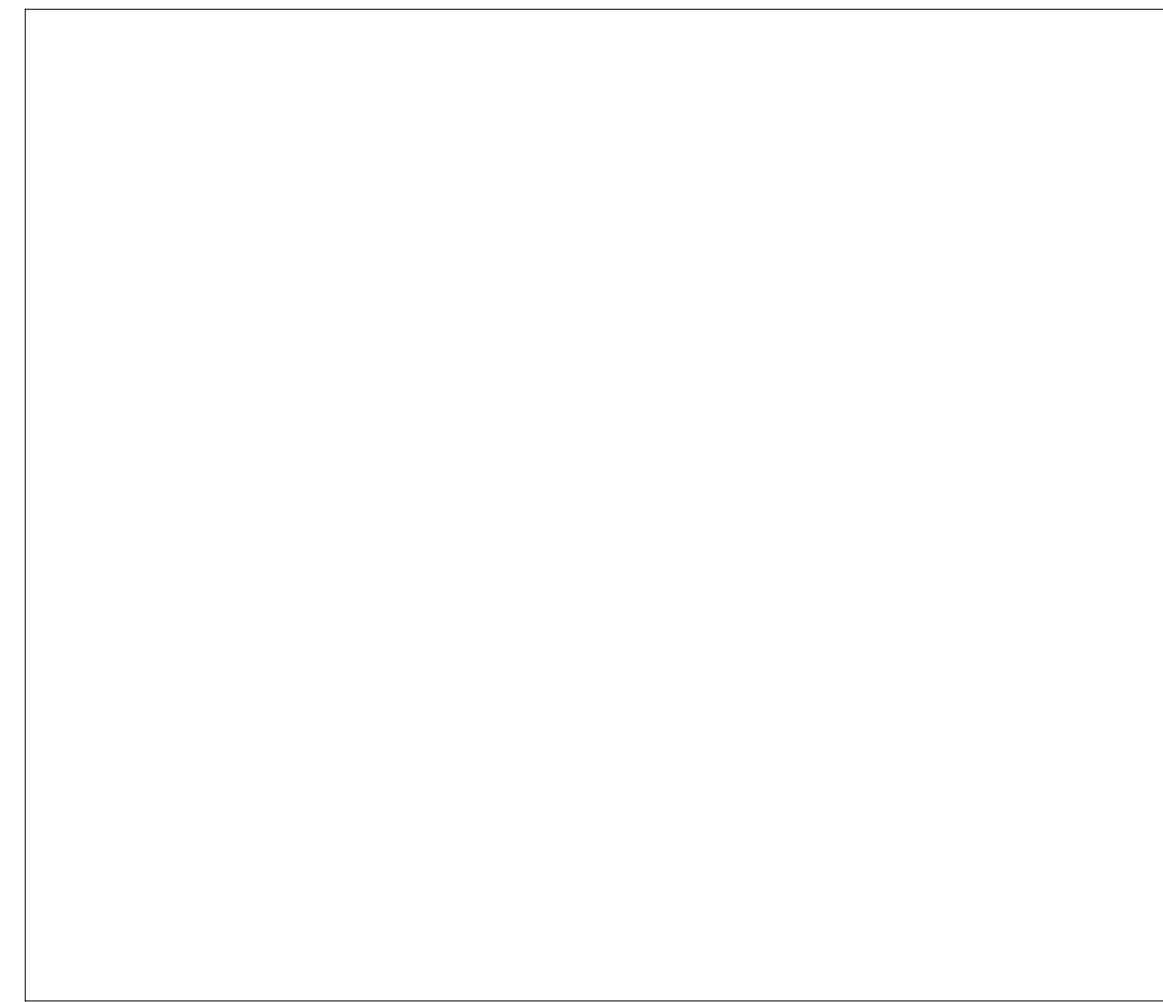
SAI # 240383

DRAWING NUMBER: **A-301**

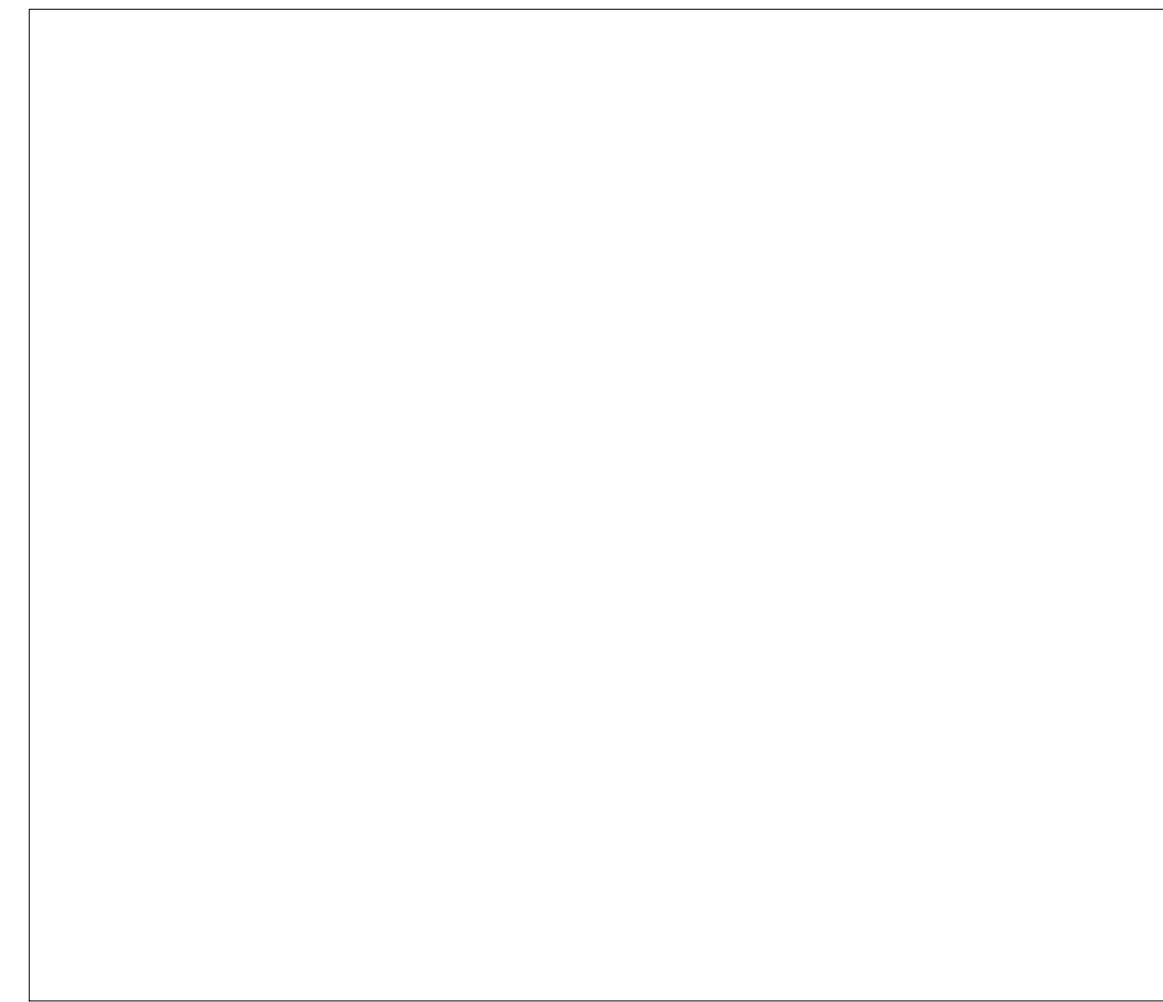
ALL PLYWOOD SHEATHING TO BE FIRE RETARDANT TREATED (F.R.T.)



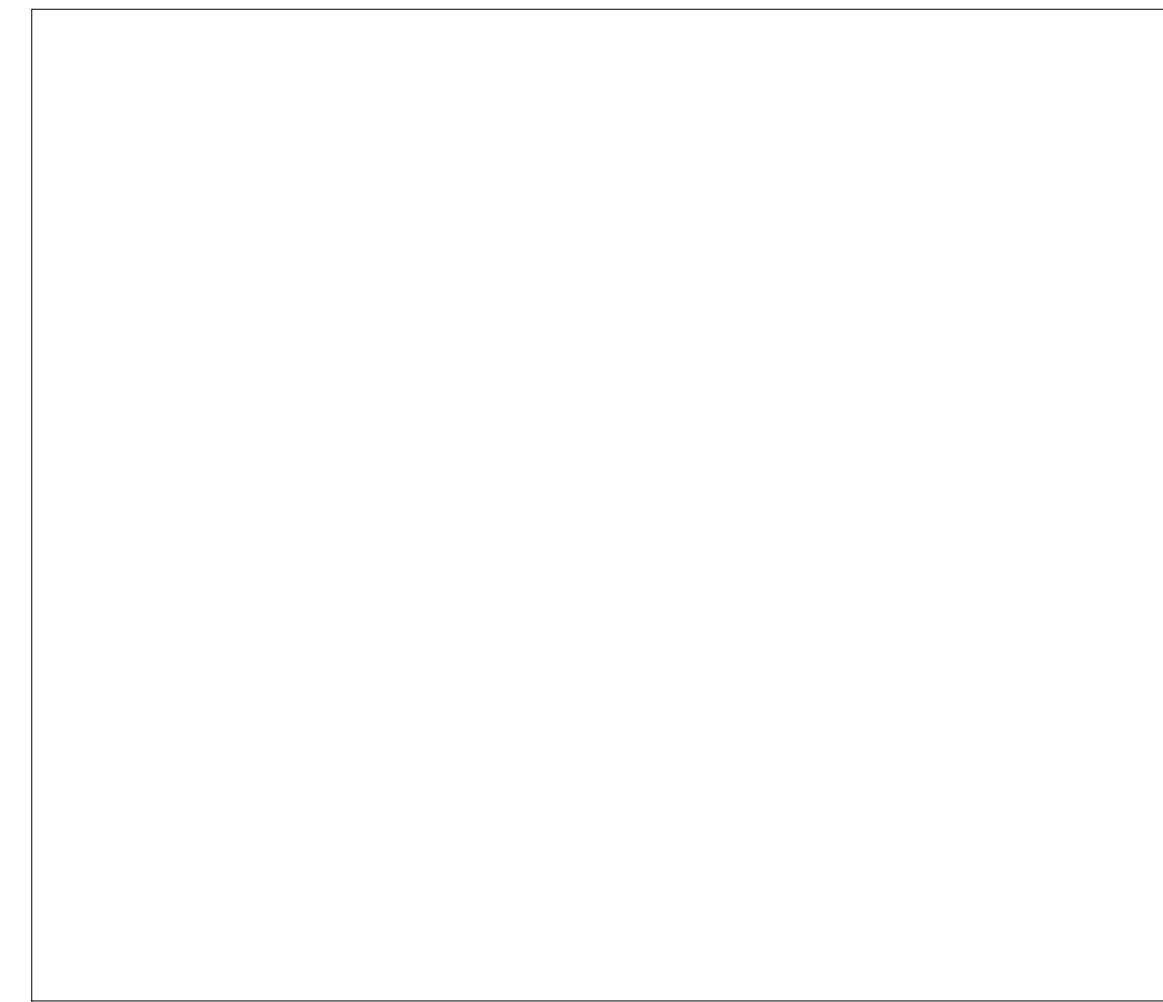
1 SECTION AT TOP OF STOREFRONT  
A-502 SCALE: 6"=1'-0"



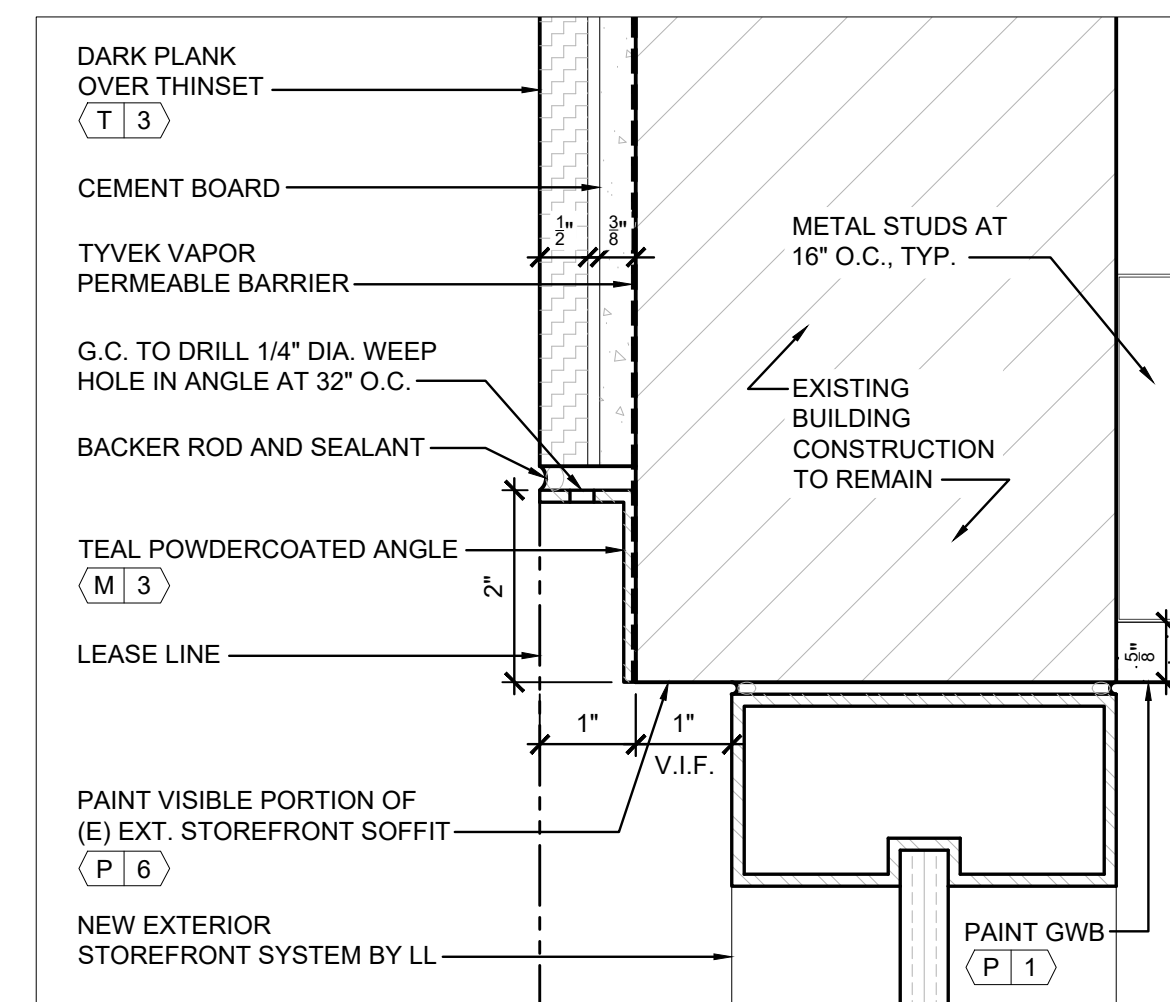
2 NOT USED  
A-502 SCALE: -



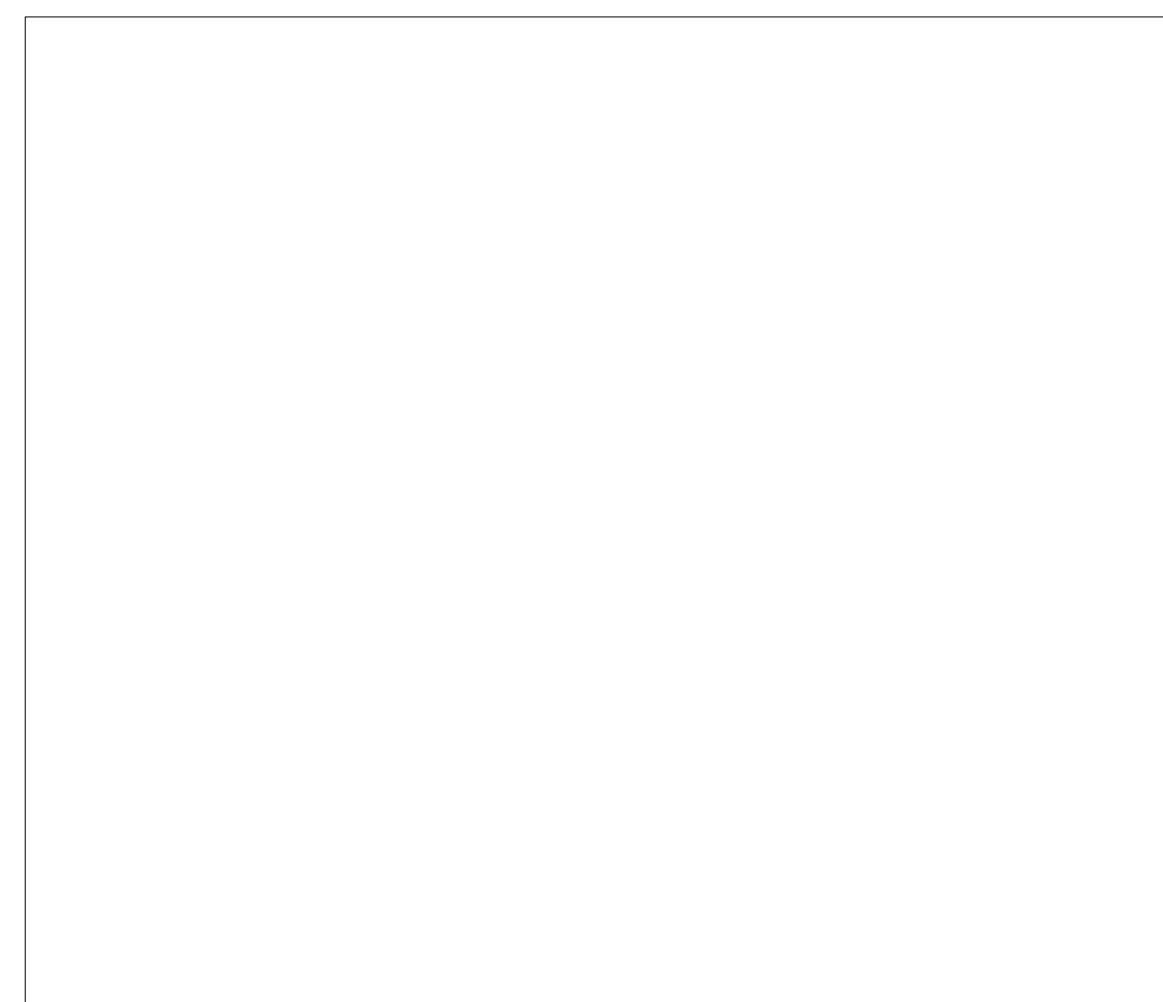
3 NOT USED  
A-502 SCALE: -



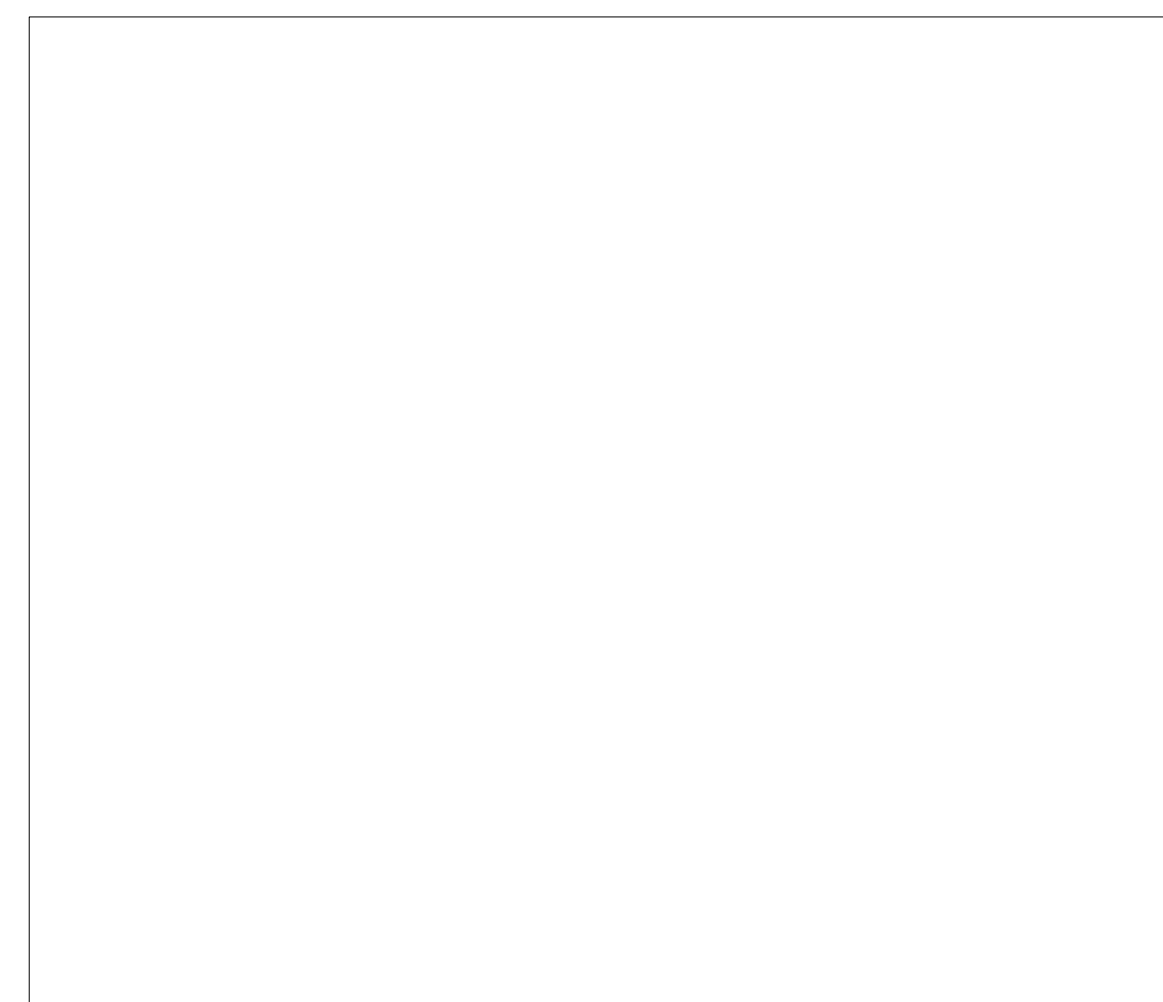
4 NOT USED  
A-502 SCALE: -



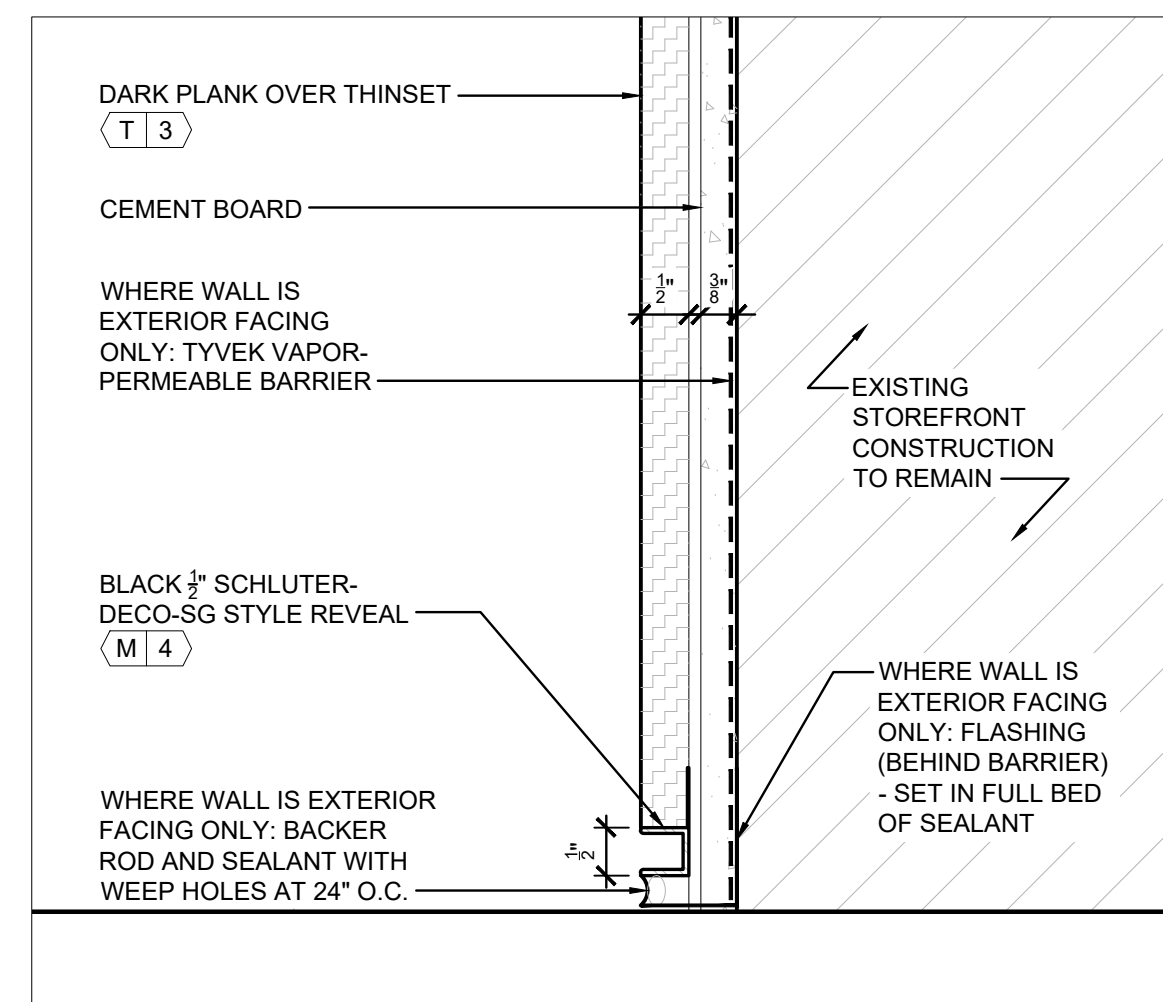
5 SECTION AT TOP TEAL ANGLE  
A-502 SCALE: 6"=1'-0"



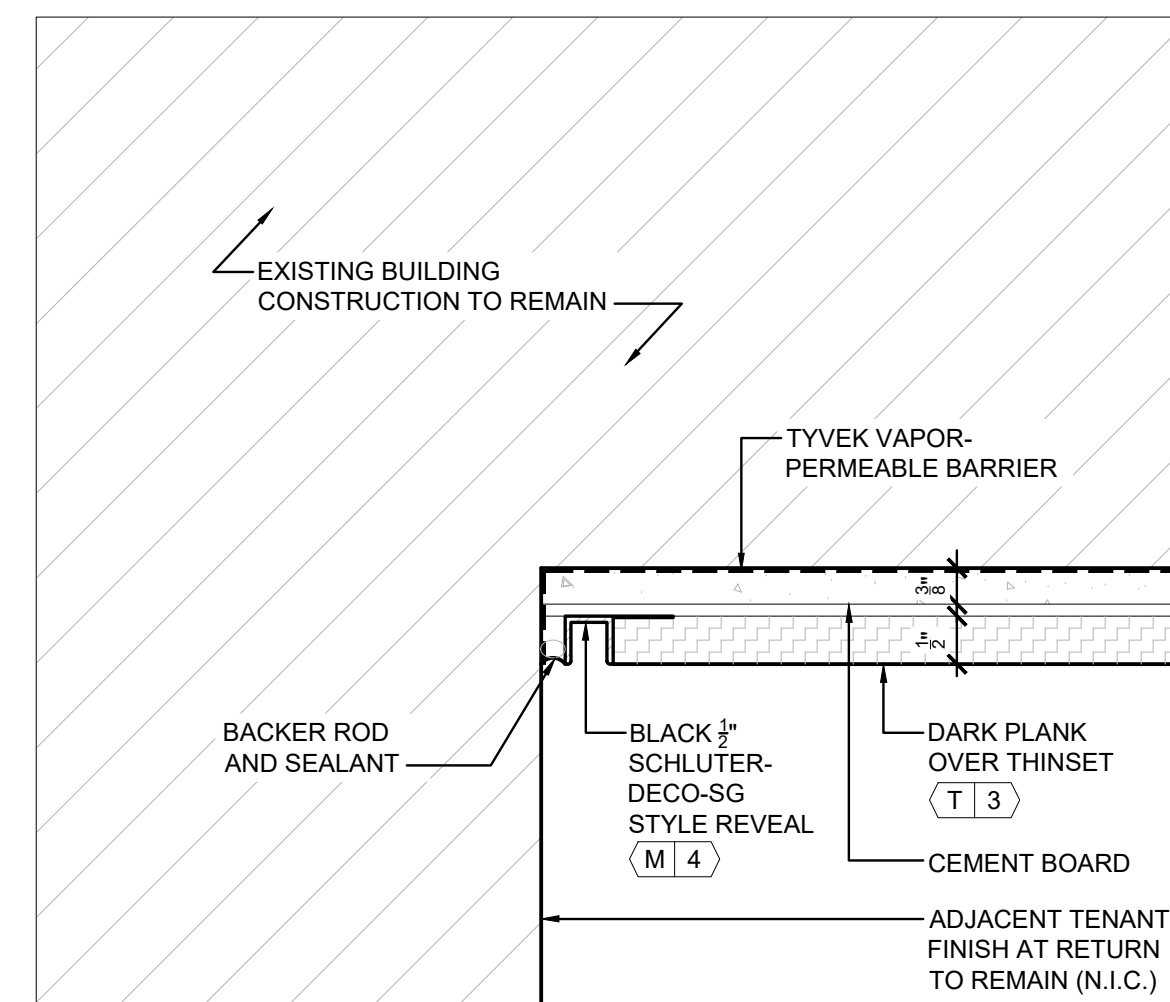
6 NOT USED  
A-502 SCALE: -



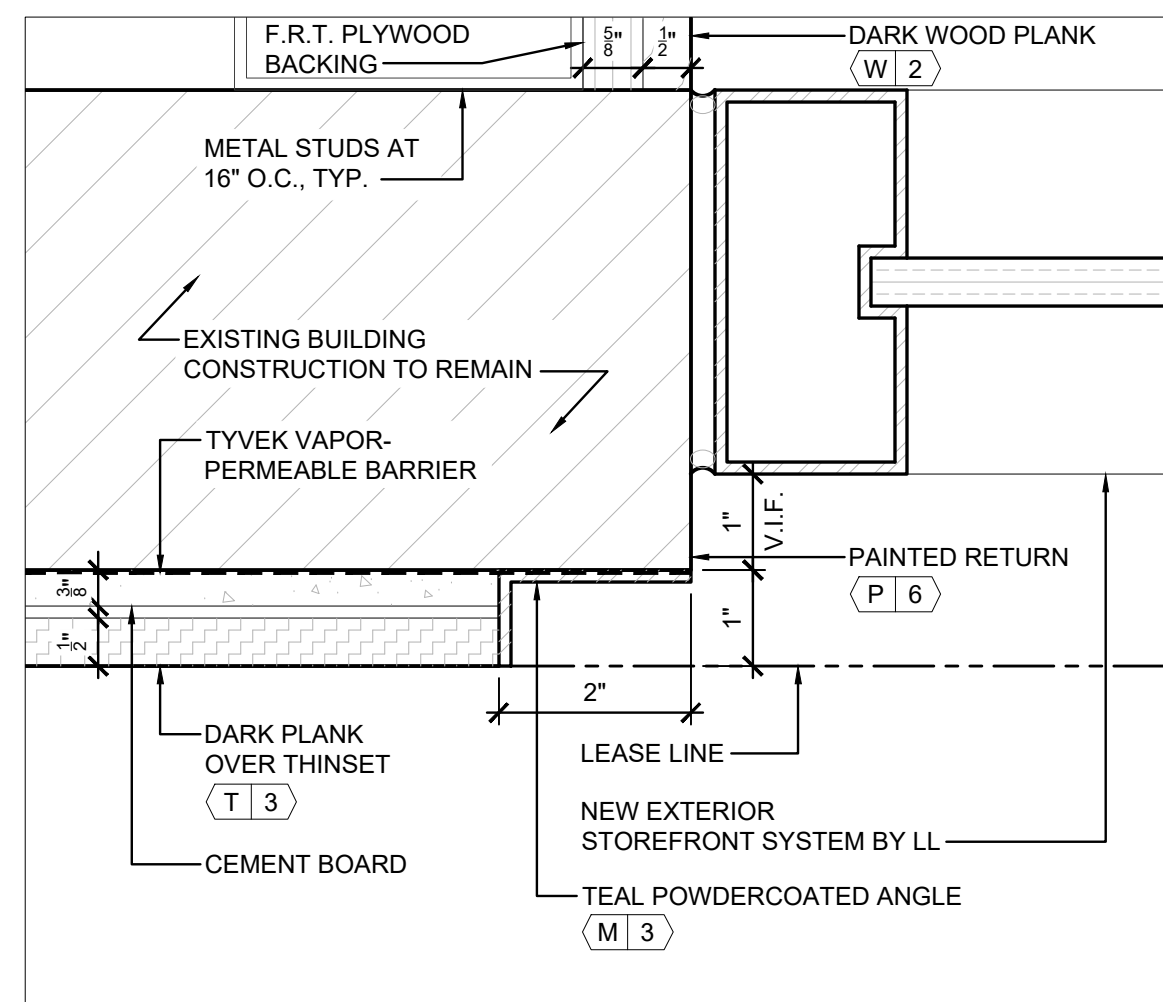
7 NOT USED  
A-502 SCALE: -



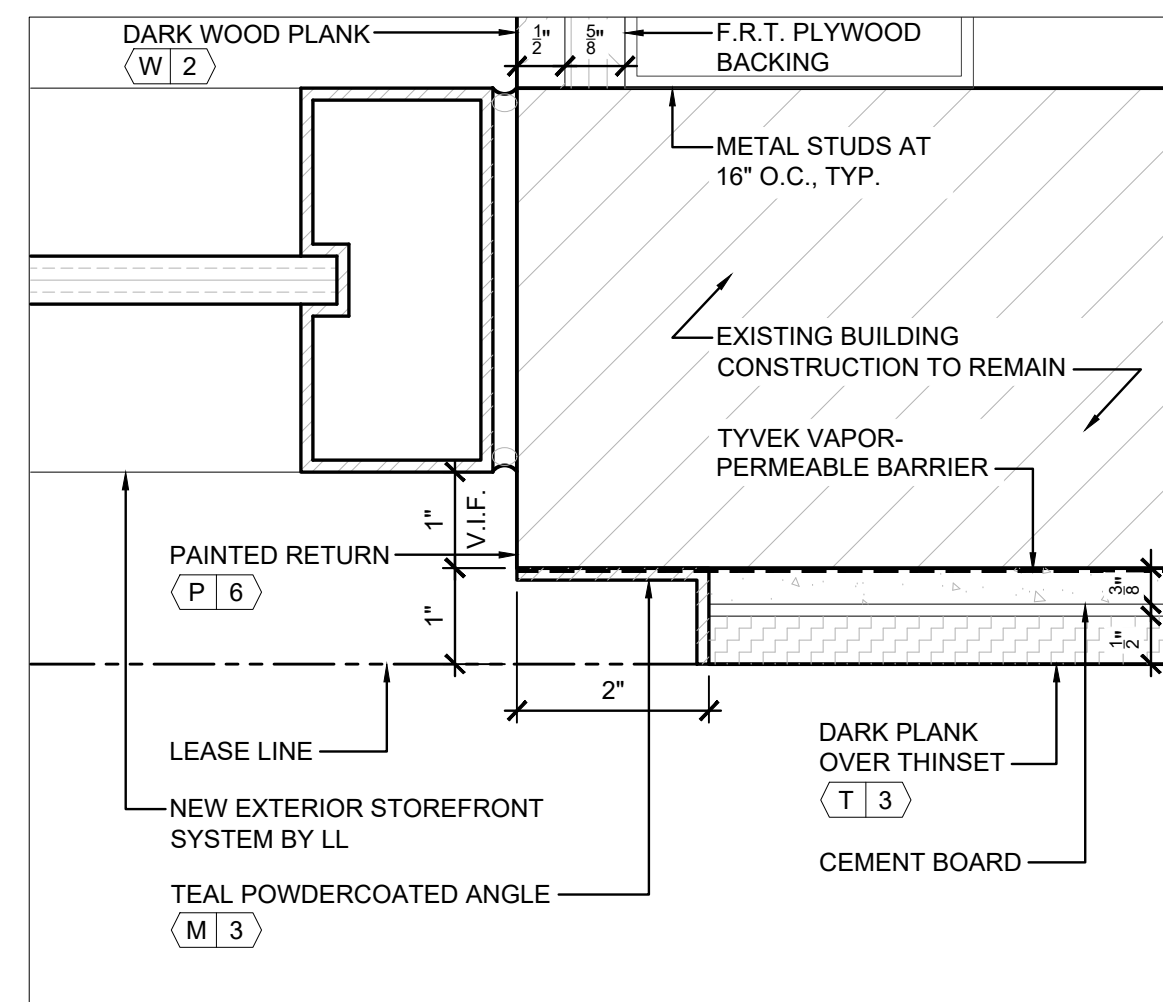
8 SECTION AT WALL BASE  
A-502 SCALE: 6"=1'-0"



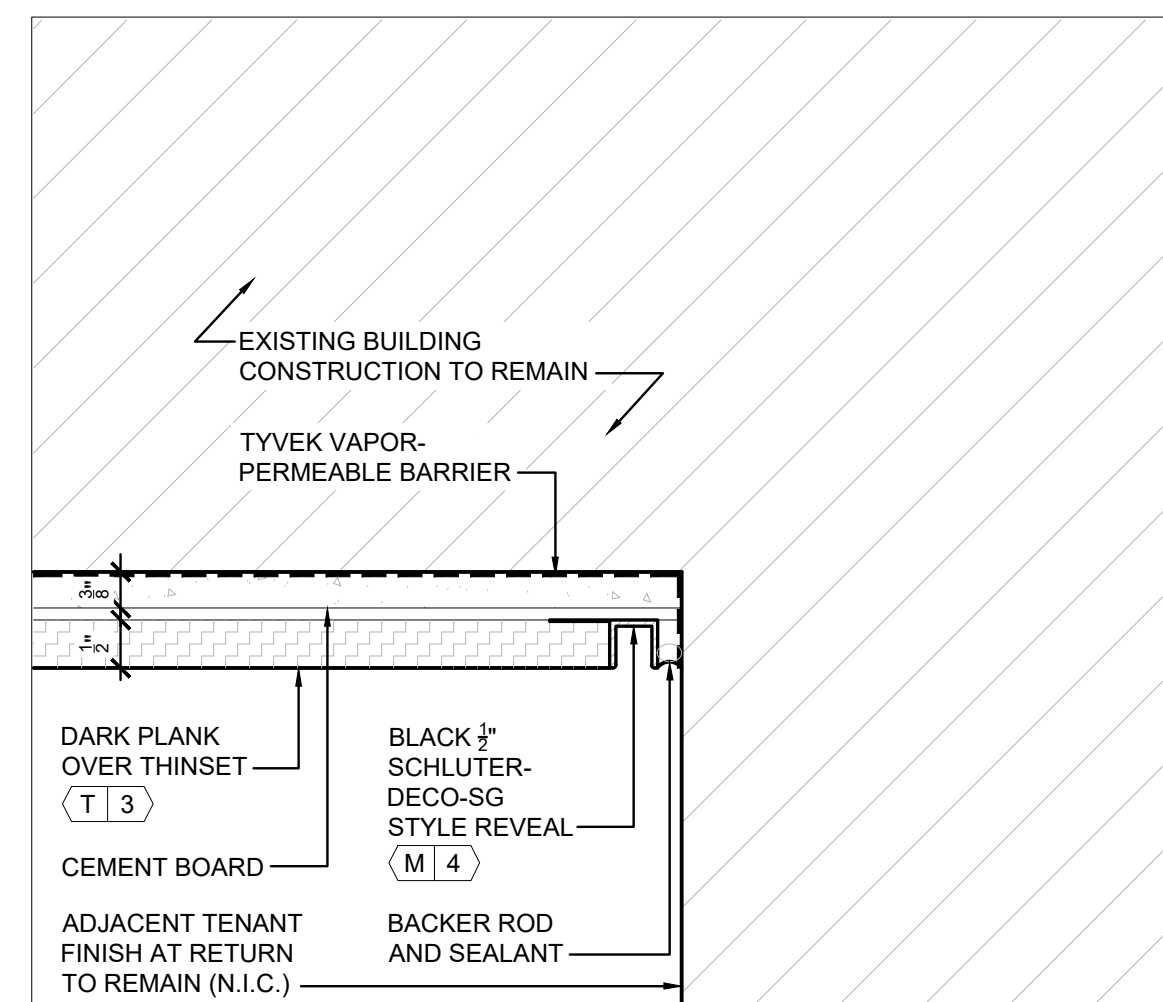
9 PLAN AT LEFT ADJACENT TENANT  
A-502 SCALE: 6"=1'-0"



10 PLAN AT LEFT TEAL ANGLE  
A-502 SCALE: 6"=1'-0"



11 PLAN AT RIGHT TEAL ANGLE  
A-502 SCALE: 6"=1'-0"



12 PLAN AT RIGHT ADJACENT TENANT  
A-502 SCALE: 6"=1'-0"

REVISIONS:  
1. ALL COMMENTS 11/19/2024  
2. ALL COMMENTS 12/19/2024  
DATE ISSUED: 09/26/2024

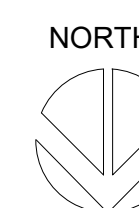
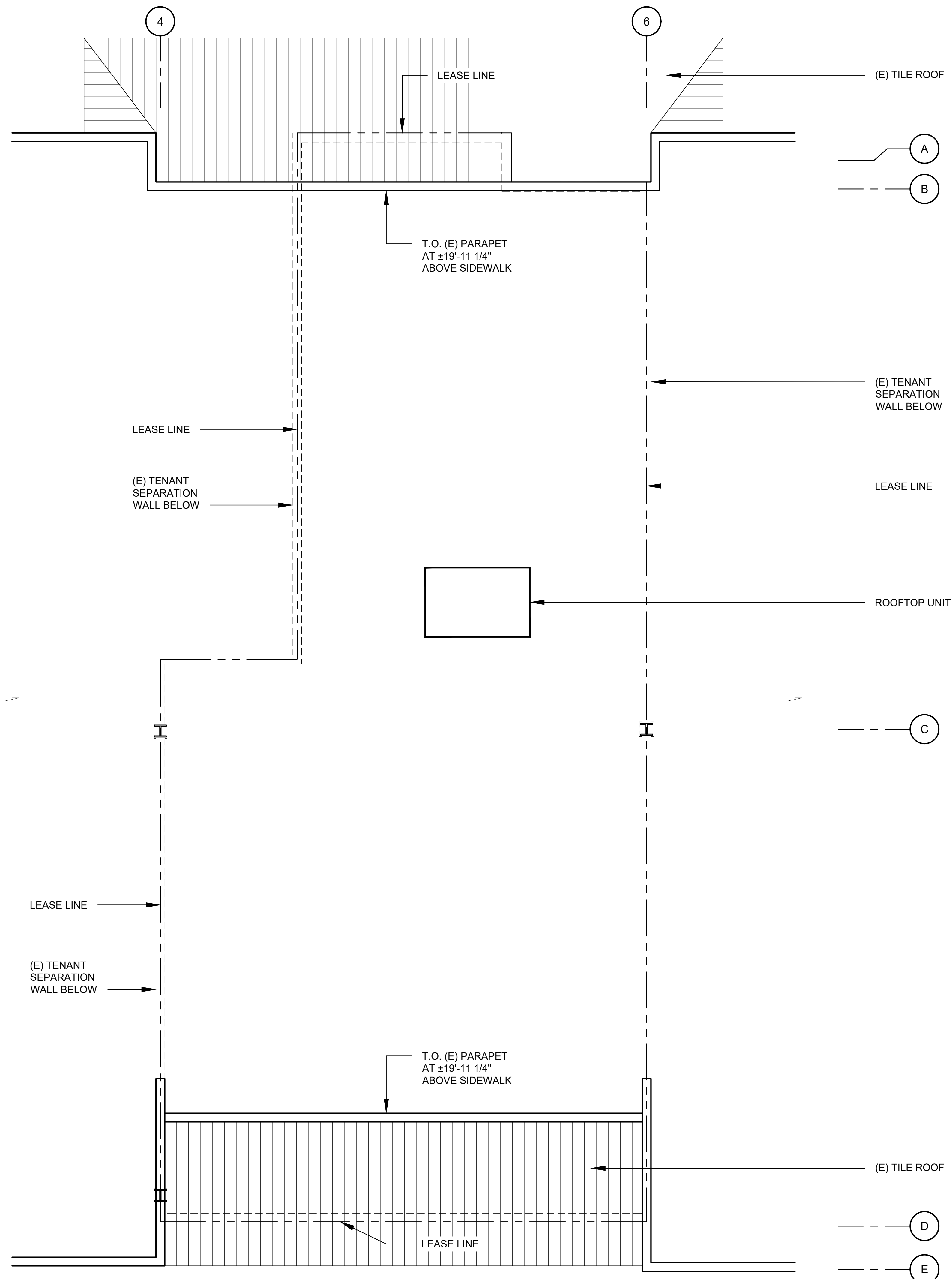
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DETAILS  
DRAWN BY: CLT  
CHECKED BY: RHW/JDS

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SAI # 240383  
DRAWING NUMBER: **A-502**



NORTH

1/4" = 1'-0"

A

REVISIONS:

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 Shremshock Engineering, Inc.  
 7775 Walton Parkway Ste. 250 New Albany, OH 43054  
 t: 614 545 4550 | f: 614 545 4555  
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 THE SHOPS ON EL PASEO  
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ROOF PLAN  
 DRAWN BY: CLT CHECKED BY: RHW/JDS

THIS SHEET IS FOR REFERENCE ONLY

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SAI # 240383

DRAWING NUMBER: **G-007**



Existing Storefront Finishes



Glass by landlord,  
under separate permit

SHAKE SHACK

WHITE | BLACK  
HOUSE | MARKET

C





New Storefront Finishes



**CITY OF PALM DESERT  
ATTENDANCE REPORT**

Advisory Body: Architectural Review Commission

Prepared By: M. Gonzalez

Year	2025		2024				2024				2024				2024				2024				Total Absences	Total Unexcused Absences			
	Month		Feb		Mar		Apr		May		Jun		Jul		Aug		Sep		Oct		Nov				Dec		
	Date	14-Jan	28-Jan	13-Feb	27-Feb	12-Mar	26-Mar	9-Apr	23-Apr	14-May	28-May	11-Jun	25-Jun	9-Jul	23-Jul	13-Aug	27-Aug	10-Sep	24-Sep	8-Oct	22-Oct	12-Nov			26-Nov	10-Dec	24-Dec
<b>Blakeley, James Edward</b>	-	P	E	E	P	-	P	P	E	P	P	P	-	E	-	P	-	P	P	P	P	-	P	-	4	0	
<b>Colvard, Dean Wallace</b>	-	P	P	P	P	-	P	E	P	P	P	P	-	P	-	P	-	E	A	P	P	-	P	-	3	1	
<b>Latkovic, Nicholas</b>	-	P	P	P	P	-	P	P	P	P	P	P	-	P	-	P	-	P	P	P	P	-	E	-	1	0	
<b>McAuliffe, Michael</b>	-	P	P	P	P	-	P	P	P	P	P	P	E	-	P	-	P	-	P	P	E	P	-	P	-	2	0
<b>McIntosh, James</b>	-	E	P	P	P	-	P	E	P	E	P	P	-	P	-	A	-	P	P	E	E	-	P	-	6	1	
<b>Sanchez, Francisco</b>	-	P	P	E	P	-	P	P	P	P	P	P	-	P	-	P	-	E	P	P	P	-	P	-	2	0	
<b>Vuksic, John</b>	-	P	P	P	P	-	P	P	P	P	P	P	-	P	-	E	-	P	P	P	P	-	P	-	1	0	

Palm Desert Municipal Code 2.34.010:

Twice Monthly: Six unexcused absences from regular meetings in any twelve-month period shall constitute an automatic resignation of members holding office on boards that meet twice monthly.

- P Present
- A Absent
- E Excused
- No meeting