ARCHITECTURAL REVIEW COMMISSION CITY OF PALM DESERT MEETING AGENDA

Tuesday, September 24, 2024 12:30 p.m. nent Services Conference Room. C

Development Services Conference Room, City Hall 73-510 Fred Waring Drive Palm Desert, CA 92260

Pursuant to Assembly Bill 2449, this meeting may be conducted as a hybrid meeting allowing public access via teleconference or in person, and up to two Commissioners may attend remotely.

- To participate via Zoom, use the following link: https://palmdesert.zoom.us/j/83648797515 or call (213) 338-8477, Zoom Meeting ID: 836 4879 7515
- Written public comment may also be submitted to planning@palmdesert.gov. E-mails
 received by 9:30 a.m. prior to the meeting will be distributed to the Commission. Any
 correspondence received during or after the meeting will be distributed to the Commission as
 soon as practicable and retained for the official record. Emails will not be read aloud except
 as an ADA accommodation.

Pages

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. NON-AGENDA PUBLIC COMMENT

This time has been set aside for the public to address the Architectural Review Commission on issues that are not on the agenda for up to three minutes. Speakers may utilize one of the three options listed on the first page of the agenda. Because the Brown Act does not allow the Architectural Review Commission to act on items not listed on the agenda, members may briefly respond or refer the matter to staff for a report and recommendation at a future meeting.

4. CONSENT CALENDAR

All matters listed on the Consent Calendar are considered routine and may be approved by one motion. The public may comment on any items on the Consent Calendar within the three-minute time limit. Individual items may be removed by the Architectural Review Commission for a separate discussion.

RECOMMENDATION:

Approve the consent calendar as presented.

4.a APPROVAL OF MINUTES

RECOMMENDATION:

Approve the Minutes of August 27, 2024.

5. CONSENT ITEMS HELD OVER

6. ACTION CALENDAR

The public may comment on individual Action Items within the three-minute time limit. Speakers may utilize one of the three options listed on the first page of the agenda.

6.a CONSIDERATION TO APPROVE A DESIGN REVIEW FOR A FAÇADE RENOVATION TO AN EXISTING SPA BUILDING FOR THE BIGHORN DEVELOPMENT AT 256 PALOWET DRIVE

RECOMMENDATION:

Staff recommends the Architectural Review Commission find the project satisfies all findings for design review approval and approves the project as presented.

7. REPORTS & REMARKS

- 7.a ARCHITECTURAL REVIEW COMMISSIONERS
- 7.b CITY STAFF
- 7.c ATTENDANCE REPORT

8. ADJOURNMENT

The next Regular Meeting will be held on October 8, 2024, at 12:30 p.m.

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9. PUBLIC NOTICES

Agenda Related Materials: Pursuant to Government Code §54957.5(b)(2) the designated office for inspection of records in connection with this meeting is the Office of the City Clerk, Palm Desert Civic Center, 73-510 Fred Waring Drive, Palm Desert. Staff reports for all agenda items considered in open session, and documents provided to a majority of the legislative bodies are available for public inspection at City Hall and on the City's website at www.palmdesert.gov.

Americans with Disabilities Act: It is the intention of the City of Palm Desert to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, or in meetings on a regular basis, you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the Office of the City Clerk, (760) 346-0611, at least 48 hours prior to the meeting to inform us of your needs and to determine if accommodation is feasible.

AFFIDAVIT OF POSTING

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda for the Architectural Review Commission was posted on the City Hall bulletin board and City website not less than 72 hours prior to the meeting.

/S/ Melinda Gonzalez
Executive Administrative Assistant

ARCHITECTURAL REVIEW COMMISSION CITY OF PALM DESERT REGULAR MEETING MINUTES

August 27, 2024, 12:30 p.m.

Present: Commissioner James Blakeley, Commissioner Dean Wallace

Colvard, Commissioner Nicholas Latkovic, Commissioner Michael

McAuliffe, Commissioner Francisco Sanchez

Absent: Commissioner James McIntosh, Chair John Vuksic

Staff Present: Principal Planner Carlos Flores, Principal Planner Nick Melloni,

Associate Planner Kenny Taylor, Recording Secretary Melinda

Gonzalez

1. CALL TO ORDER

A Regular Meeting of the Architectural Review Commission (ARC) was called to order by Commissioner McAuliffe on August 27, 2024, at 12:31 p.m. in the Development Services Conference Room, City Hall, located at 73-510 Fred Waring Drive, Palm Desert, California.

2. ROLL CALL

3. NON-AGENDA PUBLIC COMMENT

Commissioner McAuliffe opened and closed the public comment period for Non-Agenda public comment. No public comments were provided.

4. CONSENT CALENDAR

The Consent Calendar was approved as presented.

Motion by: Commissioner Colvard **Seconded by:** Commissioner Blakeley

Motion Carried (5 to 0)

4.a APPROVAL OF MINUTES

The Architectural Review Commission regular meeting minutes of July 23, 2024, were approved as presented.

Motion by: Commissioner Colvard **Seconded by:** Commissioner Blakeley

Motion Carried (5 to 0)

5. CONSENT ITEMS HELD OVER

None

6. ACTION CALENDAR

6.a CONSIDERATION FOR APPROVAL OF A DESIGN REVIEW FOR A FAÇADE RENOVATION AND ARCHITECTURAL IMPROVEMENTS FOR A NEW JEWELRY STORE HOPE DIAMONDS & COMPANY AT 72990 HIGHWAY 111 (CONTINUED FROM MAY 14, 2024)

Associate Planner, Kenny Taylor, narrated a PowerPoint presentation on the item and responded to Commission inquiries. German Santamaria, Applicant, Jimmy Ozasi, Business Owner, and Frank Figueroa, Construction Manager, were present.

Commissioner McAuliffe opened the public comment period and invited the applicant to speak. Jimmy Ozasi, Business Owner, stated he had no additional comments to provide to staff's presentation. Mr. Ozasi and Mr. Figueroa answered questions from the Commission.

With no other members of the public wishing to comment, Commissioner McAuliffe closed the public comment period. Discussion on the item ensued with Commissioners providing comments for the project.

Motion by: Commissioner Latkovic **Seconded by:** Commissioner Blakeley

Following discussion, motion carried to approve Case No. MISC24-0002 as presented with the following conditions:

- Gold band trim shall be an anodized surface; staff to review and approve material.
- 2. Shadow boxes shall have covers which are fade resistant.
- 3. All equipment shall be adequately screened, consistent with Palm Desert Municipal Code Section 25.40.090.

Motion Carried (5 to 0)

6.b CONSIDERATION TO APPROVE A DESIGN REVIEW FOR A FAÇADE MODIFICATION TO AN EXISTING COMMERCIAL STOREFRONT FOR SHIRAZ RUG COMPANY LOCATED AT 74-220 HIGHWAY 111

Principal Planner, Carlos Flores, narrated a PowerPoint presentation on the item and responded to Commission inquiries.

Commissioner Latkovic opened the public comment. With no members of the public wishing to comment, Commissioner Latkovic closed the public comment period. Discussion on the item ensued with Commissioners providing comments for the project.

Motion by: Commissioner Colvard **Seconded by:** Commissioner Blakeley

Following discussion, motion carried to approve Case No. MISC24-0012 as presented.

RECUSED (1): Commissioner McAuliffe

Motion Carried (4 to 0)

7. REPORTS & REMARKS

7.a ARCHITECTURAL REVIEW COMMISSIONERS

In response to Commissioner comments regarding the policy for remote participation Recording Secretary Gonzalez advised when a commissioner requests to participate remotely and the reason does not fall under certain circumstances, adherence to Brown Act requirements for teleconferencing are mandatory. Recording Secretary Gonzalez stated the memo from City Clerk outlining the requirements would be resent to Commissioners to remind them of the protocols for remote participation.

7.b CITY STAFF

Principal Planner Melloni provided the following updates.

- As requested by the Commission, staff followed up on the carports installed for the Millennium Apartments project. As observed by commissioners, the carports are taller and increased in size from the originally approved design. The carports were revised to be solar carports, resulting in the need to increase the size, number of carports, and increase the height to comply with fire clearance requirements. These revisions were approved by staff under the Solar Rights Act. Additional information on the Solar Rights Act was provided.
- Clarion and Associates was awarded the contact for consultation services for the unified development code update which will comprehensively update the Zoning, Grading, and Subdivision ordinances as well as any other codes that are applicable to development. Kick-off meetings are scheduled for September 10, 2024, and September 12, 2024. A study session will be held with the City Council on September 26, 2024. An invite to participate in a survey to provide input will be emailed to ARC commissioners.
- Staff is working on an amendment to the University Neighborhood Specific Plan (UNSP) primarily for the land use planning for the remaining 170 acres at the corner of Portola Avenue and Frank Sinatra. Planning staff will conduct a community engagement meeting for September 19, 2024, to discuss the planning portion of the UNSP. A follow up meeting will be conducted by the Public Works department which will focus on the 40-acre regional park and other open spaces within the UNSP.

Principal Planner Flores reported at the last Planning Commission meeting Wildest Restaurant Outdoor Patio Expansion project was approved. The Planning

Commission also approved a recommendation of approval to the City Council for the Upper Way West project; it will go to City Council for approval in October.

7.c ATTENDANCE REPORT

The attendance report was provided with the agenda materials. The Commission took no action on this matter.

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ADJOURNMENT				
The Architectural Review Commission adjourned at 1:30 p.m.				
Respectfully submitted,				
Melinda Gonzalez, Executive Administrative Assistant Recording Secretary				
Troopiding Cooletary				
ATTEST:				
Carlos Flores, Principal Planner Secretary				
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APPROVED BY ARC://2024				

ARCHITECTURAL REVIEW COMMISSION CITY OF PALM DESERT STAFF REPORT

MEETING DATE: September 24, 2024

PREPARED BY: Carlos Flores, AICP, Principal Planner

SUBJECT: CONSIDERATION TO APPROVE A DESIGN REVIEW FOR A FAÇADE

RENOVATION TO AN EXISTING SPA BUILDING FOR THE BIGHORN

DEVELOPMENT AT 256 PALOWET DRIVE

RECOMMENDATION:

Staff recommends the Architectural Review Commission find the project satisfies all findings for design review approval and approves the project as presented.

BACKGROUND/ANALYSIS:

Executive Summary:

Case No.: Design Review 24-0008

The Applicant (KHA Architects) on behalf of the property owner (Bighorn Golf Club) is requesting design review approval for a remodel and addition to an existing Spa and Wellness Center facility (Spa) located at 256 Palowet Drive (Project Site) for the existing Bighorn residential development (Bighorn).

On January 12, 1989, the Palm Desert City Council adopted Ordinance No. 564 which approved the "Villages of Bella Vista" master plan (Master Plan): an approximately 675-acre master planned residential development including over 1,000 residential units of various types, open space, golf course, sports courts, clubhouse, and amenities buildings, located at the southern edge of the City of Palm Desert city limits, to the west of Highway 74. Subsequent to approval, the development was constructed and re-named Bighorn. In 2001, the Spa was constructed as a complimentary building to the main Bighorn clubhouse building, consistent with the originally approved Master Plan.

Project Summary:

A. Property Description

The project site (Site) includes the existing two-story, 14,815 square foot (sf) Spa building, that is surrounded by existing amenities (sport courts, buildings, clubhouse, and parking) for the Bighorn development. The site is located on Palowet Drive, just west of Highway 74.



B. Zoning, General Plan and Adjacent Uses

Table 1 – Adjacent Land Use and Land Use Designations

Location	Existing Use	General Plan	Zoning
Project Site	Existing Residential	Golf Course & Resort	Planned Residential (PR) - 5
		Neighborhood	
North	Existing Residential	Golf Course & Resort	Planned Residential (PR) - 5
		Neighborhood	
South	Existing Residential	Golf Course & Resort	Planned Residential (PR) - 5
		Neighborhood	
East	Existing Residential	Golf Course & Resort	Planned Residential (PR) - 5
		Neighborhood	, ,
West	Existing Residential	Golf Course & Resort	Planned Residential (PR) - 5
		Neighborhood	,

C. Project Description

The Applicant is proposing an exterior and interior renovation to the existing Spa to do the following:

- Remodel and add to the first and second story of the Spa
- Enclose existing outdoor courtyard in the middle of building
- Extend front entry to add a vertical circulation to 2nd story
- Interior renovations

The renovation would increase the building square footage by 10,718 sf, from 14,815 sf to 25,533 sf, which includes the addition of 7,655 sf on the second story. The renovation occurs on the front half of the building, facing the existing parking lot. The project adds new fitness related areas, laundry, and accessory related uses.

Site Plan

The Spa site plan is being revised to bring the building closer to the parking lot, including a revised roof that overhangs the entry way (Attachment 1, Sheet A.02). The existing frontage is being revised with a new curb, new hardscape, and new landscaped planter area. The landscaping within the new landscaped area would include the currently installed and approved desert landscaping palette, including Yucca rostrata, agave, barrel cactus, ocotillo, Madagascar palm, sage, fairy duster, bougainvillea, and lantana. There are no revisions to the parking lot as part of this project.

Architecture

The proposed renovation to the Spa continues the existing contemporary architecture of the Spa. The entry way will be characterized with a new standing seam, snap-on batten roofing system with a medium bronze finish. The roof includes a central "faux crown" detail with decorative vertical caps. The rest of the renovation will utilize colors and materials that match the existing Spa, including smooth hand troweled finished stucco walls, "Travertine" stone veneer, and medium bronze finished metal panels, flashing, columns, and eaves. Outdoor areas would include glass railings.



Exhibit 2 - Renderings

Zoning Ordinance Summary:

The subject property is zoned Planned Residential, and is within an approved Master Plan, which allows this building as a permitted use. The project, including the additions, meets all the development standards of the original master plan development standards.

Findings

Revisions to facades are subject to review and approval of a design review by the Architectural Review Commission (ARC) pursuant to Palm Desert Municipal Code (PDMC) Section 25.68.020 (A)(1). Findings for ARC decisions of design review applications are listed under Palm Desert PDMC Section 25.68.040 as follows:

A. That the proposed development conforms to any legally adopted development standards.

The proposed project is in conformance with the legally adopted development standards set forth through Ordinance 564. The proposed modifications comply with all applicable development standards, including height and setbacks. The proposed project will not create non-conforming conditions for this existing development. The proposed building incorporates a contemporary design with varying wall and roof planes, aluminum architectural elements, desert contemporary color palette, and a uniform look to match the existing Bighorn buildings.

B. That the design and location of the proposed development and its relationship to neighboring existing or proposed developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of neighboring existing or proposed developments and that it will not create traffic hazards or congestion.

The proposed design is compatible with surrounding developments and will not create additional traffic which would impair investment in the neighborhood. The proposed use is an existing spa building for existing residents and therefore, a substantial increase in traffic generation is not anticipated.

C. That the design and location of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by this title and the General Plan of the City.

The proposed façade is compatible with the development pattern within Bighorn. This is an existing building surrounded by existing amenity buildings, including a clubhouse, and keeps in character with the existing Bighorn development.

D. That the design and location of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors.

The proposed project utilizes a good composition of new materials, textures, and colors for quality visual aesthetics, enhancing the front entries with consideration of the compatibility to the existing building. The design and materials and colors match the existing and surrounding Bighorn development buildings.

E. That the proposed use conforms to all the requirements of the zone in which it is located and all other applicable requirements.

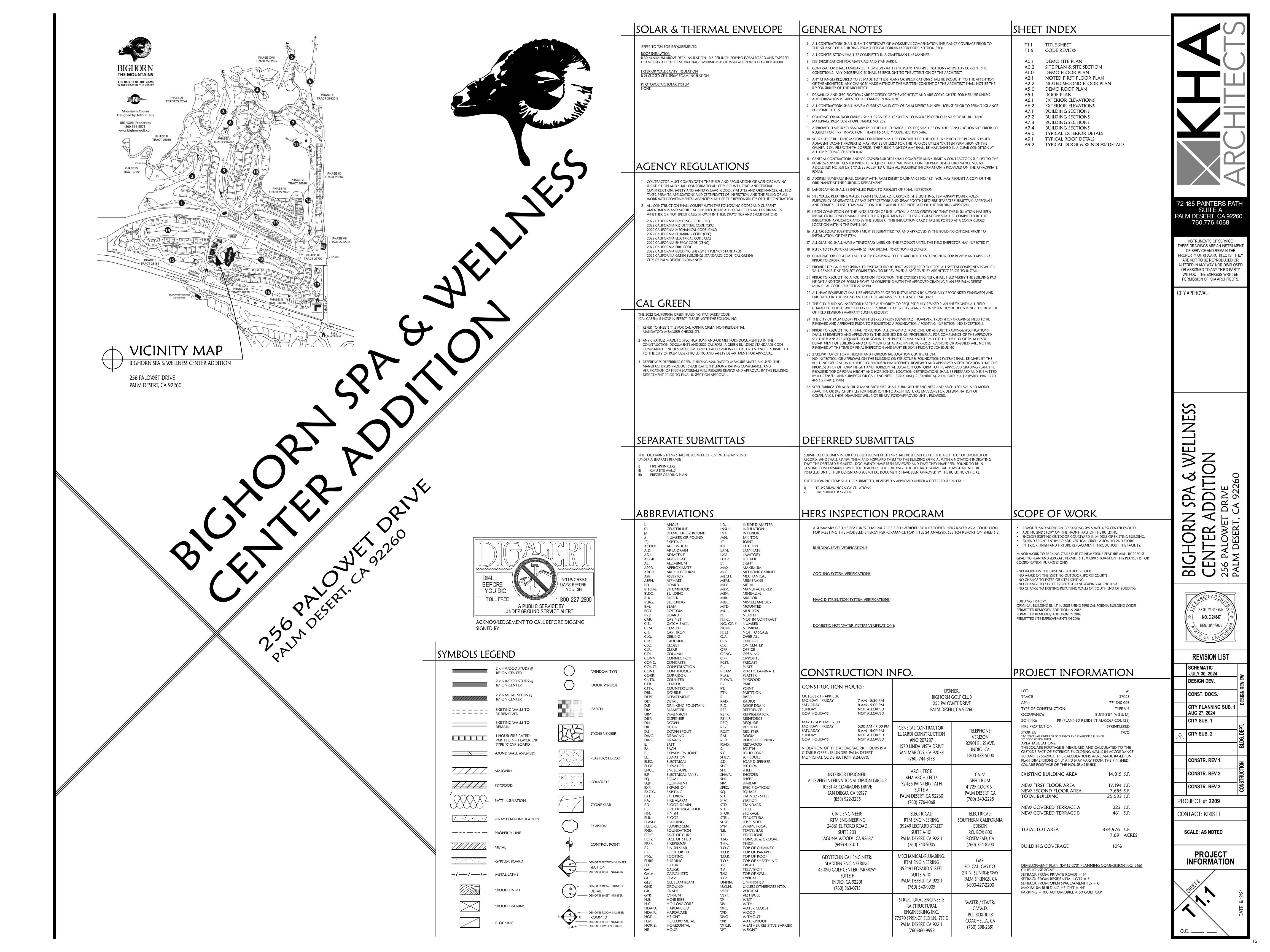
The proposed project conforms with legally adopted development standards set forth by the Planned Residential zone and master plan approved via Ordinance 564. As proposed, there are no substantial changes which would impact the site or its surroundings and it is consistent with the master plan, Title 25 Zoning Code, and General Plan regulations.

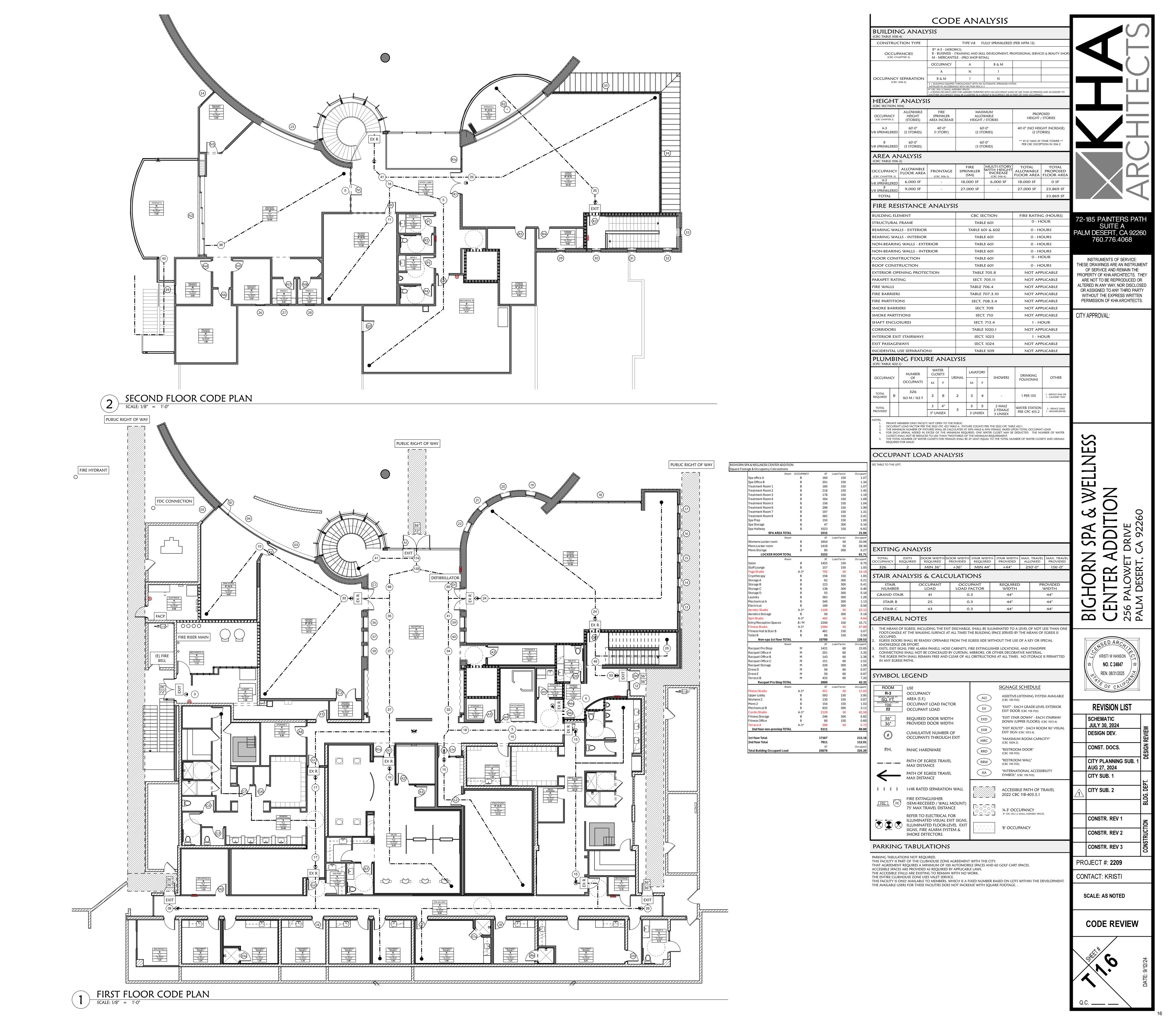
F. That the overall development of the land shall be designed to ensure the protection of public health, safety, and general welfare.

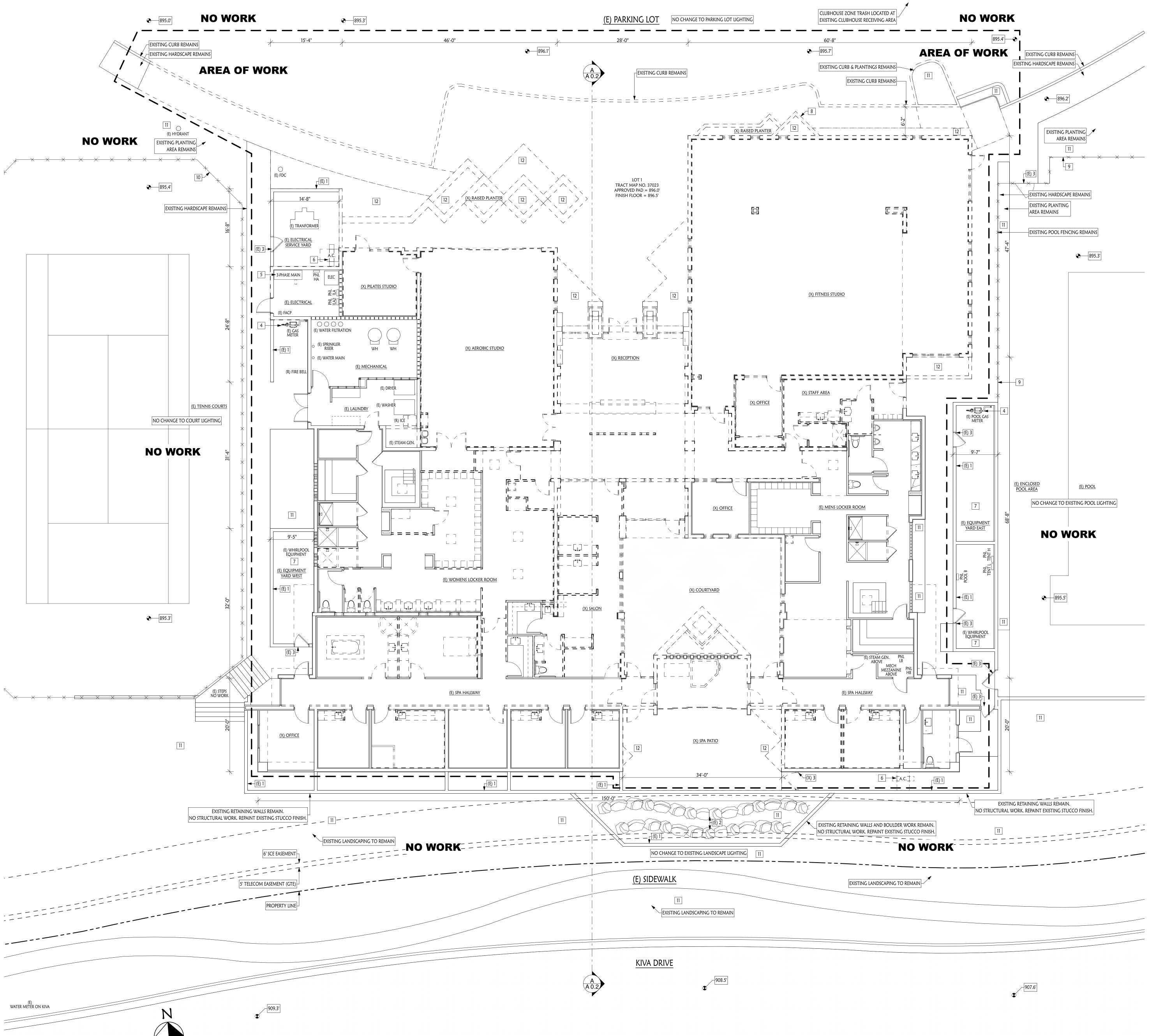
The proposed project does not alter existing parking areas, site access, nor the original site layout. The site plan has been reviewed to confirm the design provides protection for the public's health, safety, and general welfare.

ATTACHMENTS:

- 1. Project Plans
- 2. Color Board
- 3. Renderings
- 4. Existing Site Photographs (Reference Only)







DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

RENOVATION LEGEND

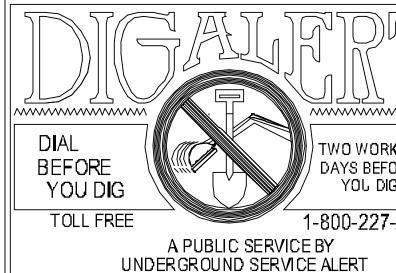
(X) = REMOVE/DEMOLISH(R) = RELOCATE EXISTING(N) = NEW

(E) = EXISTING

WALL LEGEND

EXISTING WALL TO REMAIN EXISTING CMU WALL TO REMAIN EXISTING WALL TO BE REMOVED

NEW WALL FRAMING NEW CMU/MASONRY WALL



SITE PLAN GENERAL NOTES:

B. SEE GRADING PLAN FOR INFORMATION REGARDING VERIFICATION OF

C. GENERAL CONTRACTOR SHALL PROVIDE PROPER SOILS PREPARATION PER THE SOILS REPORT.

E. POOL, WHIRLPOOLS AND WATER FEATURES REQUIRE SEPARATE PERMITS SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET. F. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2022 CBC R311.3. LANDINGS AT REQUIRED EGRESS DOORS SHALL NOT BE NOT BE 1 1/2" LOWER THAN

EQUIPMENT.

H. ALL RETAINING & GARDEN WALLS REQUIRE SEPARATE APPROVAL AND REFER TO PRECISE GRADING PLAN.

I. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF WORKS DEPARTMENT. J. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE

WITHIN THE FIRST 10 FEET PER 2022 CRC R401.3. STORM WATER

DEMOLITION SITE PLAN KEY NOTES:

- 5 ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
- 7 POOL EQUIPMENT. SEE PLUMBING DRAWINGS.
- 9 EXISTING POOL PERIMETER FENCING. TO REMAIN. NO WORK.
- 11 EXISTING PLANTING AREA. PLANTS, LANDSCAPE LIGHTING, AND GROUNDCOVER MATERIAL PROVIDED BY OWNER.
- 12 REMOVED PLANTING AREA. COORDINATE LANDSCAPE LIGHTING, IRRIGATION, AREA DRAINS WITH NEW PLAN.

DAYS BEFORE YOU DIG

A. SEE PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.

FINISH FLOOR LEVEL.

D. ALL SITE FINISHES TO BE APPROVED BY ARCHITECT/INTERIOR DESIGNER.

TOP OF THRESHOLD. 2022 CBC R311.3.1. G. PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND PLUMBING

PERMIT. SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET.

EXISTING CURB LOCATION FROM PROPERTY LINE(S) WITH THE PUBLIC

FOUNDATION WALLS. THE GRADES SHALL FALL A MINIMUM OF 6 INCHES SHALL FLOW AWAY FROM THE BUILDING AND AWAY FROM ADJOINING PROPERTY AND SHALL NOT CREATE A NUISANCE PER 2022 CPC 1101.1. REFER TO THE PRECISE GRADING PLANS FOR SITE DRAINAGE DESIGN.

- 1 CMU BLOCK WALL. REFER TO WALL LEGEND FOR FINISH. SEPARATE PERMIT REQUIRED. SEE PRECISE GRADING. (E) = EXISTING, REFINISHED. (N) NEW.
- 2 BOULDER WALL. SEE PRECISE GRADING. 3 METAL SITE GATE. (E) = EXISTING, REFINISHED. (N) NEW GATE.
- 4 GAS METER. SEE PLUMBING DRAWINGS.
- 6 AC CONDESING UNIT. SEE MECHANICAL DRAWINGS.
- 8 AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, CLEARLY VISIBLE FROM STREET OR ACCESS ROAD. 2022 CRC R319.
- 10 EXISTING TENNIS COURT FENCING. TO REMAIN. NO WORK.

72-185 PAINTERS PATH

SUITE A

PALM DESERT, CA 92260

760.776.4068

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CONSTRUCTION

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REVISION LIST SCHEMATIC JULY 30, 2024 DESIGN DEV.

CONST. DOCS. CITY PLANNING SUB. 1 AUG 27, 2024 CITY SUB. 1

CITY SUB. 2 CONSTR. REV 1

CONSTR. REV 2

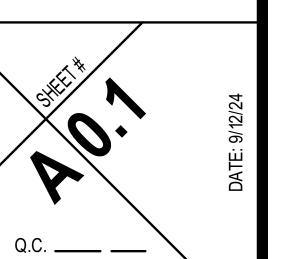
CONSTR. REV 3

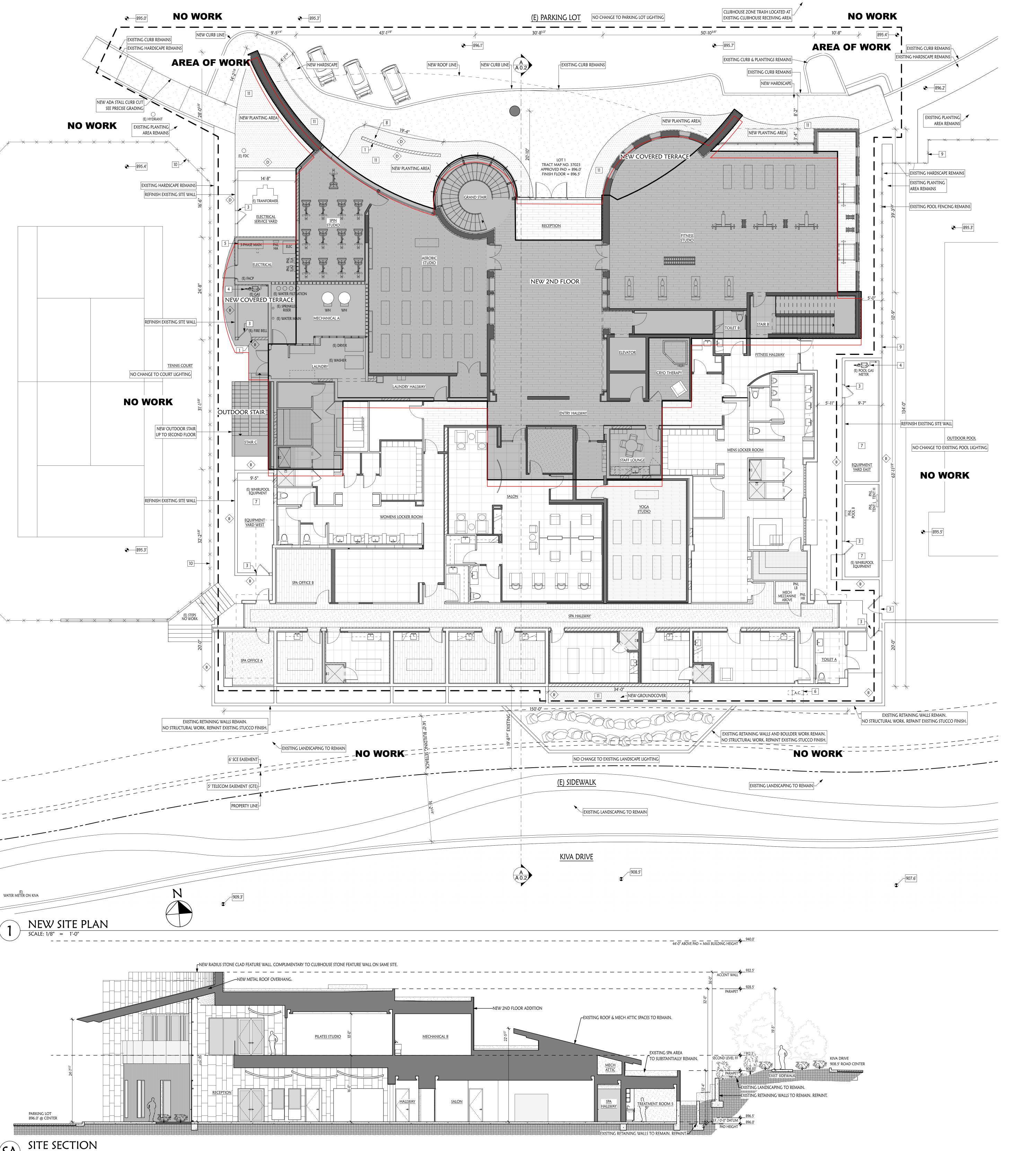
PROJECT #: **2209**

CONTACT: KRISTI

SCALE: 1/8" = 1'-0"

DEMO SITE PLAN





RENOVATION LEGEND

(E) = EXISTING(X) = REMOVE/DEMOLISH(R) = RELOCATE EXISTING

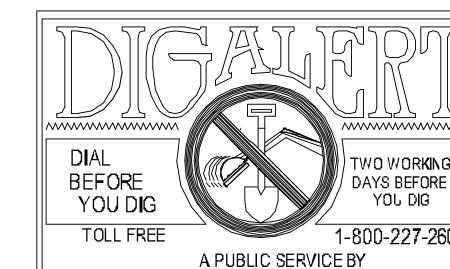
WALL LEGEND

(N) = NEW

EXISTING WALL TO REMAIN EXISTING CMU WALL TO REMAIN EXISTING WALL TO BE REMOVED

NEW WALL FRAMING NEW CMU/MASONRY WALL

2ND FLOOR OVERLAY



SITE PLAN GENERAL NOTES:

- FINISH FLOOR LEVEL.

UNDERGROUND SERVICE ALERT

- C. GENERAL CONTRACTOR SHALL PROVIDE PROPER SOILS PREPARATION PER
- D. ALL SITE FINISHES TO BE APPROVED BY ARCHITECT/INTERIOR DESIGNER.
- F. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2022 CBC R311.3. LANDINGS
- G. PROVIDE CONCRETE PADS FOR ALL MECHANICAL AND PLUMBING
- H. ALL RETAINING & GARDEN WALLS REQUIRE SEPARATE APPROVAL AND
- EXISTING CURB LOCATION FROM PROPERTY LINE(S) WITH THE PUBLIC WORKS DEPARTMENT.
- FOUNDATION WALLS. THE GRADES SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET PER 2022 CRC R401.3. STORM WATER PROPERTY AND SHALL NOT CREATE A NUISANCE PER 2022 CPC 1101.1. REFER TO THE PRECISE GRADING PLANS FOR SITE DRAINAGE DESIGN.

SITE PLAN KEY NOTES:

- 1 CMU BLOCK WALL. REFER TO WALL LEGEND FOR FINISH. SEPARATE PERMIT REQUIRED. SEE PRECISE GRADING. (E) = EXISTING, REFINISHED. (N) NEW.
- 4 GAS METER. SEE PLUMBING DRAWINGS.
- 6 AC CONDESING UNIT. SEE MECHANICAL DRAWINGS.
- 9 EXISTING POOL PERIMETER FENCING. TO REMAIN. NO WORK.
- 10 EXISTING TENNIS COURT FENCING. TO REMAIN. NO WORK.
- 11 NEW PLANTING AREA. PLANTS, LANDSCAPE LIGHTING, AND GROUNDCOVER MATERIAL PROVIDED BY OWNER.
- VERTICAL ORIENTATION. SEE LAYOUT PATTERN.
- METAL PANELS:

 PAC-CLAD OR EQUAL BY BERRIDGE MANUFACTURING CO.
- D BOX RIB 1, VERTICAL ORIENTATION. "MEDIUM BRONZE" FINISH
- METAL SITE GATE:
 PAINT TO MATCH SITE WALL FINISH.
- ** CONTRACTOR TO SUBMIT ALL EXTERIOR MATERIAL SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

- A. SEE PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION. B. SEE GRADING PLAN FOR INFORMATION REGARDING VERIFICATION OF
- THE SOILS REPORT.
- E. POOL, WHIRLPOOLS AND WATER FEATURES REQUIRE SEPARATE PERMITS. SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET.
- AT REQUIRED EGRESS DOORS SHALL NOT BE NOT BE 1 1/2" LOWER THAN TOP OF THRESHOLD. 2022 CBC R311.3.1.
- PERMIT. SHOWN FOR COORDINATION PURPOSES ONLY ON THIS PLANSET. REFER TO PRECISE GRADING PLAN. I. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR THE VERIFICATION OF
- J. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE
- SHALL FLOW AWAY FROM THE BUILDING AND AWAY FROM ADJOINING

- 2 BOULDER WALL. SEE PRECISE GRADING.
- 3 METAL SITE GATE. (E) = EXISTING, REFINISHED. (N) NEW GATE.
- 5 ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
- 7 POOL EQUIPMENT. SEE PLUMBING DRAWINGS.
- 8 AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, CLEARLY VISIBLE FROM STREET OR ACCESS ROAD. 2022 CRC R319.

SITE WALL FINISH LEGEND

- STUCCO WALLS:

 SHERWIN WILLIAMS PAINT SW9111 LRV 43 (A) SMOOTH HAND TROWELED FINISH
- SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH
- STONE VENEER:

 TRAVERTINE
- PANEL SIZES: 48" X 12" 36" X 18" 30" X 24"

72-185 PAINTERS PATH

SUITE A

PALM DESERT, CA 92260

760.776.4068

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REVISION LIST SCHEMATIC

JULY 30, 2024 DESIGN DEV. CITY PLANNING SUB.

AUG 27, 2024 CITY SUB. 1 CONSTR. REV 1

CONSTR. REV 3

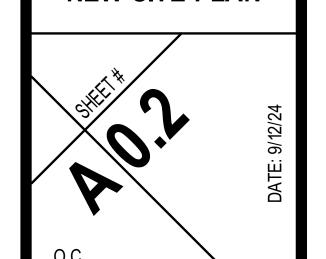
CONSTR. REV 2

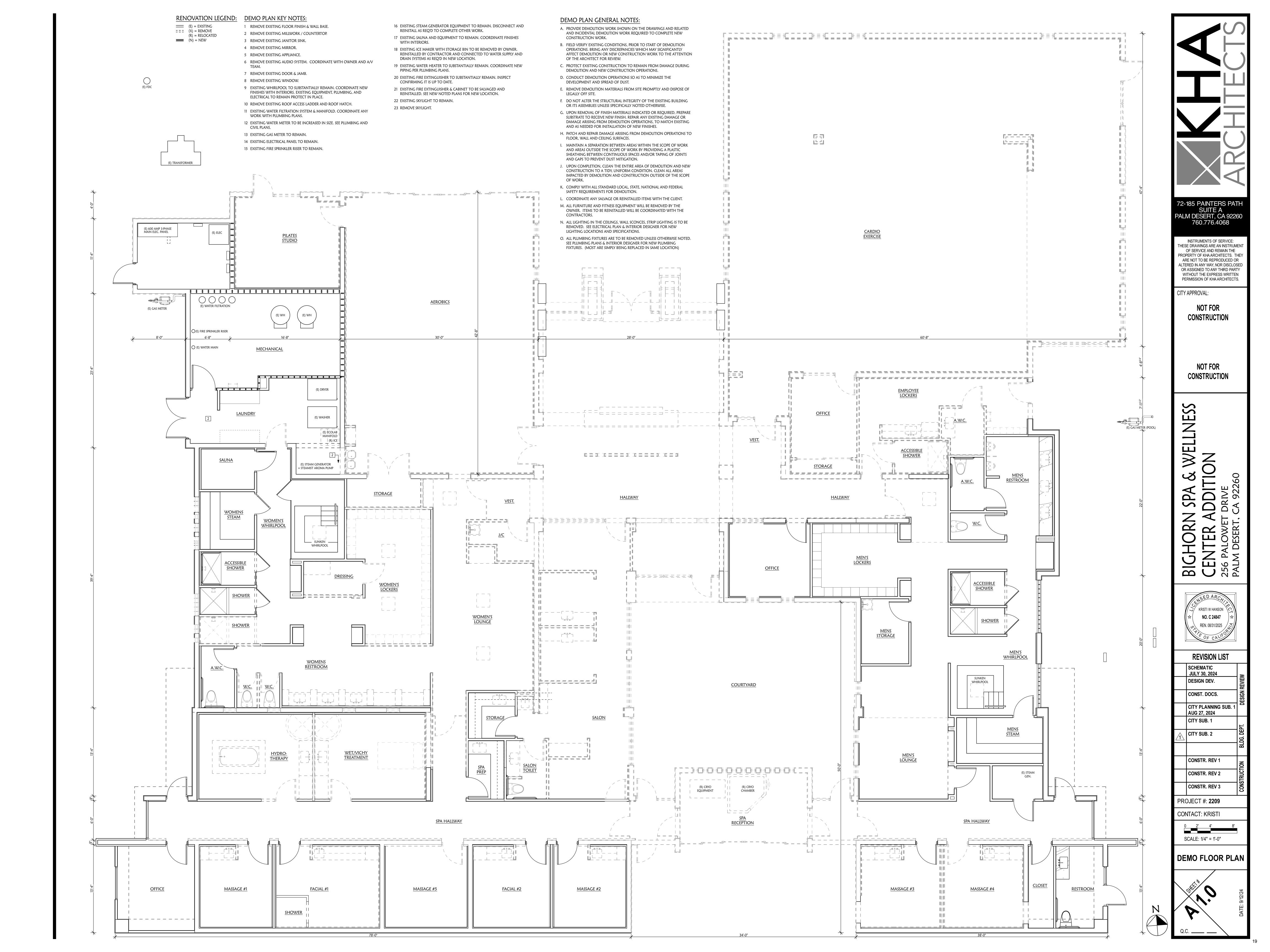
PROJECT #: 2209

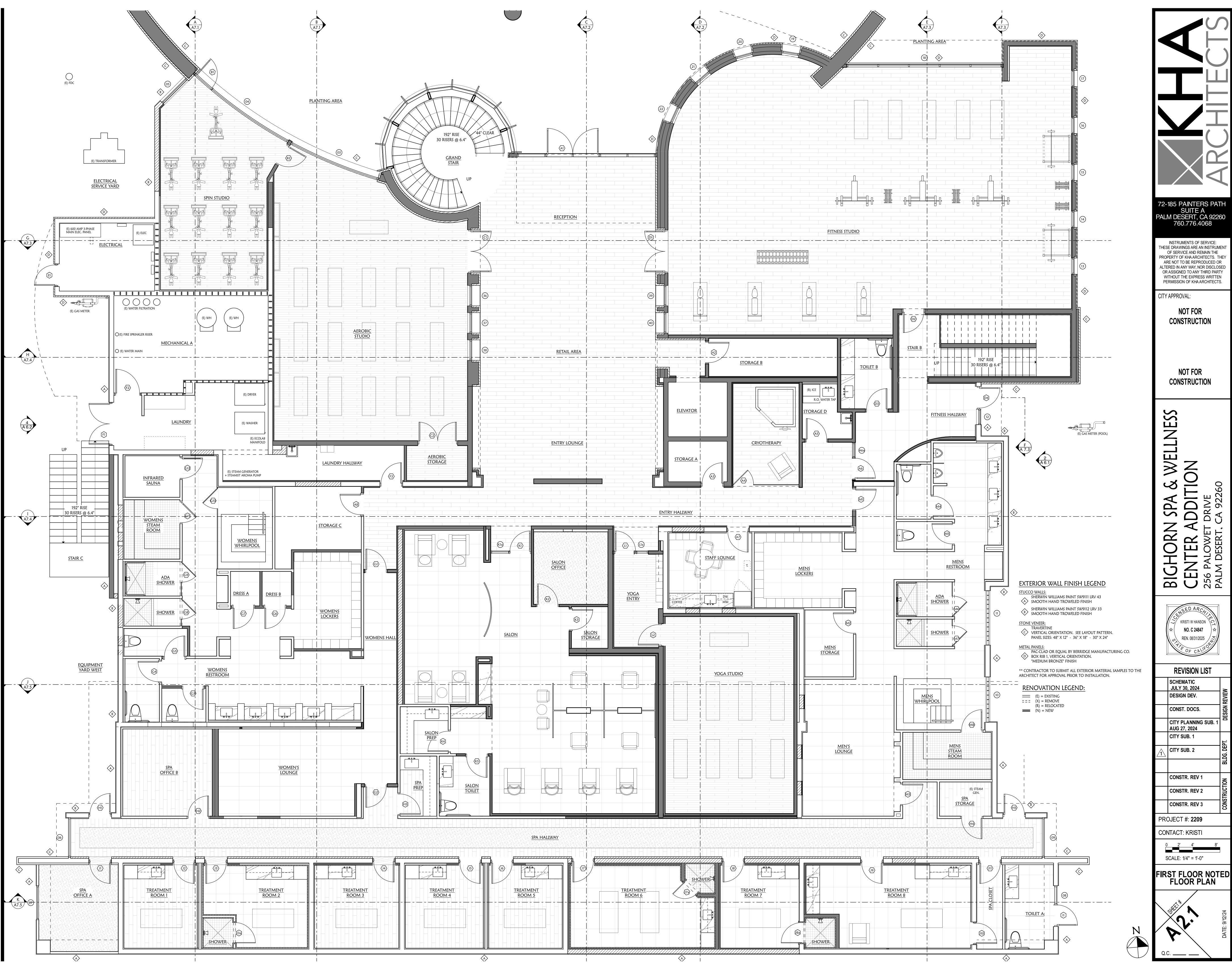
CONTACT: KRISTI

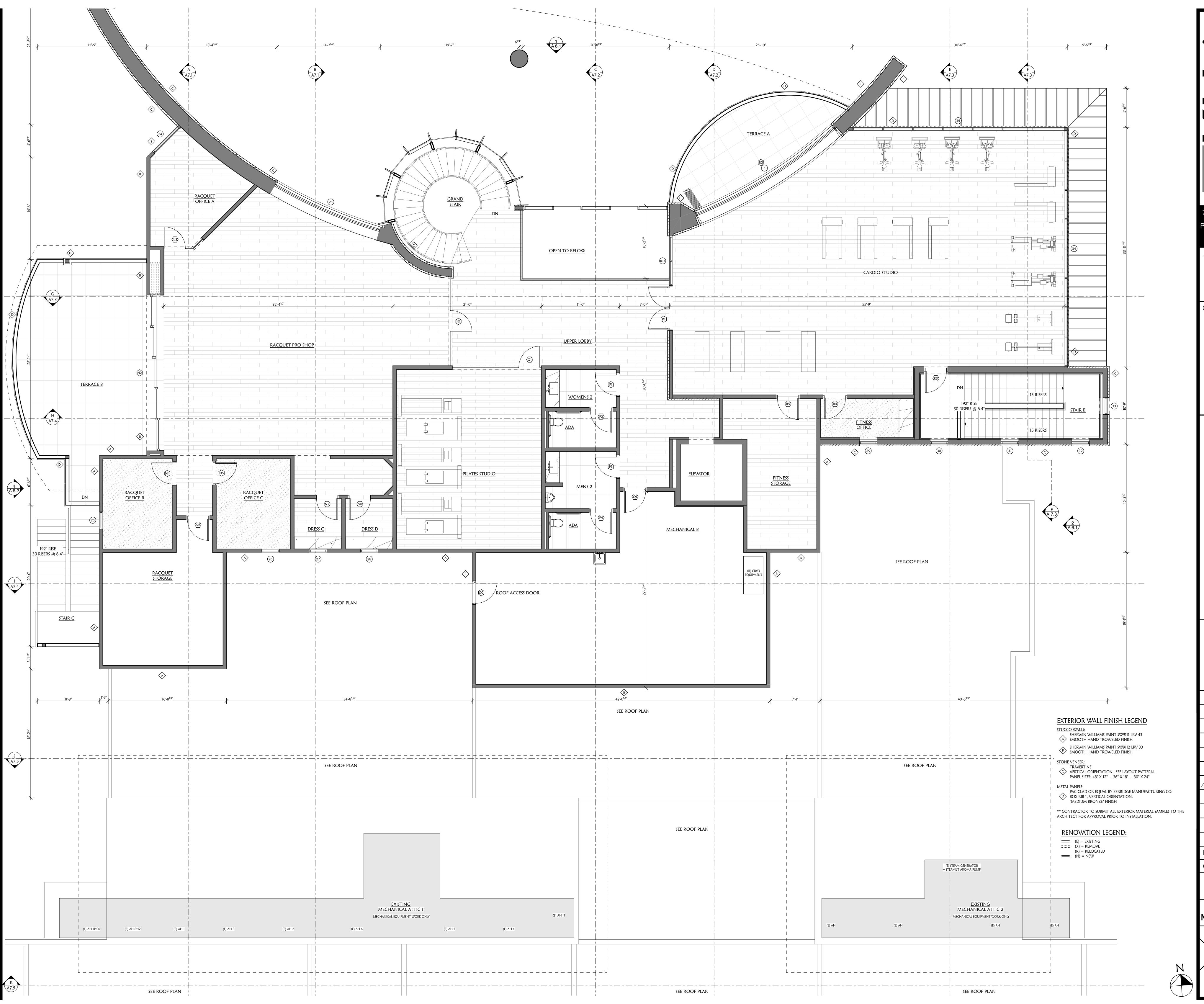
SCALE: 1/8" = 1'-0"

NEW SITE PLAN









72-185 PAINTERS PATH SUITE A PALM DESERT, CA 92260 760.776.4068

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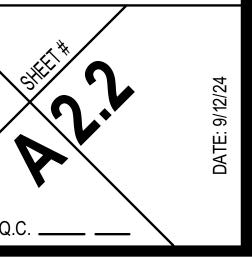
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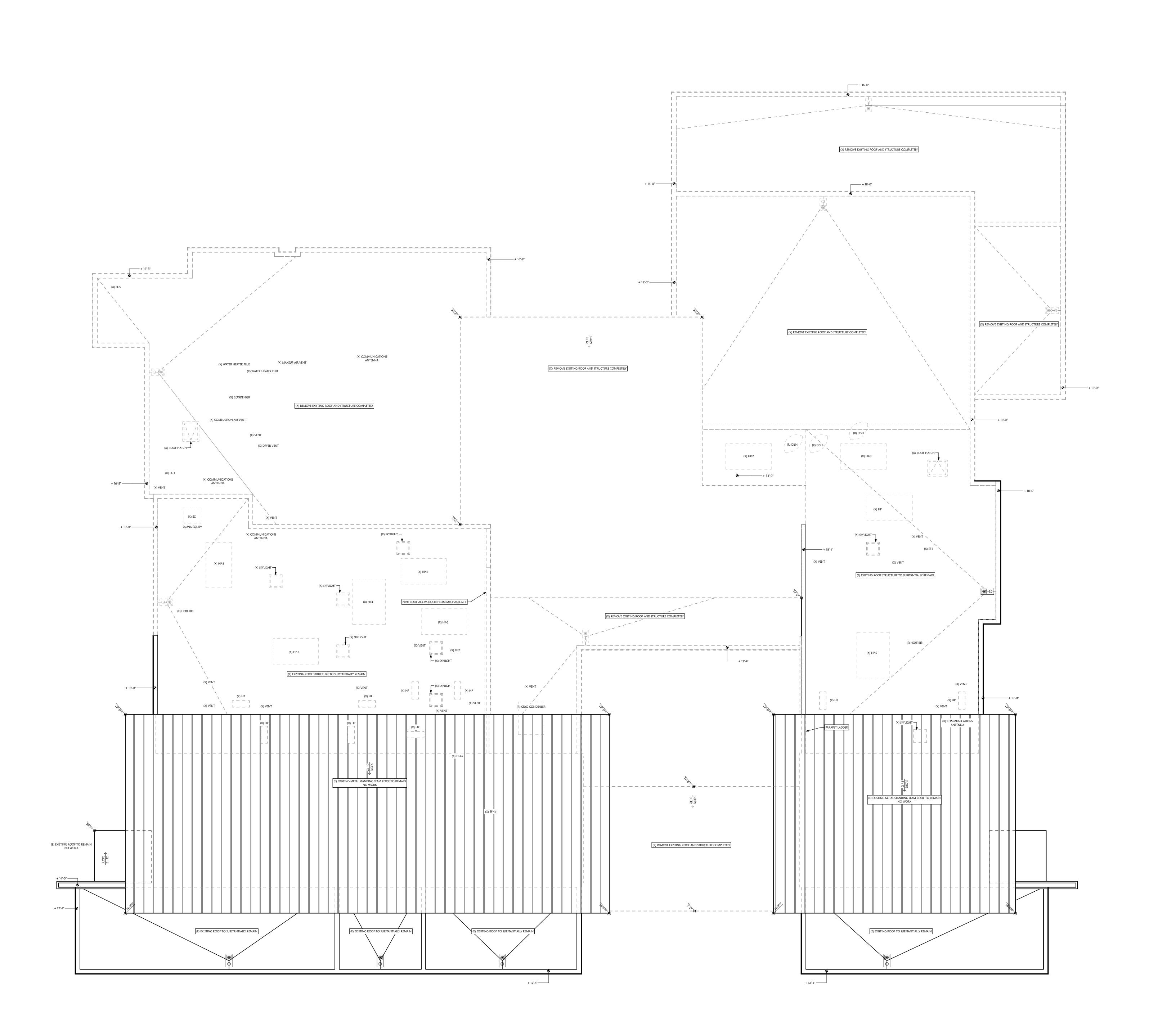
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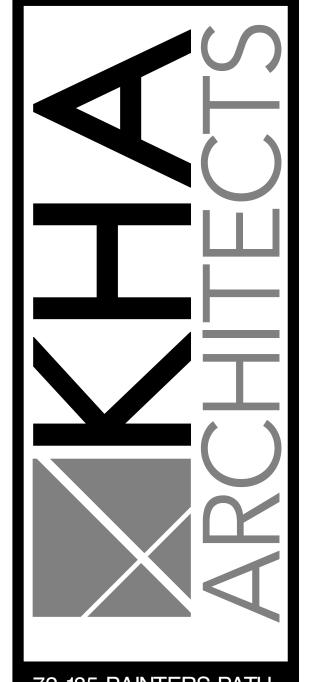
PROJECT #: **2209**

CONTACT: KRISTI

SCALE: 1/4" = 1'-0"







72-185 PAINTERS PATH SUITE A PALM DESERT, CA 92260 760.776.4068

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OR ASSIGNED TO ANY THIRD PARTY
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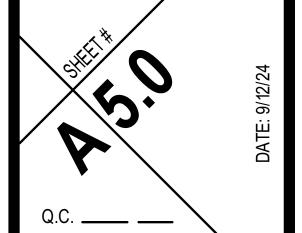
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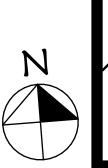
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PRO	DJECT #: 2209

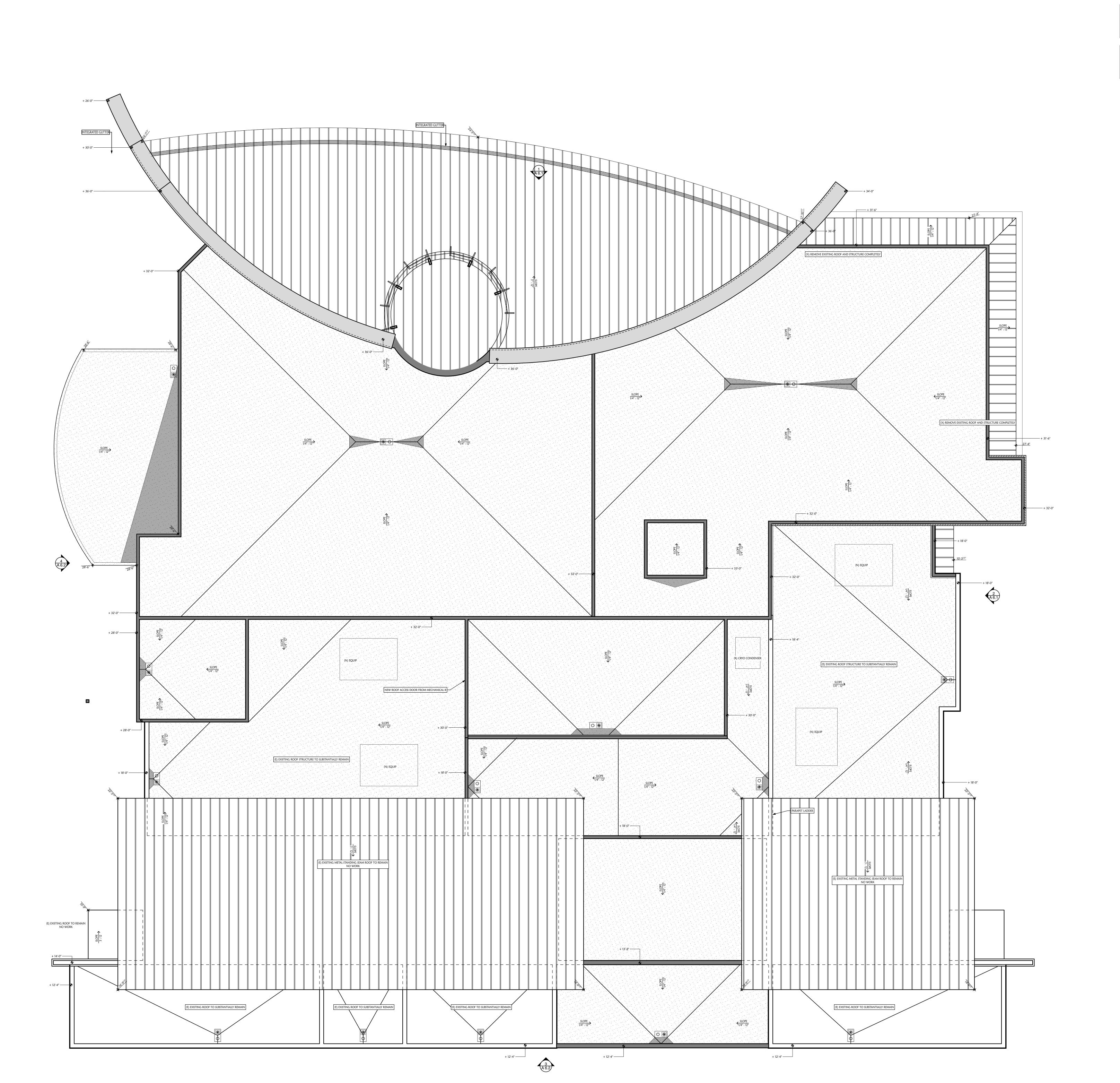
PROJECT #: **2209**CONTACT: KRISTI

SCALE: 3/16" = 1'-0"

DEMO ROOF PLAN







ROOF MATERIALS & LEGEND

IB PVC MEMBRANE ROOF ASSEMBLY COLOR: COOL SAND

CRRC ID NO: 0640-0003 SOLAR REFLECTANCE: 0.77 THERMAL EMITTANCE: 0.87 SRI VALUE INITIAL: 95 SRI VALUE 3-YEAR AGED: 78 LRV: 65





DENOTES DIRECTION OF SLOPE AND MINIMUM SLOPE REQUIRED

ROOF CRICKET

© ROOF DRAIN

NOTE:
ALL ELEVATIONS ARE NOTED IN
RELATIONSHIP TO F.F. / DATUM 0'-0"

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CITY APPROVAL:

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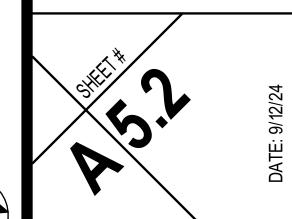
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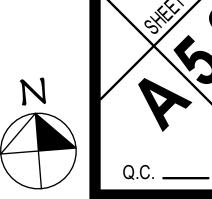
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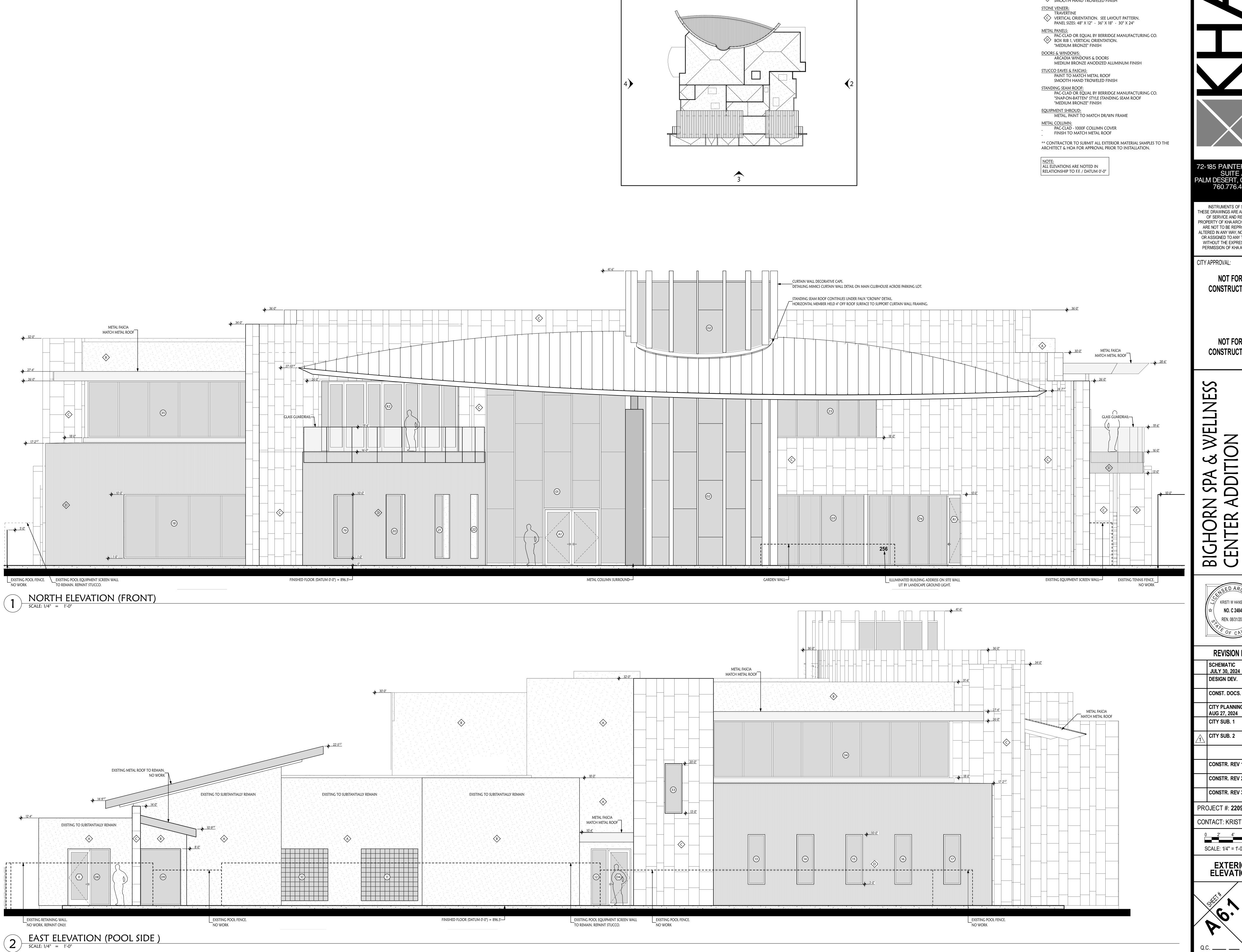
PROJECT #: **2209**

CONTACT: KRISTI

SCALE: 3/16" = 1'-0" **ROOF PLAN**





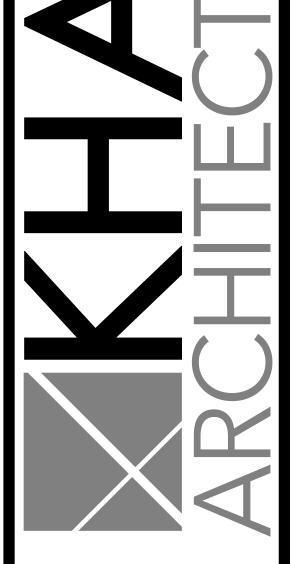


ELEVATION KEY

EXTERIOR MATERIALS & COLORS

- STUCCO WALLS:

 SHERWIN WILLIAMS PAINT SW9111 LRV 43
 SMOOTH HAND TROWELED FINISH
- SHERWIN WILLIAMS PAINT SW9112 LRV 33 SMOOTH HAND TROWELED FINISH



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CITY APPROVAL:

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WELLNESS

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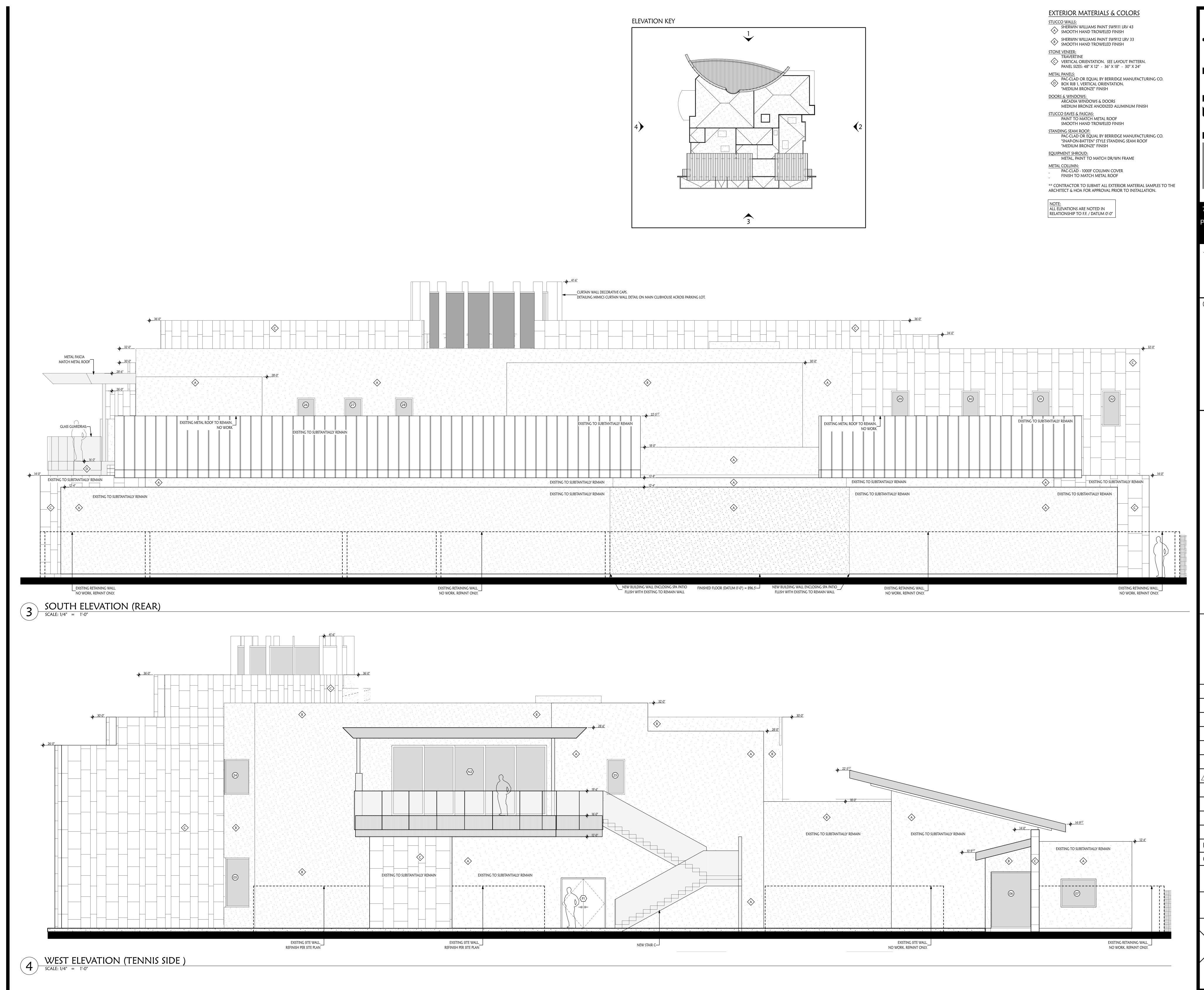
CONST. DOCS. CITY PLANNING SUB. AUG 27, 2024 CITY SUB. 1

CONSTR. REV 1 CONSTR. REV 2

CONSTR. REV 3 PROJECT #: **2209**

CONTACT: KRISTI

SCALE: 1/4" = 1'-0" EXTERIOR ELEVATIONS



72-185 PAINTERS PATH

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CITY APPROVAL:

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WELLNESS

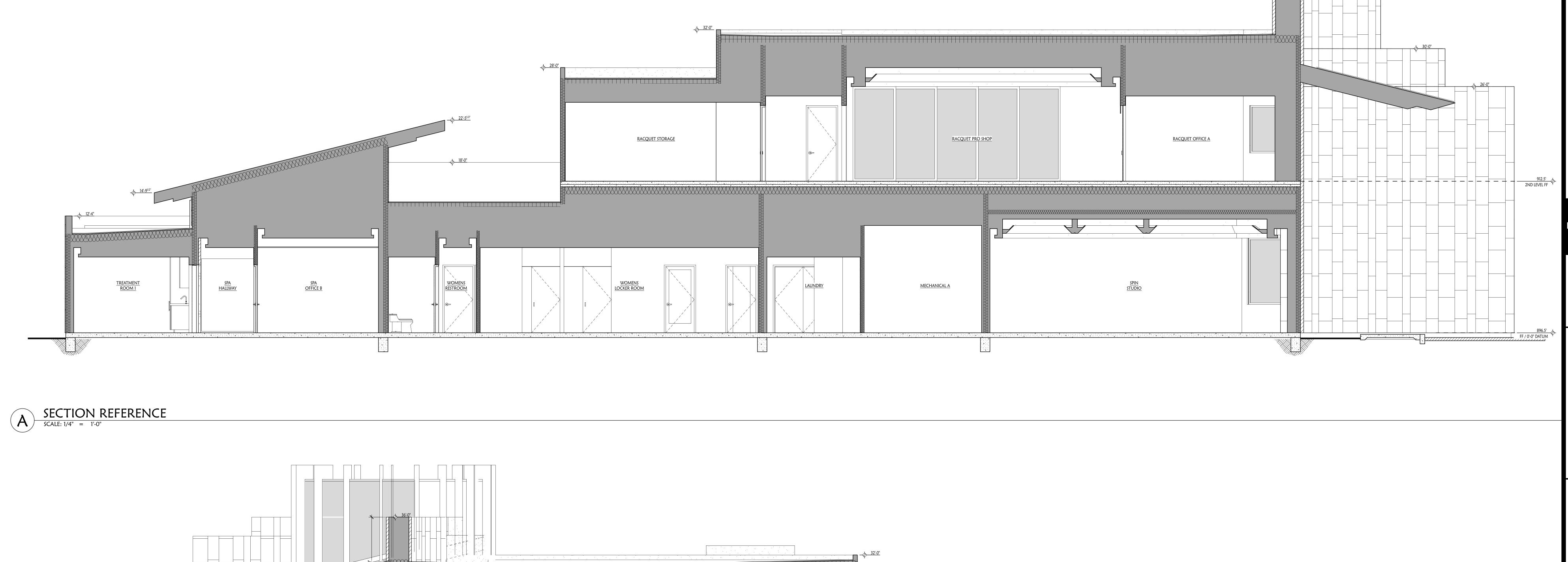
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PROJECT #: **2209**

CONTACT: KRISTI

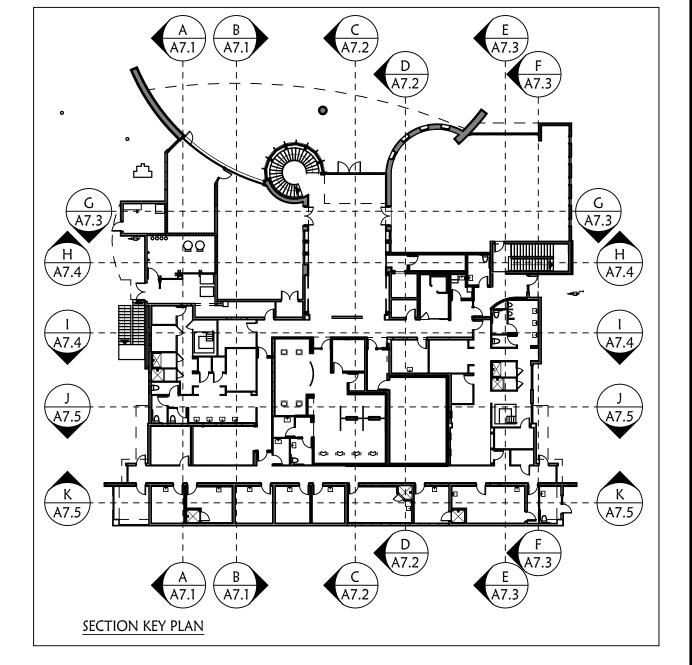
SCALE: 1/4" = 1'-0" EXTERIOR ELEVATIONS



RACQUET PRO SHOP DRESS C EQUIPMENT EQUIPMENT WOMENS RESTROOM WOMENS LOUNGE SPA HALLWAY STORAGE C

B SECTION REFERENCE

SCALE: 1/4" = 1'-0"



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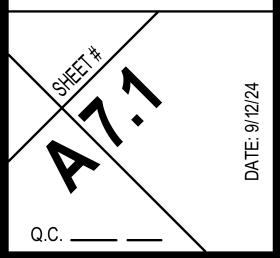
CITY SUB. 2 CONSTR. REV 1 CONSTR. REV 2

CONSTR. REV 3 PROJECT #: **2209**

SCALE: 1/4" = 1'-0"

CONTACT: KRISTI

BUILDING SECTIONS





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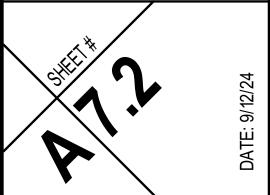
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CONSTR. REV 3

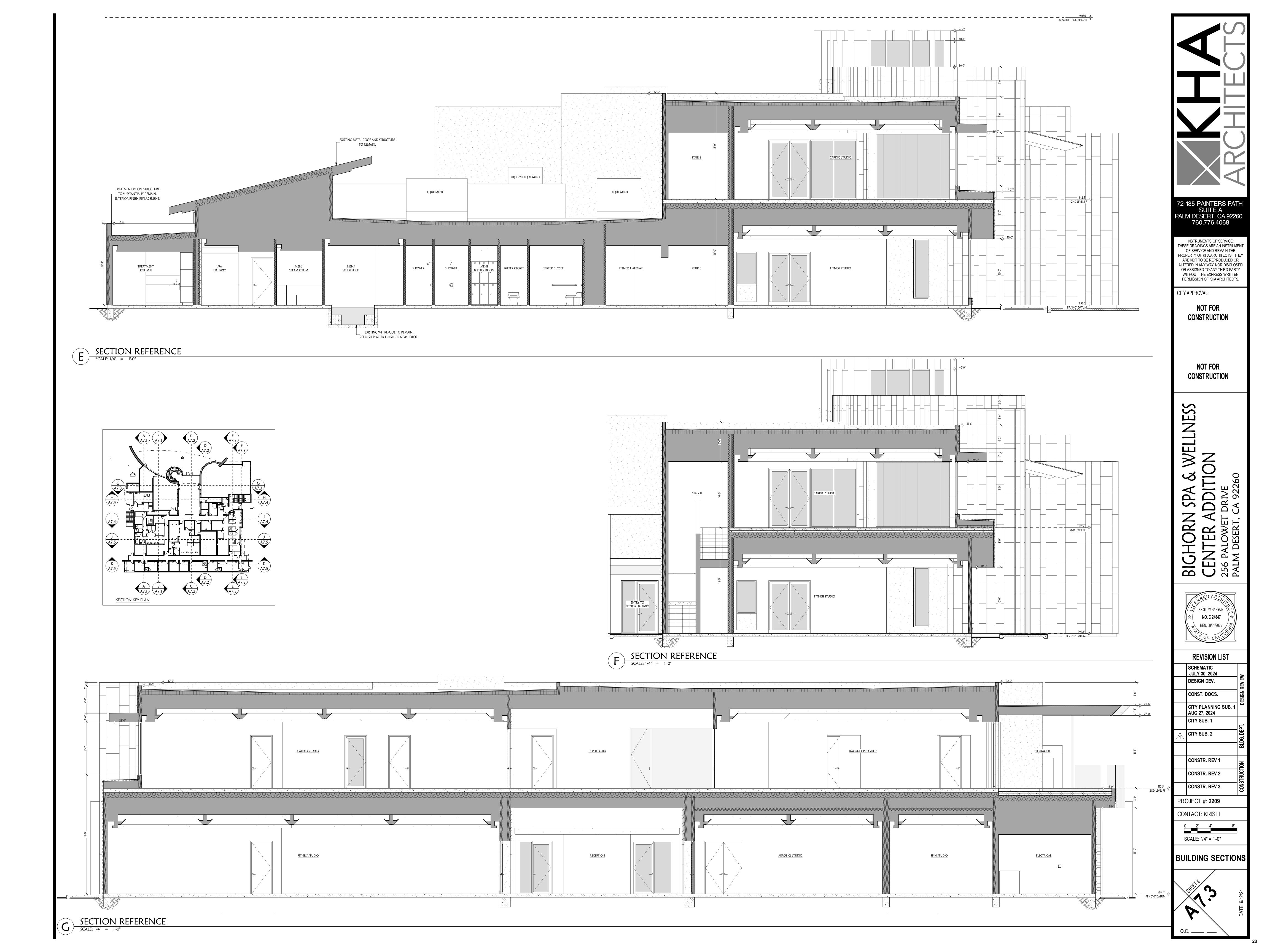
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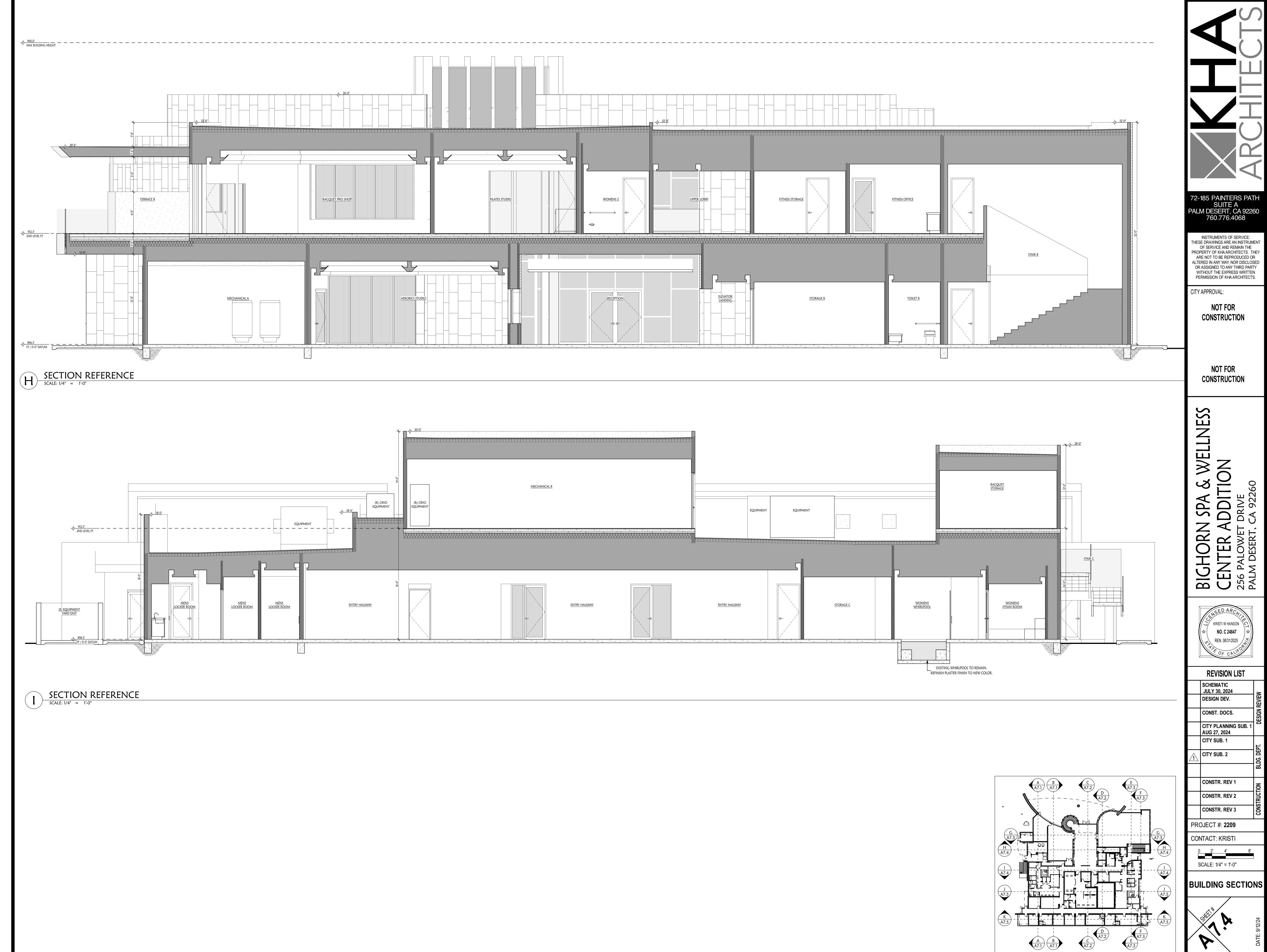
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BUILDING SECTIONS

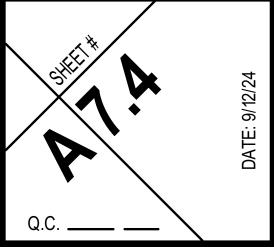


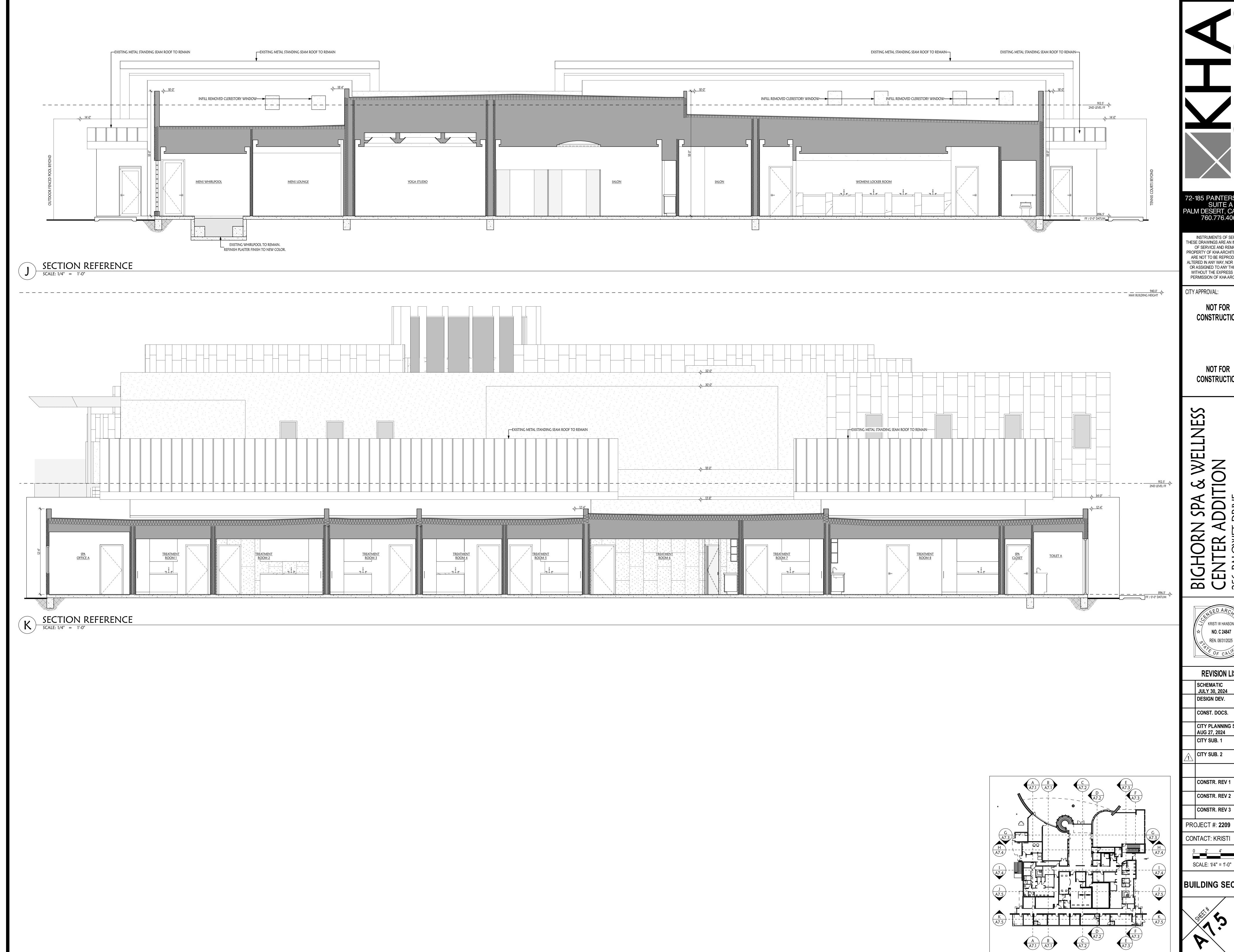
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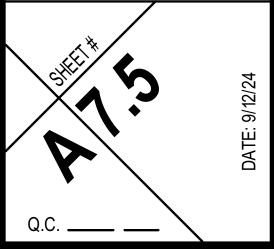
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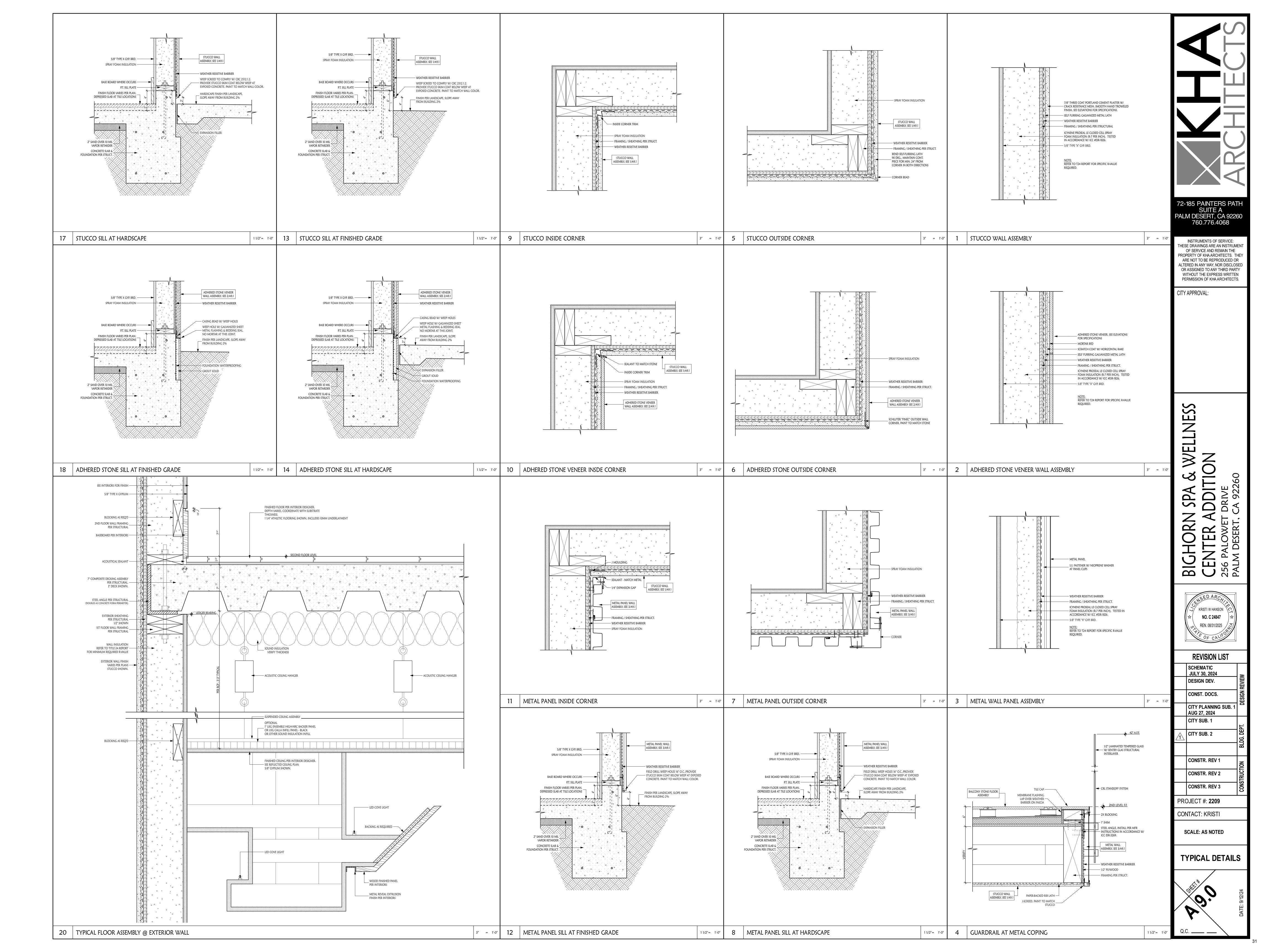
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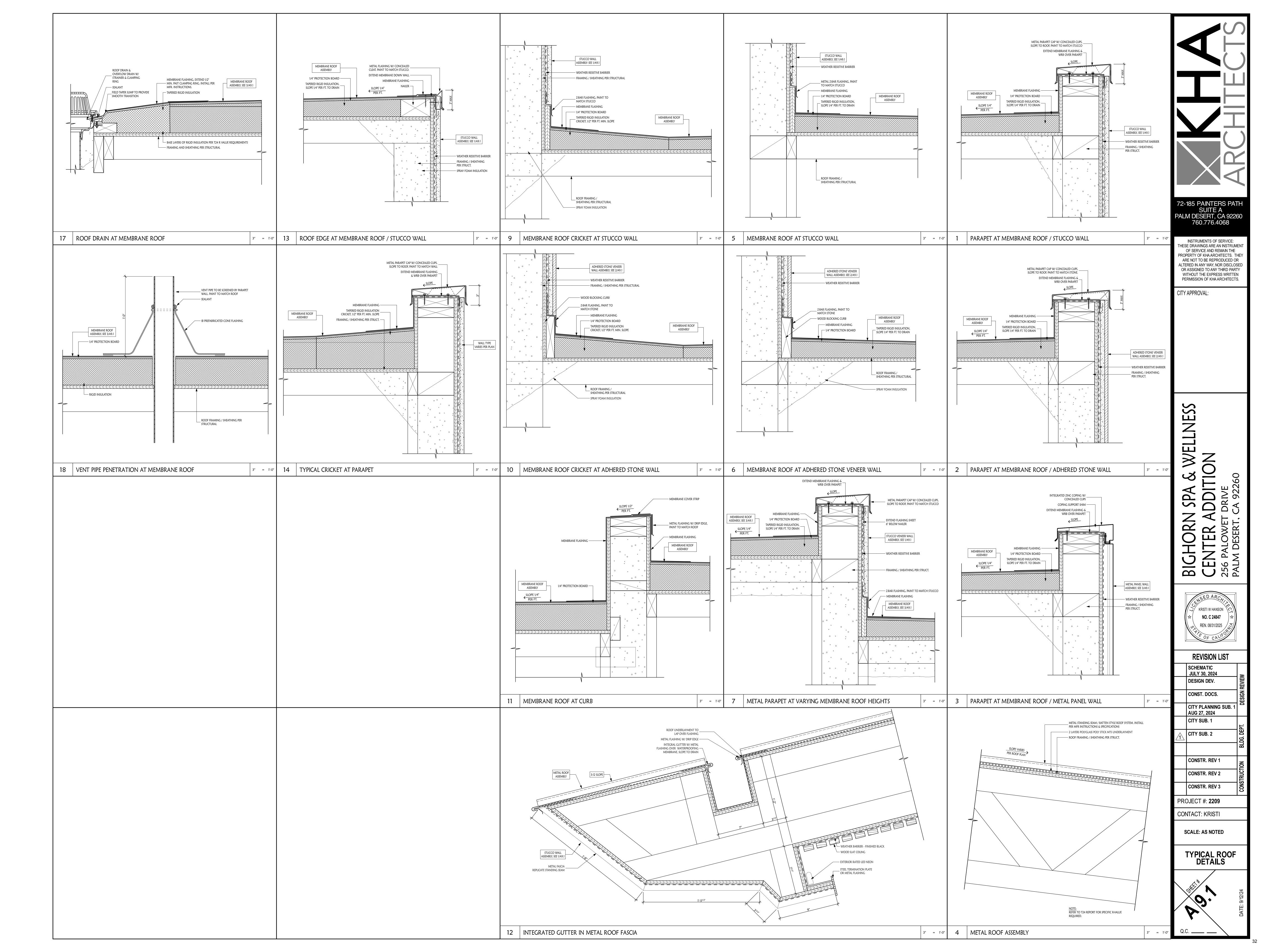
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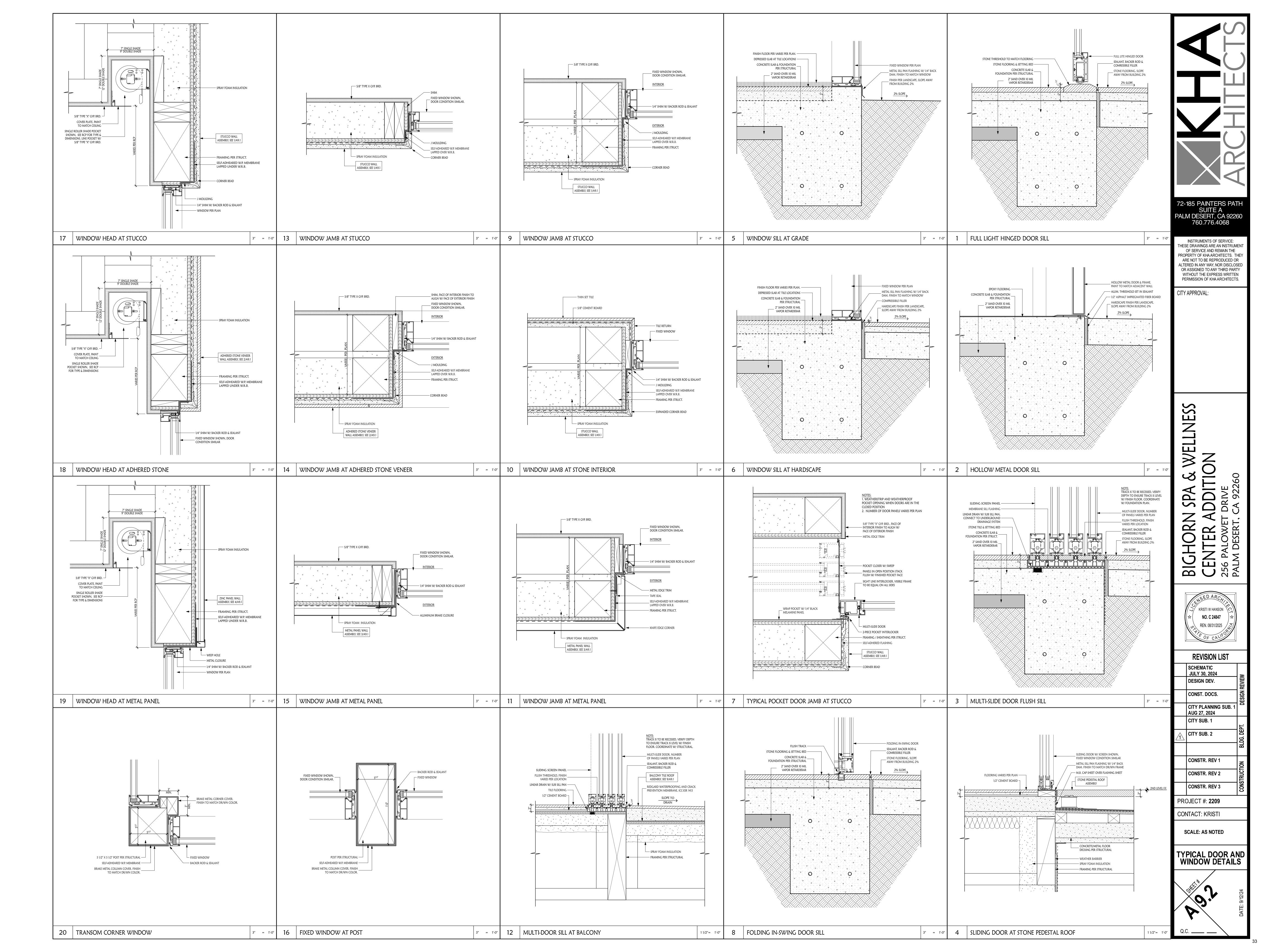
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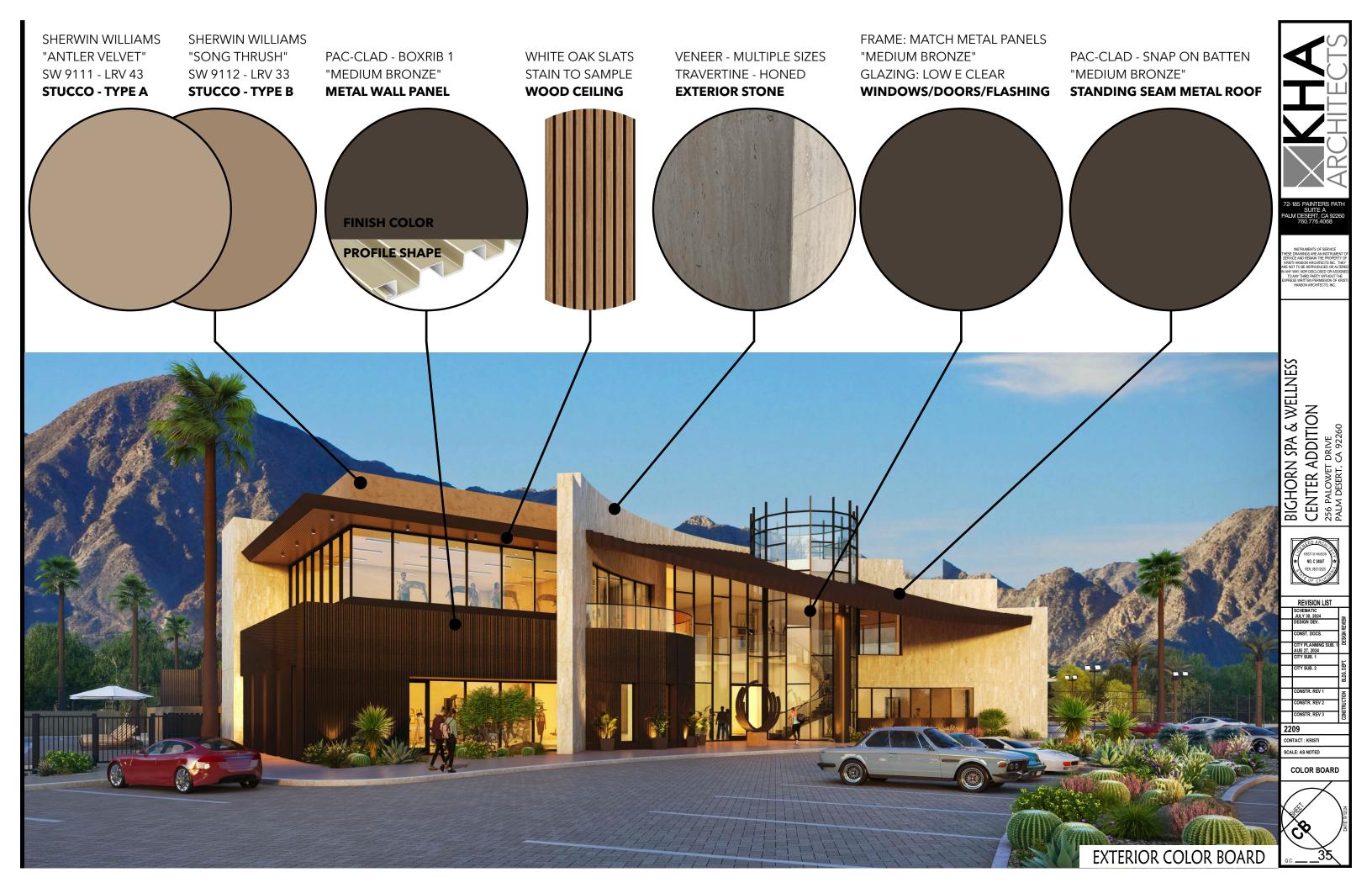
BUILDING SECTIONS

















































































































CITY OF PALM DESERT ATTENDANCE REPORT

Advisory Body: Architectural Review Commission

Prepared By: M. Gonzalez

	Year		2024		2024		2024		2024		2024		2024		2024		2024		2023	20	23	2023		2023	2023		Total
	Month Jan			Feb		Mar		Apr		May		Jun		Jul		Aug		Sep		Oct		Nov		Dec		Total	Unexcused
	Date	9-Jan	24-Jan	13-Feb	27-Feb	12-Mar	26-Mar	9-Apr	23-Apr	14-May	28-May	11-Jun	25-Jun	9-Jul	23-Jul	13-Aug	27-Aug	10-Sep	26-Sep	10-Oct	24-Oct	14-Nov	28-Nov	12-Dec	28-Dec	Absences	Absences
Blakeley, James Edv	ward	Ε	E	E	E	Р	-	Р	Р	E	Р	Р	Р	-	Е	-	Р	-	-	Е	Р	Р	-	Р	-	7	0
Colvard, Dean Wall	lace	Р	Р	Р	Р	Р	-	Р	Е	Р	Р	Р	Р	-	Р	-	Р	-	-	Р	Е	Е	-	Р	-	3	0
Latkovic, Nichola	as	Р	Р	Р	Р	Р	-	Р	Р	Р	Р	Р	Р	-	Р	-	Р	-	-	Р	Р	Р	-	Е	-	1	0
McAuliffe, Micha	el	Р	Р	Р	Р	Р	-	Р	Р	Р	Р	Р	Е	-	Р	-	Р	-	-	Р	Р	Р	-	Р	-	1	0
McIntosh, James	s	Ε	Р	Р	Р	Р	-	Р	E	Р	Е	Р	Р	-	Р	-	Α	-	-	Р	Р	Р	-	Р	-	4	1
Sanchez, Francisc	О	Р	Р	Р	Е	Р	-	Р	Р	Р	Р	Р	Р	-	Р	-	Р	-	-	Р	Р	Р	-	Р	-	1	0
Vuksic, John		Р	Р	Р	Р	Р	-	Р	Р	Р	Р	Р	Р	-	Р	-	E	-	-	Р	E	Р	-	Р	-	2	0

Palm Desert Municipal Code 2.34.010:

Twice Monthly: Six unexcused absences from regular meetings in any twelve-month period shall constitute an automatic resignation of members holding office on boards that meet twice monthly.

- P Present
- A Absent
- E Excused
- No meeting